

ATTACHMENT 14

CENTRAL JUSTICE CENTER FIRE SPRINKLER STUDY

REPORT PREPARED FOR JUDICIAL COUNCIL OF CALIFORNIA

700 W. CIVIC CENTER DRIVE, SANTA ANA, CA 92701

April 2021

Project Number | 2001747



SALAS O'BRIEN

| expect a difference |

PROJECT DETAILS

CLIENT: Judicial Council of California

PROJECT LOCATION: 700 W. Civic Center Drive, Santa Ana, CA 92701

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CENTRAL JUSTICE CENTER FIRE SPRINKLER STUDY

1.0 Executive Summary

The Central Justice Center (CJC) Courthouse is located at 700 W. Civic Center Drive in Santa Ana, California. This center consists of three building sectors, an underground parking garage and a basement. The tallest sector, Sector 'C', is 11 stories, while Sectors 'A' and 'B' are three stories. The building was constructed in 1969, and due to its age, contains asbestos in both the ceiling material and fireproofing. The overall building square footage is approximately 525,000 square feet. The building's primary function is courtrooms and office spaces.

Salas O'Brien was hired to conduct field investigations and provide recommendations on modernizing the existing fire life safety (FLS) systems for the Basement, 1st Floor, 2nd Floor and 3rd Floor, representing about 60% of the overall building area. Site visits were conducted on October 22nd, October 27th, October 29th and November 3rd of 2020 in order to investigate the fire sprinkler, electrical/lighting and mechanical systems to evaluate the following:

- The associated scope of expanding the coverage of the existing fire sprinkler system.
- The associated scope of integrating the 1st, 2nd and 3rd floor mechanical systems into the existing smoke evacuation system.
- The current compliance of the electrical grounding system.
- The associated scope of replacing the existing lighting system, based on the extent of ceiling demolition.
- The extent of ceiling abatement, demolition and replacement.

Additionally, due the usage of the building, the developed fire life safety modernization scope cannot impact the operation of the building. Part of the analysis, presented in this report, is to recommend a construction phasing plan and identify a potential swing space location, to minimize disruption to operation during construction. Associated costs for the swing space, tenant improvement of that swing space and required after hours work to not disrupt the normal operation of the building were also developed.

Based on these investigations, a preliminary rough-order-of-magnitude (ROM) cost estimate was developed and those associated costs are summarized below. The 'Real Estate' line item has been updated to reflect the revised phasing plan updated in this final report. A more detailed cost breakdown, per floor, is provided in Appendix C.

	ROM Cost Estimate
Real Estate -Swing Space	\$6,635,379
Abatement – Ceiling and Fireproofing Material	\$6,776,400
Ceiling Demolition and New	\$2,151,440
Fire Protection Modifications	\$4,453,400
Electrical & Lighting Modifications	\$3,406,933
Fire Alarm Modifications	\$2,302,720
Fire Stopping Penetrations	\$1,151,360
Smoke Evacuation Upgrade and Ductwork Replacement	\$7,047,217
Escalation, Indirect Cost, Design Fees, Contingency and Misc. Costs	\$16,916,199
TOTAL ROM COST:	\$50,841,047

The following report provides a detailed discussion of the existing building conditions, the systems assessed during the site investigations, the recommendations and the initial phasing discussions.

CENTRAL JUSTICE CENTER FIRE SPRINKLER STUDY

2.0 Building Conditions

2.1 Building Description

The Central Justice Center (CJC) was originally built in 1969 and is an 11 story high rise building with a parking garage and sub-basement. Over the years, the fire life safety (FLS) systems on Floors 4 through 11 have been modernized to include a full coverage fire sprinkler system, a smoke evacuation system and an emergency voice alarm communication (EVAC) system. However, Floors 1 through 3 still need the FLS system to be modernized. The building’s primary two usages are offices and courtrooms. Throughout the basement through the third floor, there are approximately 360 offices, accounting for 202,755 SF and 25 courtrooms, accounting for 52,230 SF.

This study focuses on modernizing Floors 1 through 3, as well as a portion of the Basement, which consists of a total of 315,152 gross square feet (SF). The tables below show the breakdown of floor area, for the three building sectors, based on the usage. The following page provides a visual depiction of these three sectors, which will be referenced throughout this report.

GROSS AREA	SECTOR A (SF)	SECTOR B (SF)	SECTOR C (SF)	TOTAL (SF)
Basement	1,715	12,277	13,320	27,312
1st Floor	25,700	40,085	35,700	101,485
2nd Floor	29,160	46,535	35,700	111,395
3rd Floor	29,160	19,750	26,050	74,960

Table 1: Building gross square footage by floor and sector

OFFICE AREA	SECTOR A (SF)	SECTOR B (SF)	SECTOR C (SF)	TOTAL (SF)
Basement	0	4,385	2,680	7,065
1st Floor	25,170	31,000	29,000	85,170
2nd Floor	19,630	35,780	20,900	76,310
3rd Floor	15,595	8,880	9,735	34,210

Table 2: Office area square footage by floor and sector

COURTROOM AREA	SECTOR A (SF)	SECTOR B (SF)	SECTOR C (SF)	TOTAL (SF)
Basement	0	0	0	0
1st Floor	2,700	0	0	2,700
2nd Floor	12,245	0	8,850	21,095
3rd Floor	15,930	3,075	9,430	28,435

Table 3: Courtroom area square footage by floor and sector

The CJC Courthouse is broken up into three sectors. As a note, the original construction drawings used different designations on the sectors compared to the most recent provided plans for the building. Throughout the report and appendices, we use more recent designations in our project. Figure 1, on the following page, provides a visual representation of the building sectors.

CENTRAL JUSTICE CENTER FIRE SPRINKLER STUDY



Figure 1: Building sector designations

2.2 Building Zoning

The Basement through the 3rd Floor of the CJC Courthouse is served by a combination of (20) air handler units (AHU), (2) rooftop heat pumps and (1) split system. The majority of these air handlers are single deck units that distribute conditioned air to VAV boxes located throughout the zone. Appendix A has a complete zone map of the Basement through 3rd Floor, broken out by building sector, created with the help of Vicente Lopez, the Facilities Service Officer for this courthouse. This map will be referenced throughout the report, especially in the discussion of the potential construction phasing plan.

2.3 Hazardous Materials

The first through the third floor have asbestos containing material (ACM) in various locations, requiring an extensive amount of abatement before any FLS modernization scope can occur. The fourth and above floors have previously been abated throughout several modernization projects. An asbestos survey report was conducted by Forensic Analytical Consulting Services on June 1, 2020 and the complete report along with its recommendations is provided in Appendix B.

Based on the investigation, ACM was identified in the fireproofing material above the ceiling and in the tested drywall joint compound. It is recommended for full abatement of the interior ceilings and fireproofing material to occur prior to commencement of any work – as this will improve the efficiency of future projects. Since the fireproofing material contains ACM, any pipe hanger, duct hanger or attachment to floor decking will required spot abatement to be performed. It would be beneficial for the FLS improvement projects identified in this report, as well as any future projects, if the entire ceiling and fireproofing were replaced to remove all ACMs. The associated costs for abatement and ceiling replacement are provided in the cost estimate, in Appendix C.

CENTRAL JUSTICE CENTER FIRE SPRINKLER STUDY

3.0 Systems Assessed

The systems assessed in this study are all related to the building's fire life safety infrastructure. These systems included the following: fire sprinkler piping, electrical & lighting grounding system and the smoke evacuation system. Additionally, associated costs with modernizing the fire alarm system to an emergency voice alarm communication (EVAC) system were developed; however, a full blow fire alarm assessment was not conducted since there is a current design project for this specific modernization.

3.1 Fire Sprinkler Piping Coverage

During the site visits, the existing coverage was confirmed based on locating existing sprinkler heads in the ceiling. The condition of the fire sprinkler piping was not verified, except for when piping was installed exposed (in the Basement), as the space above the ceiling was not accessible due to the need for abatement.

The Basement garage area is fully sprinkled; however, there were multiple instances of rust on the exterior of the piping. While the interior condition of the piping is unknown, due to the age (40+ years) and exterior rust, it is recommended to replace segments of fire sprinkler piping that exhibit significant exterior rust. See Figure 2, below, for an example.



Figure 2: Rusted fire sprinkler piping

This courthouse was originally designed such that the fire sprinkler system on Floors 1 through 3 only serve areas with substantial public foot traffic. Areas like the main atrium, corridors and juror areas are currently covered by the existing fire sprinkler system. However, in these areas, the older model fire sprinkler heads are installed and should be replaced with the newer models that have been installed in the modernization projects on Floors 4 through 11. See Figure 2, below, for an example of the antiquated sprinkler head in the 1st Floor juror area.

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Figure 3: Old sprinkler head to be replaced

Appendix D provides floor plans, for all sectors, showing the specific areas that do not have fire sprinkler coverage. Associated costs have been developed to expand the coverage to these areas and further detailed in the *Recommendations* section.

3.2 Fire Sprinkler Service Capacity

A 6" fire water service is installed for the CJC courthouse. Fire water is distributed throughout the building by the fire pump shown in Figure 4 below.

The fire pump is a centrifugal, horizontal split-case pump, with the following specifications:

- Manufacturer: Sterling Peerless Pump
- Model #: 3AEF9
- Serial #: 582398
- Rated BHP: 46.3
- Rated GPM: 500 gpm
- Rated PSI: 117 psi

The existing 6" service size has sufficient capacity for the required fire sprinkler coverage expansion throughout Floors 1 through 3.

The main deficiency discovered with the existing fire water system is the lack of redundancy in water supply to the fire pumps. Per Section 914.3.1.2 of the 2019 California Fire Code, "In buildings having an occupied floor that are more than 120 feet above the lowest level of fire department vehicle access, required fire pumps shall be supplied by connections to not fewer than two water mains located in different streets. Separate supply piping shall be provided between each connection to the water main and the pumps." Since the CJC Courthouse is 180 feet tall, from the ground floor to the roof, a redundant 6" fire water service is required to be brought to the building.

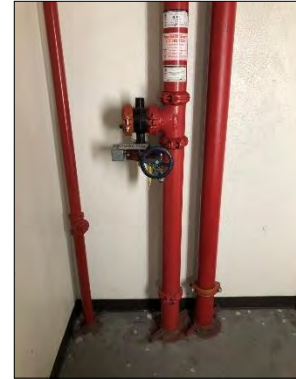


Figure 4: Fire pump room

CENTRAL JUSTICE CENTER FIRE SPRINKLER STUDY

While the building does not have any on site water storage, this is not required by code in existing building. Adding the second feed, from another city main, provides the code required redundancy.

The building has an adequate standpipe system installed in the stairwell, as shown in the photo to the right.



3.3 Electrical & Lighting

The existing electrical system was investigated to determine whether existing panels were grounded per code, as well as the extent of lighting replacement required as part of the FLS modernization scope.

During the site visits, Salas O'Brien opened more than 50% of electrical panels on Floors 1 through 3 to field verify the grounding, or lack thereof. Based on our investigation, there was no ground wire connection between main distribution switchboard to individual electrical panels at each floor. This condition does not meet the current electrical code. Additionally, while there were existing ground wires between some electrical panels and light fixtures/receptacles, the ground wires were connected to the housing of electrical panels. This condition is non-compliant with the current California Electrical Code. Refer to Figures 5 and 6 below for non-compliant grounding issues.



Figure 5 (left): Non-compliant grounding to panel housing



Figure 6 (right): Ungrounded receptacle

Due to the extent of fire sprinkler expansion and ceiling replacement, on Floors 1 through 3, more than 10% of the light fixtures need to be relocated to accommodate that scope of work. Per 2019 Building Energy Efficiency Standards (Title 24, Part 6) 141.0 (b)(2)(I), "*Alterations to indoor lighting systems that include **10% or more of the luminaires** serving an enclosed space shall meet the requirements of i, ii or iii below.*" The specific code excerpt of those requirements is provided in Figure 7.

CENTRAL JUSTICE CENTER FIRE SPRINKLER STUDY

- i. The alteration shall comply with the indoor lighting power requirements specified in Section 140.6 and the lighting control requirements specified in Table 141.0-F;
- ii. The alteration shall not exceed 80% of the indoor lighting power requirements specified in Section 140.6, and shall comply with the lighting control requirements specified in Table 141.0-F; or
- iii. The alteration shall be a one-for-one luminaire alteration within a building or tenant space of 5,000 square feet or less, the total wattage of the altered luminaires shall be at least 40% lower compared to their total pre-alteration wattage, and the alteration shall comply with the lighting control requirements specified in Table 141.0-F.

Figure 7: Code excerpt of Title 24, Part 6, 141.0 (b)(2)(I)

As detailed further in the *Recommendations* section, most of the lighting fixtures on Floors 1 through 3 will need to be replaced. This recommended replacement is driven by the fact a large portion of the ceiling will need to be replaced, as well as the consideration of having a uniform look to the modernized space. Since the number of replaced fixtures significantly exceeds the 10% of the total fixtures on those floors, the lighting would need to be fully compliant with current Title 24 light fixture power requirement and lighting control requirements.

Based on the Title 24 Table 141.0-F, a compliant lighting control system needs to be provided with manual area controls, multilevel controls, automatic shut off controls and demand responsive controls. The existing lighting control system consists of primarily manual area controls only. An excerpt of the code requirements is provided in Figure 8. We did not observe any multilevel controls, automatic shut off control or demand responsive controls; therefore, the lighting control system will need to be upgraded into compliance.

Table 141.0-F – Control Requirements for Indoor Lighting System Alterations

Control Specifications		Projects complying with Section 141.0(b)2Ii	Projects complying with Sections 141.0(b)2Ii and 141.0(b)2Iiii
Manual Area Controls	130.1(a)1	Required	Required
	130.1(a)2	Required	Required
	130.1(a)3	Only required for new or completely replaced circuits	Only required for new or completely replaced circuits
Multilevel Controls	130.1(b)	Required	Not Required
Automatic Shut Off Controls	130.1(c)1	Required; 130.1(c)1D only required for new or completely replaced circuits	Required; 130.1(c)1D only required for new or completely replaced circuits
	130.1(c)2	Required	Required
	130.1(c)3	Required	Required
	130.1(c)4	Required	Required
	130.1(c)5	Required	Required
	130.1(c)6	Required	Required
	130.1(c)7	Required	Required
	130.1(c)8	Required	Required
Daylighting Controls	130.1(d)	Required	Not Required
Demand Responsive Controls	130.1(e)	Required	Not Required

Figure 8: Code excerpt of Title 24 indoor lighting control requirements

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3.4 Fire Alarm & Fire Stopping

A complete investigation into the existing fire alarm system was not conducted, as per the original proposal scope, there is an ongoing fire alarm upgrade project; however, the associated costs are outlined in the cost estimate provided in Appendix C.

During our site investigation, we were able to visually verify a few above ceiling areas to determine the extent of fire stopping of pipe, conduit or duct penetrations through existing fire rated walls. Due to known ACM in the ceiling, we were only able to verify a few areas where the existing ceiling had already been opened and abated. In these few areas, most of the penetrations lacked any fire stopping, as shown in Figure 9. During the FLS modernization project, it is important to include fire stopping of these penetrations as part of the scope.

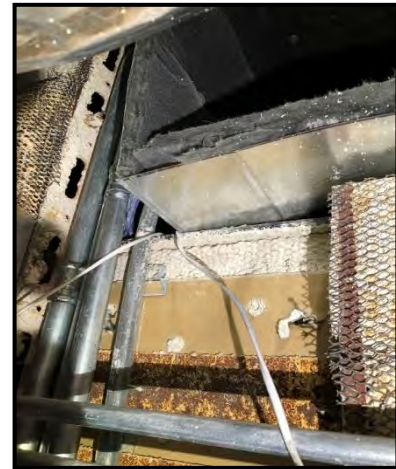


Figure 9: Lack of fire stopping of penetrations

3.5 Smoke Evacuation System

Floors 1 through 3 do not have any smoke evacuation system required by the State Fire Marshal (SFM) to be fully integrated for this building. Several modernization projects for Floors 4 through 11 have upgraded the existing air handler units (AHUs) components so they can be used for smoke evacuation.

The smoke evacuation system required by the SFM is a passive system, meaning it is meant to be deployed after the fire is extinguished, as a means to quickly and effectively remove smoke from the spaces. Because this is a passive system, the components are not required to be on emergency power.

While not verified due to inadequate access above the ceiling, it is assumed a significant amount of the existing ductwork is fiberboard, which is not suitable for smoke evacuation systems. During the smoke evacuation improvements on Floors 4 thru 11, the ductwork was fiberboard, and since the system on Floors 1 thru 3 were installed at the same time, it is like to be fiberboard. This ductwork will need to be replaced with galvanized sheet metal ductwork.

There is an existing manual control panel for the building's smoke evacuation system, see Figure 10, below. This control panel allows for the manual override of outside air and return air dampers for the associated AHUs in order to purge any smoke. The AHUs serving Floors 1 through 3 will need to be integrated into this existing control panel. There are available spaces on the existing panel to add manual damper control operation for Floors 1 through 3.

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Figure 10: Existing smoke evacuation manual override panel

Finally, the existing return air and outside air dampers will need to be replaced with UL 555S listed dampers since these dampers will now be integrated into a smoke evacuation system.

CENTRAL JUSTICE CENTER FIRE SPRINKLER STUDY

4.0 Recommendations

The following recommendations are provided, based on the field observations outlined in the previous section. An associated cost is provided for each of the main projects being considered as part of the fire life safety modernization projects for Floors 1 through 3. A more detailed cost breakdown is provided in Appendix C, along with other associated project costs.

4.1 Fire Sprinkler Piping

The following items are recommended in order to provide a fully automatic sprinkler system for the Basement, 1st Floor, 2nd Floor and 3rd Floor:

- Replace basement sprinkler piping exhibiting significant rust
- Extend fire sprinkler coverage on Floors 1 through 3 to cover entire floor area, not just the corridors and juror areas. Includes fire sprinkler piping extension and new fire sprinkler heads.
- Replace original fire sprinkler heads, where they are currently installed.

Rough Order of Magnitude (ROM) Cost = \$4,188,400

4.2 Fire Sprinkler Service Capacity

The following item is recommended to bring the current fire sprinkler service piping up to the current code requirements:

- Install new, redundant 6" service, from separate street water line to existing fire pump room.

ROM Cost = \$265,000

4.3 Electrical & Lighting

The following items are recommended to bring the existing electrical grounding system into code compliance, as well as lighting replacement triggered by replacing the ceiling.

- Provide new conduit and wiring (including grounding) from existing panels to new lighting fixtures.
- Install new lighting fixtures, compatible with new ceiling, to meet T-24 requirements.
- Install new lighting controls for new lighting.

ROM Cost = \$3,406,933

4.4 Fire Alarm & Fire Stopping

There is an ongoing fire alarm modernization project to upgrade the fire alarm system on Floors 1 through 3 to an EVAC system. The associated costs of that project are included below, but the scope is not detailed. The following items are recommended to provide the necessary fire stopping of fire rated partitions/walls.

- Fire alarm modernization to an EVAC system.
- Fire stopping of existing duct, pipe and conduit penetrations.

ROM Cost = \$3,454,080

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4.5 Smoke Evacuation System

The following items are recommended to provide a smoke evacuation system through the existing AHUs and integrate into the existing manual activation control panel:

- Demolish existing fiberboard ductwork.
- Install new galvanized sheet metal ductwork and insulation.
- Replace return air and outside air dampers with UL555S compliant dampers.
- Install new smoke control interface modules for each AHU.
- Add variable frequency drives (VFDs) to several units that did not have VFDs.
- Install new fire alarm control wiring and relays between each AHU that is part of the smoke evacuation system and the existing manual control panel.
- Testing and balancing of system.

ROM Cost = \$7,047,217

4.6 Abatement and Ceiling Replacement

In order to expand the fire sprinkler coverage a significant portion of the ceiling on Floors 1 through 3 is required to be demolished and abated. It is recommended to abate and replace the entire ceiling to facilitate the fire sprinkler expansion and recommended ductwork replacement. Further, it is recommended to abate all the fireproofing sprayed on the underside of each floor deck. Abating the existing fireproofing will allow for a more efficient installation of fire sprinkler and ductwork supports, required to be anchored to the structure. If full abatement is not feasible, each duct and pipe anchor would require spot abatement – increasing the overall project cost. The following items are recommended to be included in the overall FLS modernization projects.

- Abatement of existing ceiling.
- Abatement of all fireproofing.
- Demolition of existing ceiling.
- Installation of new ceiling.

ROM Cost = \$8,927,840

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5.0 Construction Phasing & Office Relocation

One difficult aspect for this project is the building must remain operational because it is a courthouse. The construction must be phased, and any excessively noisy work must occur during non-occupied hours. The following section presents an initial phasing plan and swing space.

UPDATE: Based on phasing discussions after release of the draft report, the adjacent parking lot has been identified as another location to set up modular for the swing space. The following section has been updated to reflect those discussions and revisions. Utilizing the parking lot is a cheaper option and provides more flexibility as far as the phasing plan.

5.1 PROPOSED PHASING PLAN

The duration of construction is expected to be four years. The phasing plan developed breaks the project into six phases, with the construction duration of each phase being eight months. The intent of the phasing plan is to minimize the associated risks with the building abatement, while still providing access to the building. Table 4, below, presents the areas of the building and total office/courtroom square footage of each area, that would need to be relocated during each phase.

PHASE	RELOCATABLE AREA (SF)	COURTROOMS
Phase 1	18,300	0
Phase 2	38,800	1
Phase 3	18,700	3
Phase 4	46,500	8
Phase 5	23,500	12
Phase 6	15,300	0

Table 4: Preliminary phasing plan by building sector and relocated area

The above phasing plan considers both the air handler zoning of the building, as due to the necessary abatement, those areas will need to be completely isolated, as well as keeping the amount of relocated space below 40,000 square feet, with the exception of Phase 3.

The following Figures 11, 12 and 13 represent the phasing plan by floor.

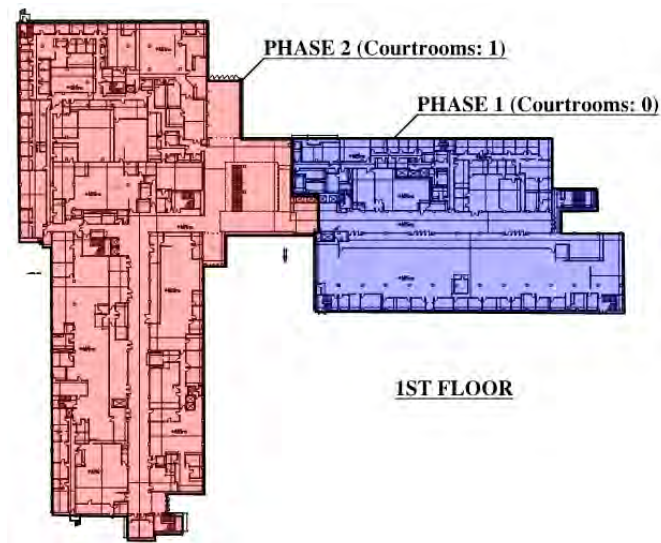


Figure 11: First Floor – Phase 1 & 2

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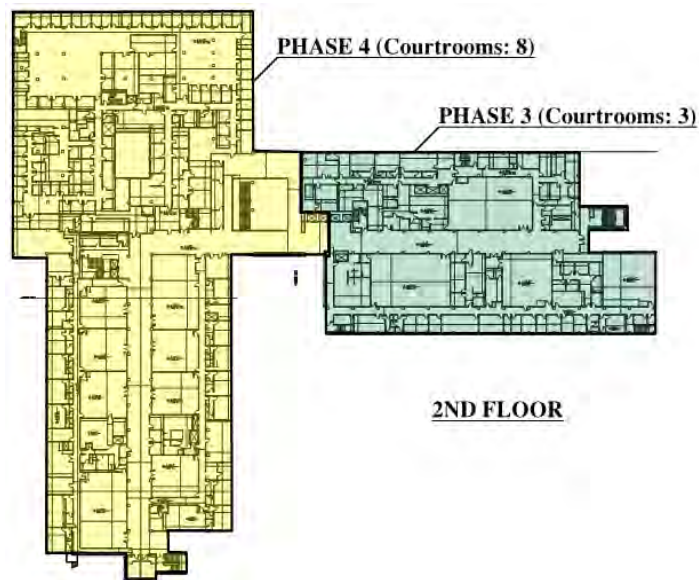


Figure 12: First Floor – Phase 3 & 4

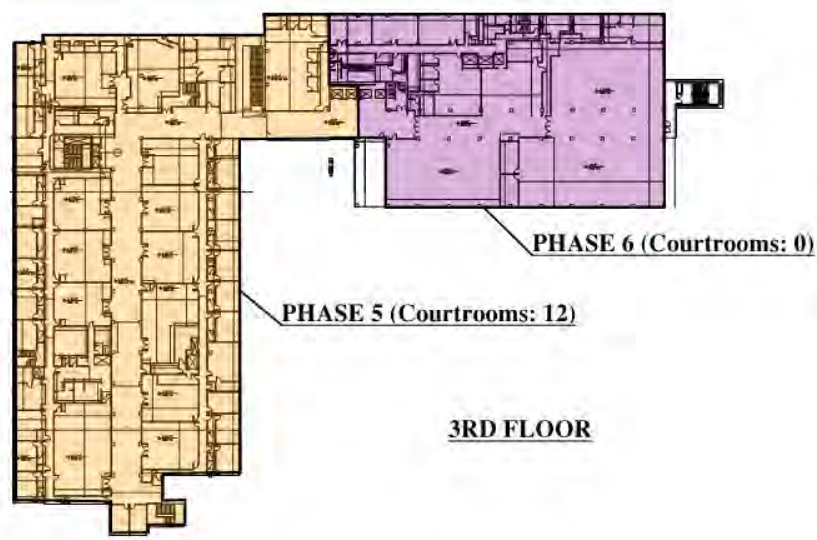


Figure 13: First Floor – Phase 5 & 6

Appendix E contains the above floor plans, as well as a summary sheet showing all six phases and the respective office/courtroom area needing to be relocated.

5.2 POTENTIAL SWING SPACE

The following location was initially identified as a potential swing space by the Real Estate Unit. The location, highlighted in yellow in Figure 14 below, is located at 605 West Santa Ana Boulevard, less than a block from the Central Justice Center. The space is an 8-story building, containing 130,000 gross square feet of office area.

CENTRAL JUSTICE CENTER FIRE SPRINKLER STUDY

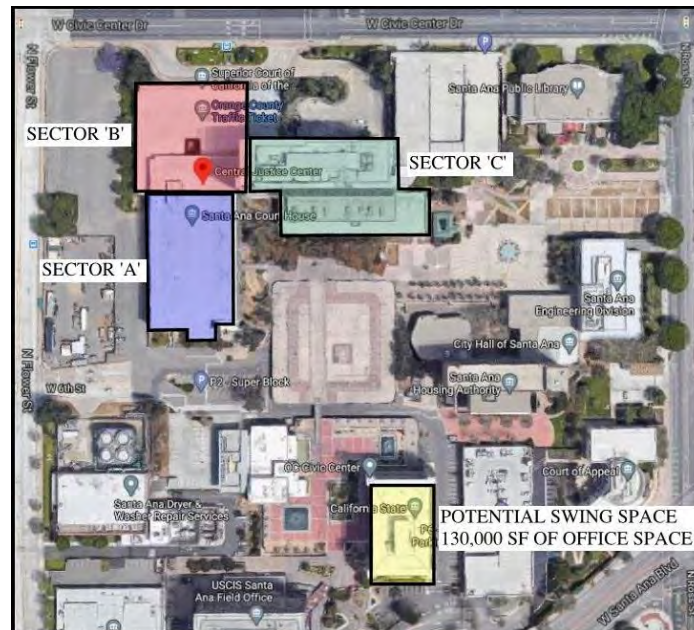


Figure 14: Potential swing space location (from Draft Report)

Since the issuance of the draft report, we've had several subsequent discussions with JCC personnel on the swing space required for this project's phasing. The adjacent parking lot, per Figure 15 below, was identified as a better option. Appendix F contains a schematic plan of how the parking lot could be utilized to provide 35,000 square feet of relocatable office space and courtrooms.

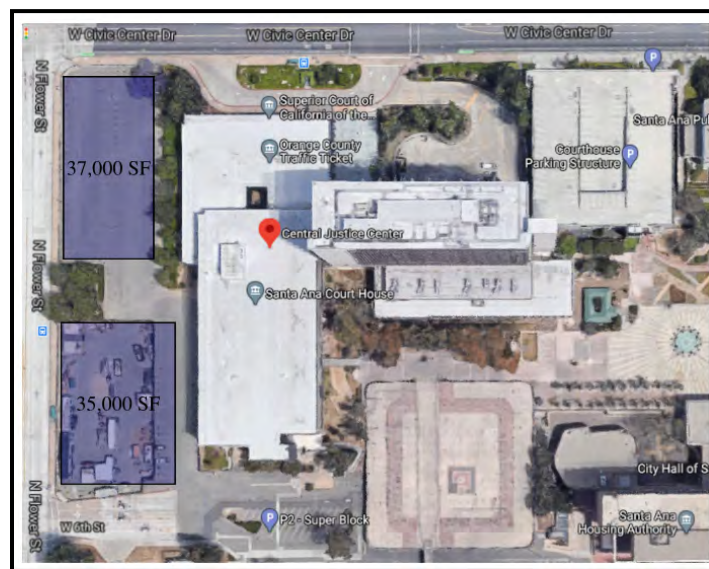


Figure 15: Adjacent Parking Lot – Revised Swing Space

The main driver for using the parking lot was to lower the costs of the swing space rental and tenant improvements. The initial estimated cost to rent the building shown in Figure 14 for four years and provide the necessary tenant improvements was ~\$9M. Utilizing the parking lot, including the costs to rent the parking lot over the four years, was between \$6.5M.

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The cost estimate, in Appendix C, has been revised to reflect the new swing space option proposed in this final report. Additionally, Appendix G contains the initial quote from the modular manufacturer to rent the different sized modular.

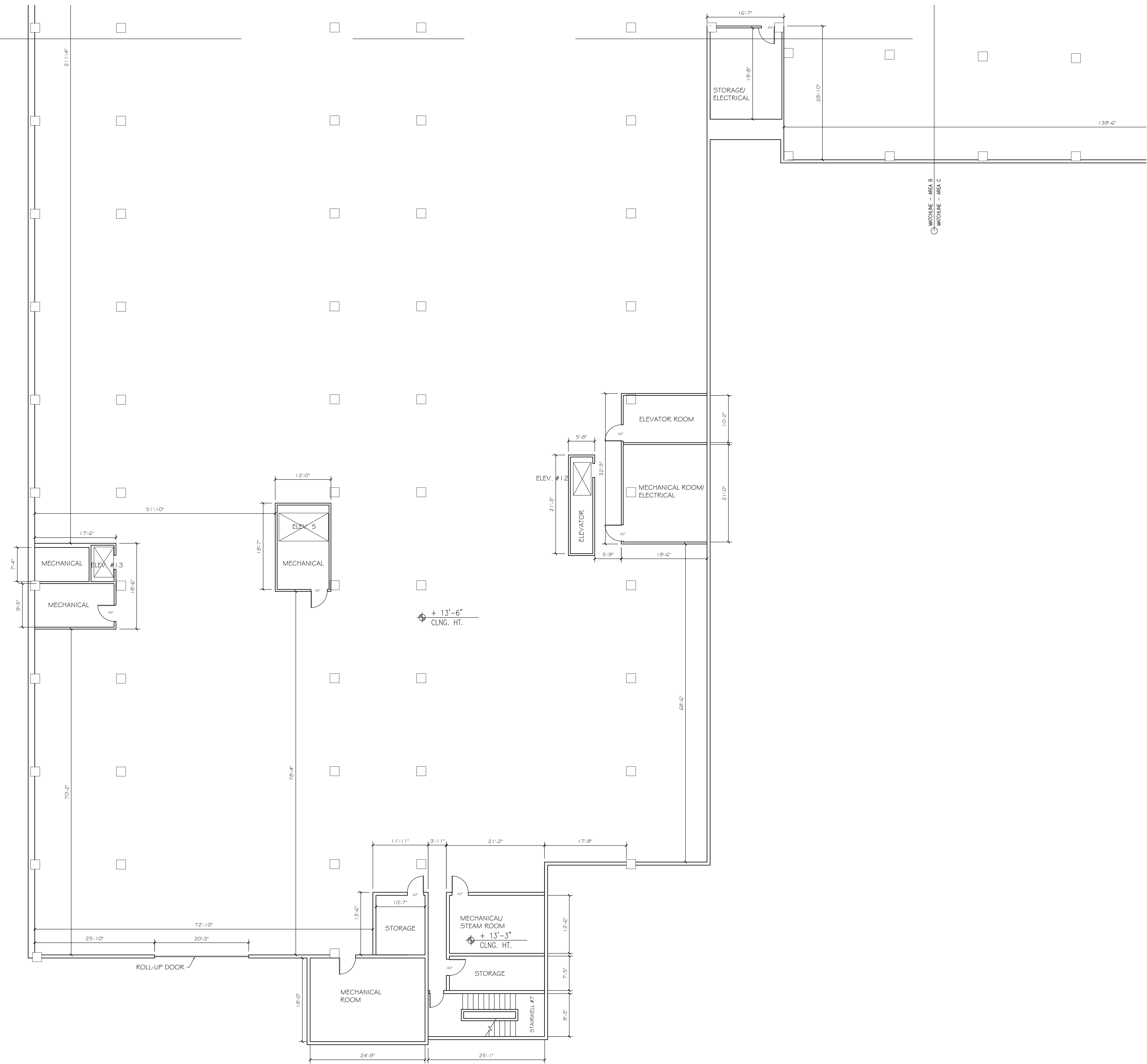
APPENDIX A AIRFLOW ZONE MAPS

NOTES

ALL DOORS 36" UNLESS OTHERWISE NOTED

MATCHLINE - AREA B
 MATCHLINE - AREA A

BASEMENT - AREA A
 SCALE: 1/8"=1'-0"



REVISIONS	BY

DRAWN BY: **CADbuilt, Inc.**
 11373 Broadway Drive
 Moorpark, CA 93021
 (805) 529-4975

ORANGE COUNTY COURTHOUSE
 700 Civic Center Drive West
 Santa Ana, CA 92702

BASEMENT PLAN - A

SCALE
 1/8"=1'-0"

DATE
 02/05/17

SHEET NO.
B1A

NOTES
 ALL DOORS 36" UNLESS OTHERWISE NOTED

- AHU 4 Single Zone
- ATT Room Unit
- AHU 9 Single Zone
- AHU 1 Single Zone VAV

BASEMENT -- AREA B
 SCALE: 1/8"=1'-0"



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 11373 Broadway Drive
 Moorpark, CA 93021
 (805) 529-4975

ORANGE COUNTY COURTHOUSE
 700 Civic Center Drive West
 Santa Ana, CA 92702

BASEMENT PLAN - B

SCALE 1/8"=1'-0"	DATE 12/02/16
SHEET NO. B1B	

NOTES

ALL DOORS 36" UNLESS OTHERWISE NOTED

AHU 9 Single Zone

**AHU 2 Single Zone
Constant Volume**

AHU 8 Multizone

AHU 1



BASEMENT- AREA C
 SCALE: 1/8"=1'-0"

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ORANGE COUNTY COURTHOUSE
 700 Civic Center Drive West
 Santa Ana, CA 92702

BASEMENT PLAN - C

SCALE
 1/8"=1'-0"

DATE
 02/05/17

SHEET NO.

B1C

GENERAL NOTES
 1. ALL DOORS 36" W U.N.O.

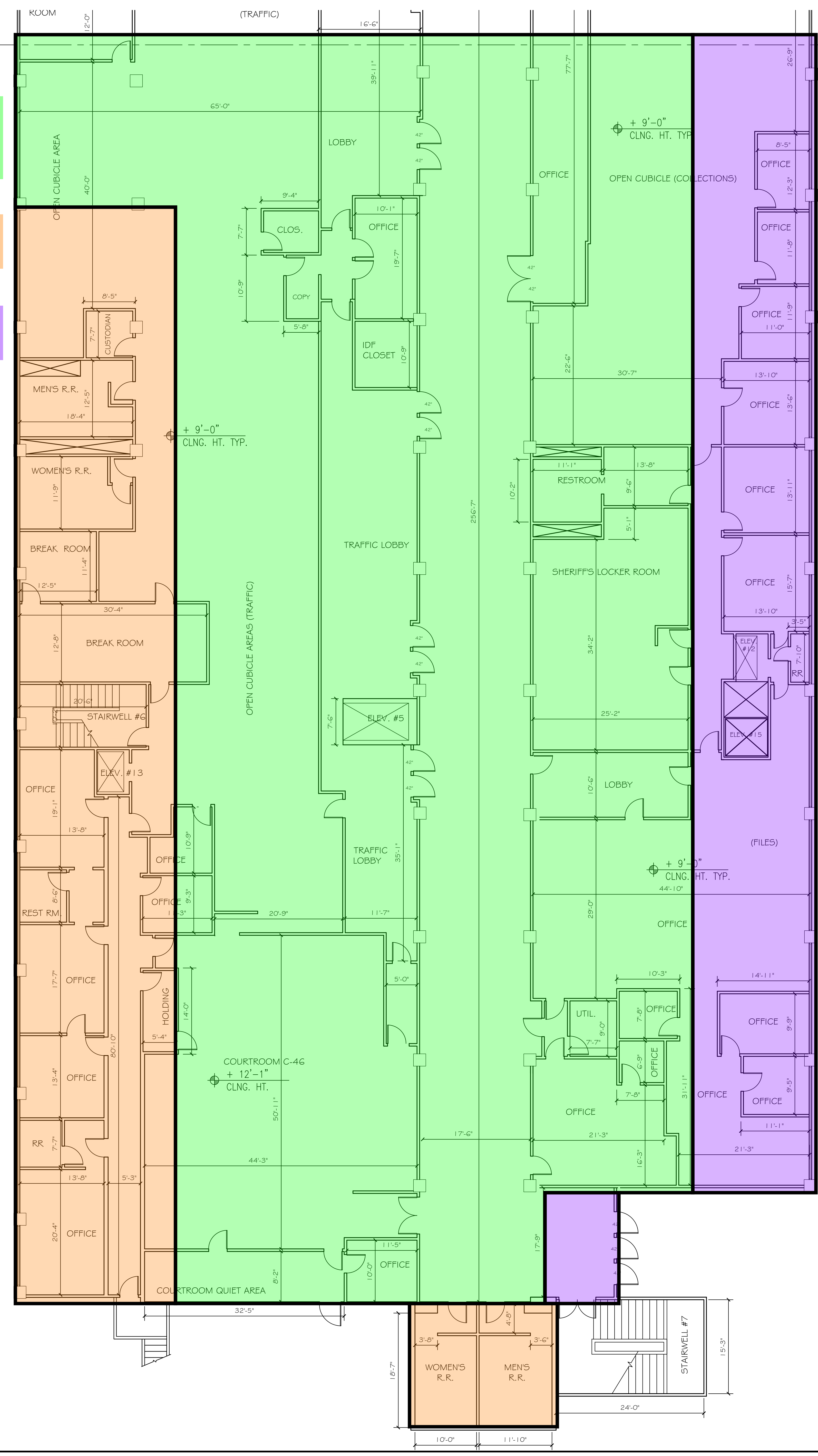
MATCHLINE - AREA B
 MATCHLINE - AREA A

Uncolored area: AHU 39, 2nd Floor, VAV Type

AHU 29, 2nd Floor, VAV Type

AHU 30, 2nd Floor, VAV Type

FIRST FLOOR PLAN - AREA A
 1/8" = 1'-0"



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 Moorpark, CA 93021
 (805) 529-4975

ORANGE COUNTY COURTHOUSE
 700 Civic Center Drive West
 Santa Ana, CA 92702

FLOOR PLAN- FIRST FLOOR AREA A

SCALE
 1/8" = 1'-0"
 DATE
 02/05/17
 SHEET NO.

GENERAL NOTES
1. ALL DOORS 36" W U.N.O.

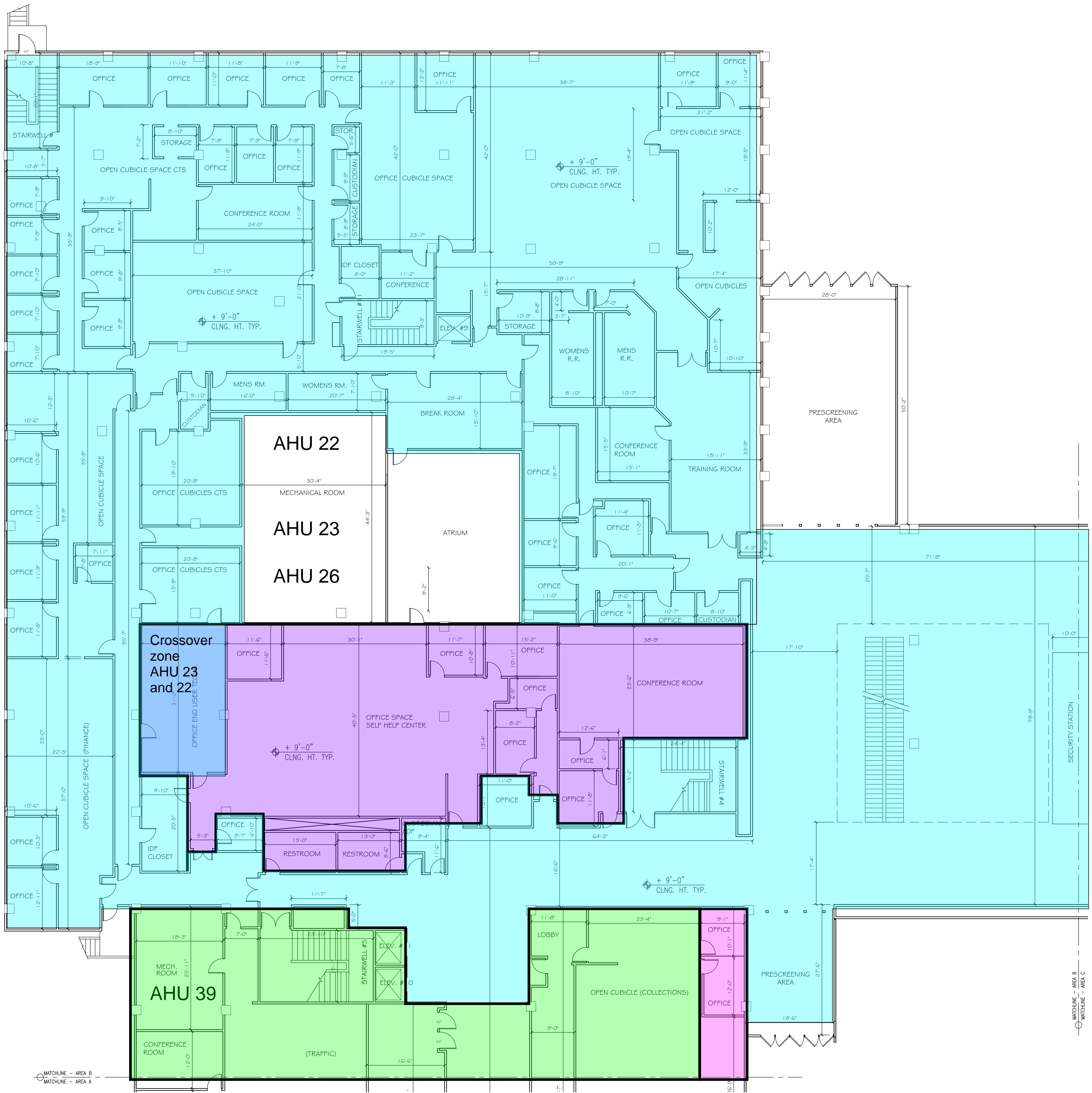
FIRST FLOOR PLAN - AREA B
1/8" = 1'-0"

AHU 22 Hot/Cold Deck

AHU 23 Multizone

AHU 30, 2nd Floor,
VAV Type

Non-colored Area AHU
39 VAV Type



MATCHLINE - AREA B
MATCHLINE - AREA A

MATCHLINE - AREA B
MATCHLINE - AREA C

REVISIONS	BY

DRAWN BY: **CADbuilt, Inc.**
 11373 Broadview Drive
 Moorpark, CA 93021
 (805) 529-4975

ORANGE COUNTY COURTHOUSE
 700 Civic Center Drive West
 Santa Ana, CA 92702

FLOOR PLAN- FIRST FLOOR AREA B

SCALE
1/8" = 1'-0"

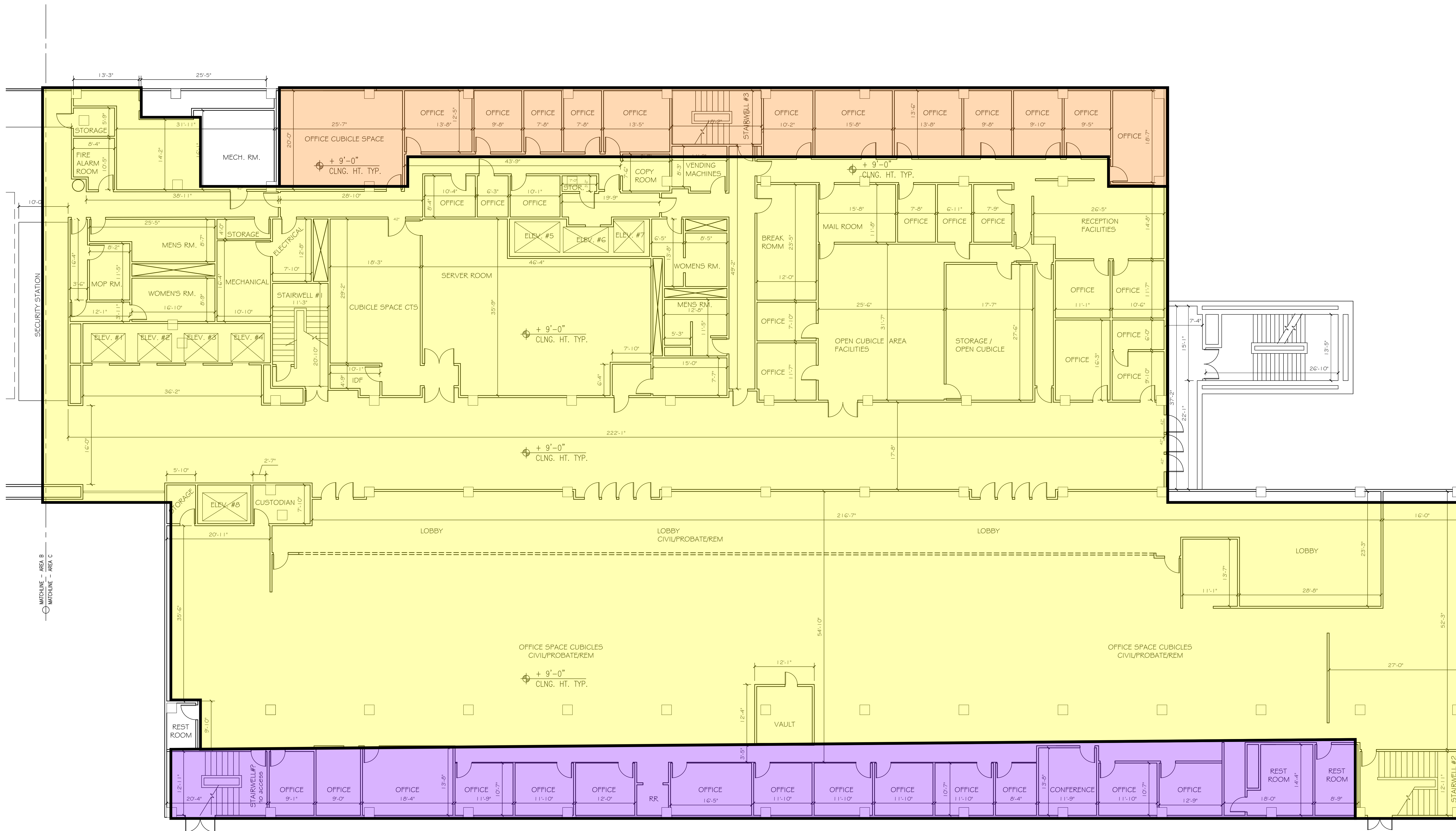
DATE
02/05/17

SHEET NO.

1B

GENERAL NOTES

1. ALL DOORS 36" W U.N.O.



AHU 27 VAV Type

AHU 21 VAV Type

AHU 32 VAV Type

FIRST FLOOR PLAN - AREA C

1/8" = 1'-0"

REVISIONS	BY

DRAWN BY: **CADbuilt, Inc.**
 11373 Broadview Drive
 Moorpark, CA 93021
 (805) 529-4975

ORANGE COUNTY COURTHOUSE
 700 Civic Center Drive West
 Santa Ana, CA 92702



FLOOR PLAN- FIRST FLOOR AREA C

SCALE	1/8" = 1'-0"
DATE	02/05/17
SHEET NO.	10

10

GENERAL NOTES
 1. ALL DOORS 36" W U.N.O.

WALL LEGEND

-  SOLID WALL
-  WIRE OR BARS

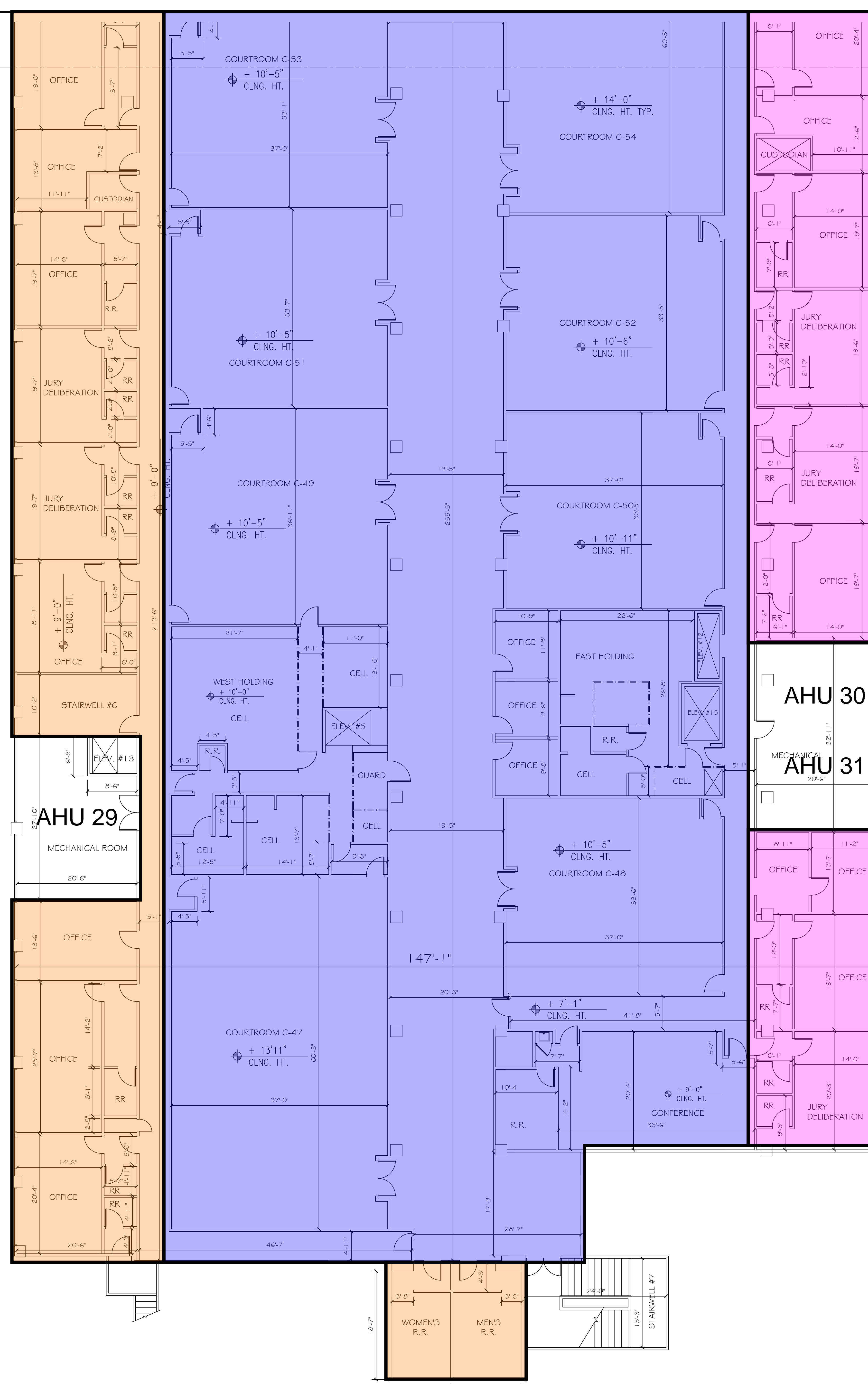
AHU 29 VAV Type

AHU 30 VAV Type

AHU 31 VAV Type

MATCHLINE - AREA B
 MATCHLINE - AREA A

SECOND FLOOR PLAN - AREA A
 1/8" = 1'-0"



<p>ORANGE COUNTY COURTHOUSE 700 Civic Center Drive West Santa Ana, CA 92702</p>	<p>DRAWN BY: CADbuilt, Inc. 11373 Broadway Drive Moorpark, CA 93021 (805) 529-4975</p>						
<p>2ND FLOOR PLAN- AREA A</p>							
<p>SCALE 1/8" = 1'-0"</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 80%;"> </td> <td style="width: 20%;">BY</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>		BY				
	BY						
<p>DATE 02/13/17</p>	<p>SHEET NO. 2A</p>						

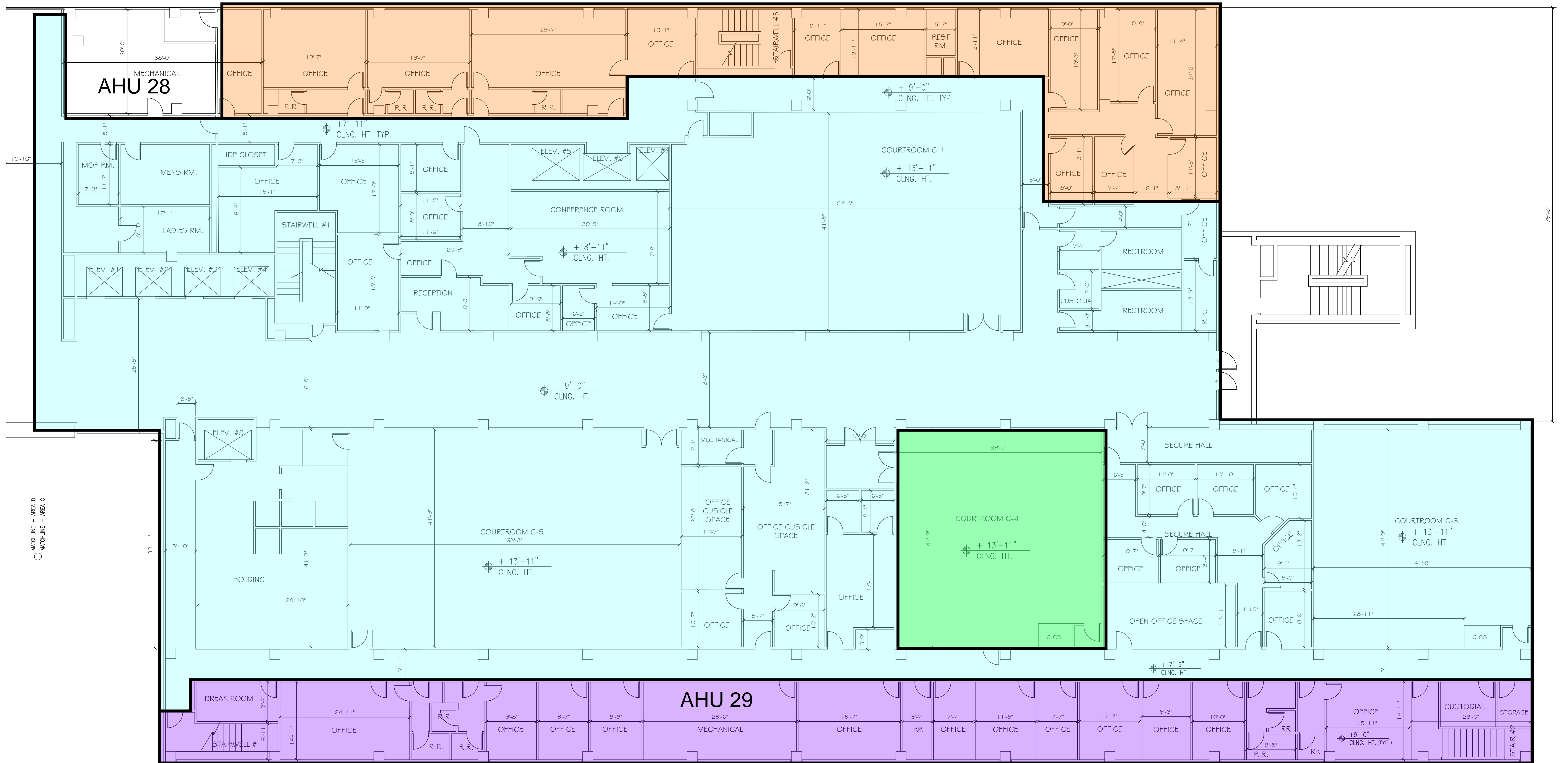
GENERAL NOTES
 1. ALL DOORS 36" W U.N.O.

AHU 32 VAV Type

AHU 27 VAV Type

AHU 28 VAV Type

PKU-3 Rooftop Package Unit



SECOND FLOOR PLAN - AREA C

1/8" = 1'-0"

REVISIONS	BY

DRAWN BY: **CADbuilt, Inc.**
 11373 Broadway Drive
 Moorpark, CA 93021
 (805) 529-4975

ORANGE COUNTY COURTHOUSE
 700 Civic Center Drive West
 Santa Ana, CA 92702

2ND FLOOR PLAN - AREA C

SCALE
 1/8" = 1'-0"

DATE
 02/06/17

SHEET NO.
20

GENERAL NOTES
 1. ALL DOORS 36" W U.N.O.

WALL LEGEND

- SOLID WALL
- ≡≡≡≡ WIRE OR BARS

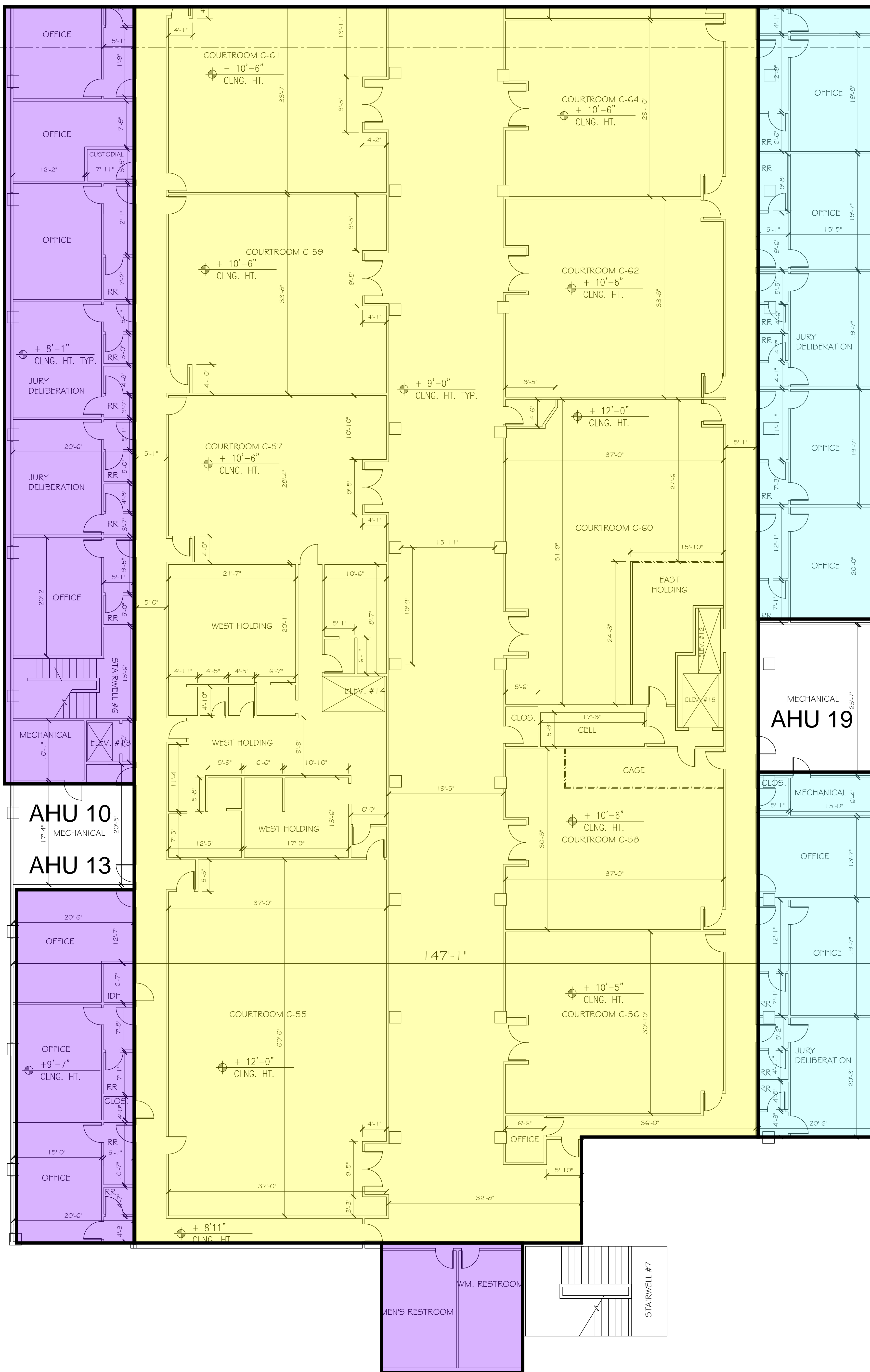
AHU 19 VAV Type

AHU 10 VAV Type

AHU 13 VAV Type

THIRD FLOOR PLAN - AREA A
 1/8" = 1'-0"

MATCHLINE - AREA B
 MATCHLINE - AREA A



REVISIONS	BY

DRAWN BY: **CADbuilt, Inc.**
 11373 Broadway Drive
 Moorpark, CA 93021
 (805) 529-4975

ORANGE COUNTY COURTHOUSE
 700 Civic Center Drive West
 Santa Ana, CA 92702

THIRD FLOOR PLAN- AREA A

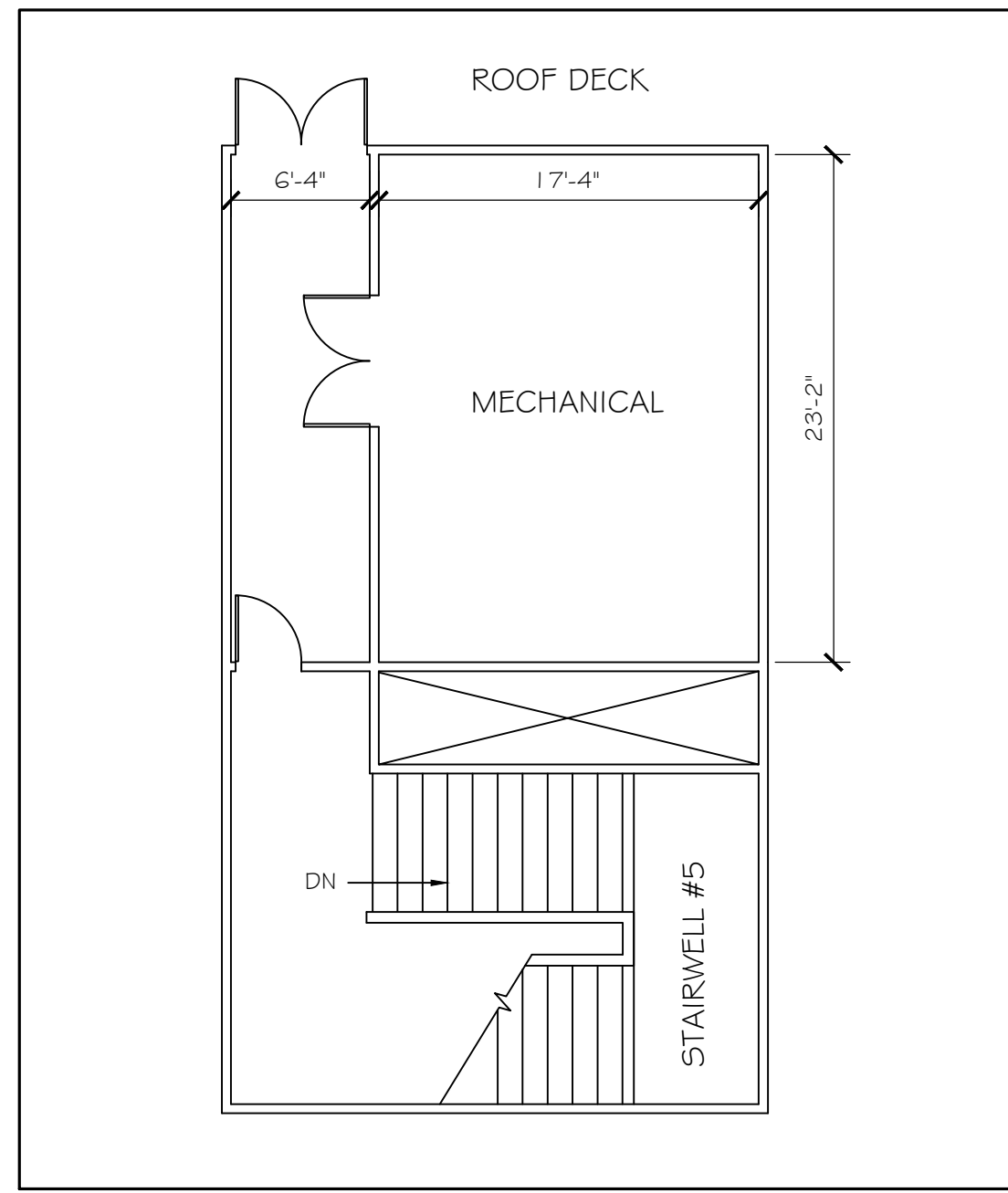
SCALE
 1/8" = 1'-0"

DATE
 02/13/17

SHEET NO.

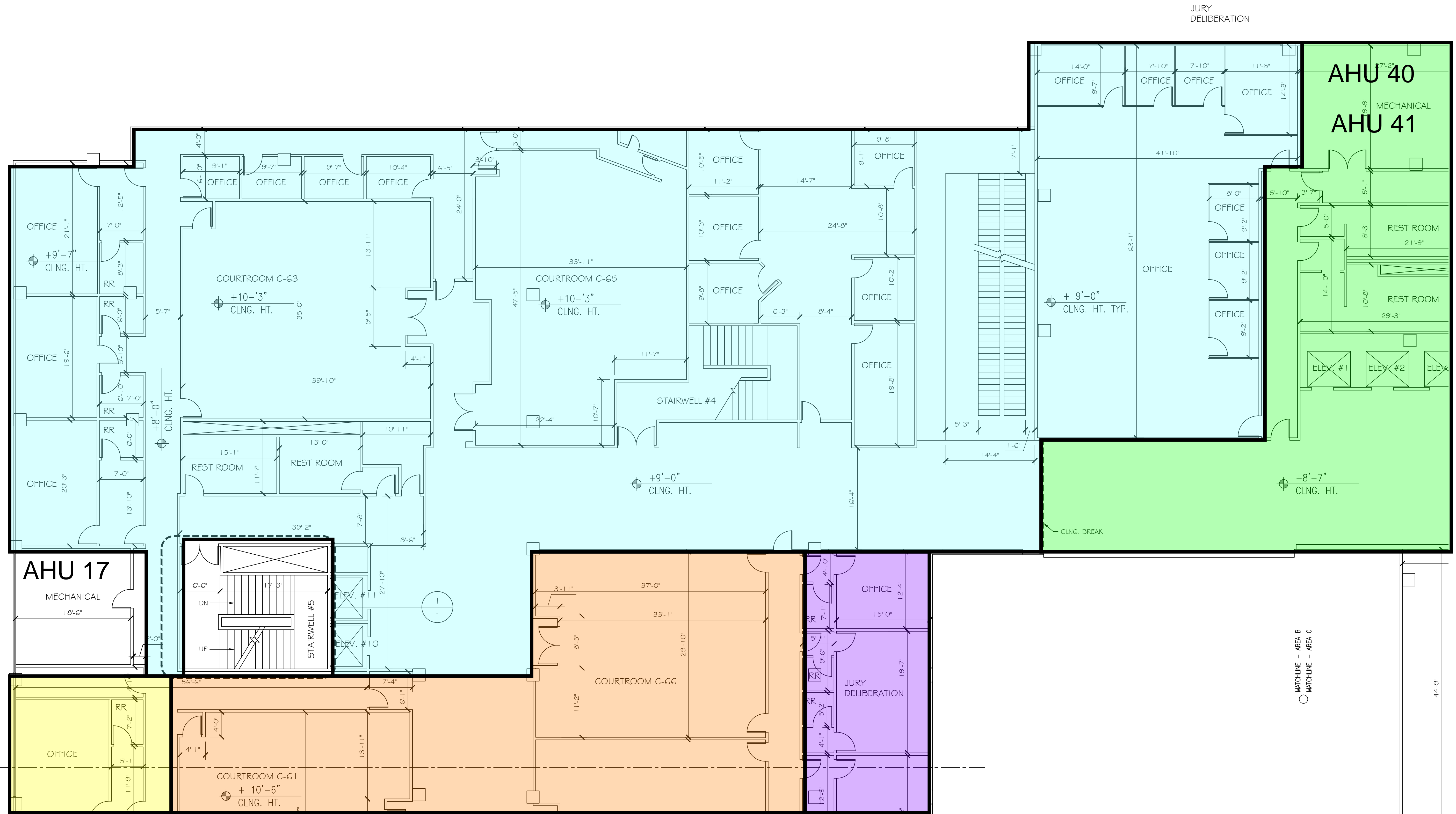
3A

GENERAL NOTES
 1. ALL DOORS 36" W U.N.O.



- AHU 40 Multizone
- AHU 17 Hot/Cold Deck
- AHU 13 VAV Type
- AHU 10 Hot/Cold Deck
- AHU 19 VAV Type

THIRD FLOOR PLAN - AREA B
 1/8" = 1'-0"



REVISIONS	BY

ORANGE COUNTY COURTHOUSE
 700 Civic Center Drive West
 Santa Ana, CA 92702

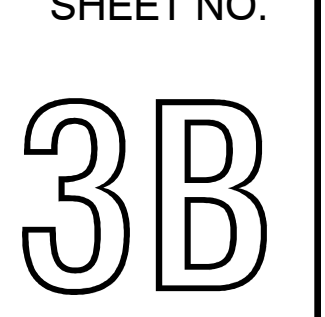
DRAWN BY:
CADbuilt, Inc.
 11373 Broadview Drive
 Moorpark, CA 93021
 (805) 529-4975

THIRD FLOOR PLAN- AREA B

SCALE
 1/8" = 1'-0"

DATE
 02/13/17

SHEET NO.



GENERAL NOTES

1. ALL DOORS 36" W U.N.O.

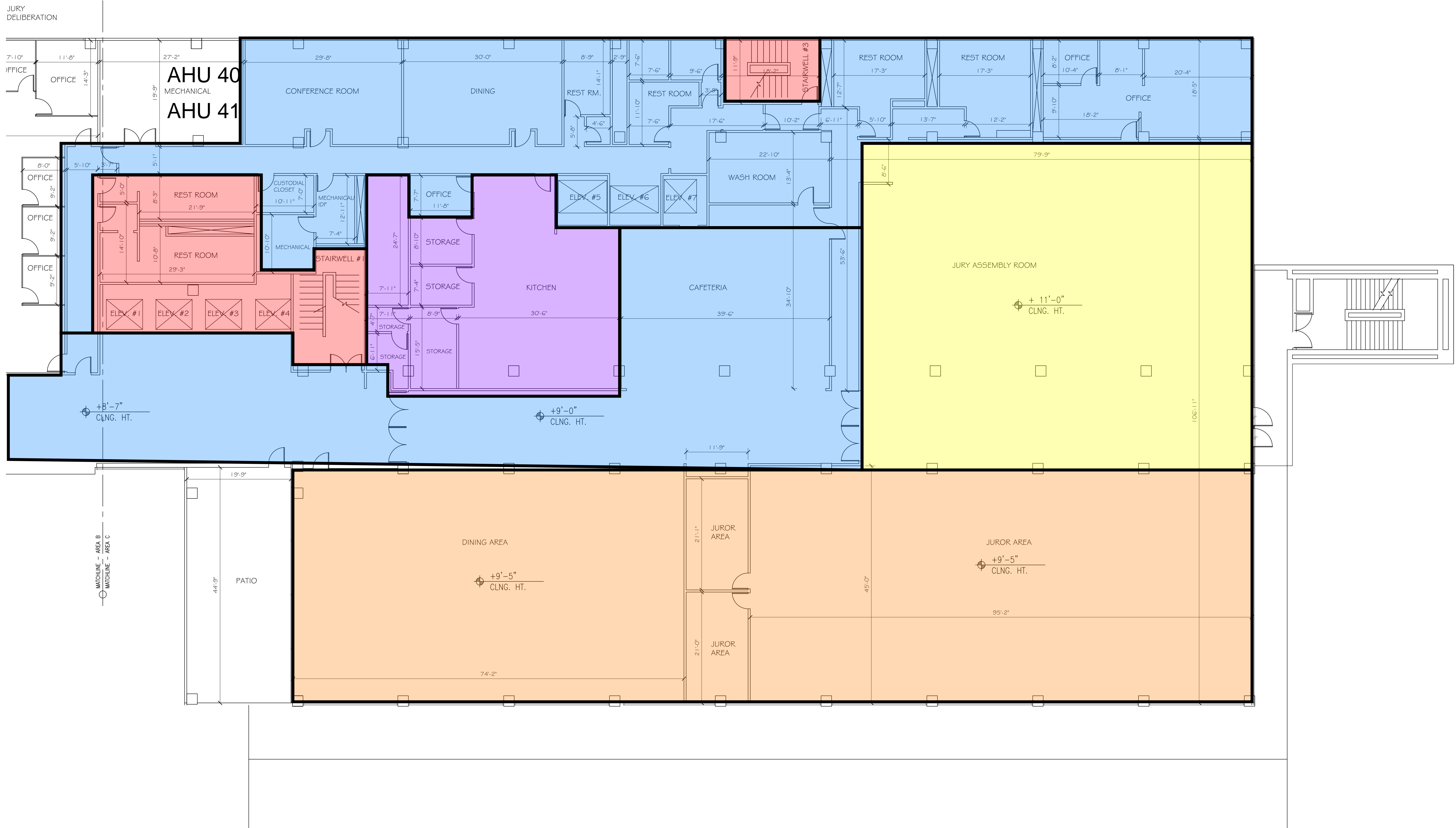
AHU 40 Multizone

AHU 41 Outside Air Only No Cooling

AHU 17 Hot/Cold

Jury Assembly Unit, Split Unit

Package Units on Roof



THIRD FLOOR PLAN - AREA C

1/8" = 1'-0"

REVISIONS	BY

DRAWN BY:
CADbuilt, Inc.
 11373 Broadway Drive
 Moorpark, CA 93021
 (805) 529-4975

ORANGE COUNTY COURTHOUSE
 700 Civic Center Drive West
 Santa Ana, CA 92702

THIRD FLOOR PLAN - AREA C

SCALE
 1/8" = 1'-0"

DATE
 12/02/16

SHEET NO.
30

APPENDIX B

ASBESTOS SURVEY REPORT
BY
FORENSIC ANALYTICAL
CONSULTING SERVICES



June 1, 2020

Pre-Renovation Asbestos Survey Report Fire Sprinkler Upgrade Project Floors 1-3

Santa Ana Central Justice Center (30-A1)

700 Civic Center Drive West
Santa Ana, California 92701
FM – 0028322 / SWO1652809

Prepared for:

Judicial Council of California
Risk Management Unit, Environmental Health &
Safety Section
Facilities Services |Administrative Division
Judicial Council of California
2860 Gateway Oaks Drive, Suite 400
Sacramento, CA 95833-4336

Prepared By:

Forensic Analytical Consulting Services
2959 Pacific Commerce Drive
Rancho Dominguez, California 90221
Office Phone # 310-668-5600

FACS Project #PJ46896

Contents

Introduction	1
Methodology	1
Findings	1
Conclusions and Discussion	1
Recommendations	2
Limitations	3

Appendix A: Asbestos Results Table

Appendix B: Laboratory Reports and Chain of Custody Documents

Appendix C: Personnel and Laboratory Certifications

Appendix C: Floor Plans Depicting Sample Locations

Introduction

Forensic Analytical Consulting Services, Inc. (FACS) was retained by the Judicial Council of California to perform a pre-renovation asbestos survey at the Santa Ana Central Justice Center (30-A1) in anticipation of the fire sprinkler upgrade project. A list of all suspect materials identified and sampled are included in Appendix A of this report. The visual inspection, bulk sample collection, and survey documentation was performed by Oscar Garcia. Mr. Garcia (California Certified Site Surveillance Technician #05-3759) is an AHERA-trained Building Inspector. The survey was conducted on May 20 & 22, 2020.

Methodology

Our investigation consisted of the following:

- Visual inspection
- Documentation of relevant conditions
- Collection of samples of suspect asbestos-containing materials
- Submitting asbestos samples and paint samples to SGS in Carson, CA. SGS is accredited by NVLAP (No. 101459-1) for asbestos analysis.
- Presenting analytical results, conclusions, and recommendations in a report

The survey was restricted to the materials that may be impacted by the project. All other areas of the building were not inspected or tested during this survey. We understand the renovation will involve installation of new fire suppression plumbing lines above the suspended ceilings throughout the first, second and third floors.

The types, numbers, and locations of samples were determined based on provided information, visual observations, regulatory requirements, and other project management considerations.

Findings

Asbestos

Asbestos survey results are summarized in the attached table (Appendix A).

Asbestos was identified in the following materials:

- Fireproofing
- Drywall joint compound

The detailed laboratory reports and completed Sampling Data Forms (Chains of Custody) are contained in Appendix B.

Conclusions and Discussion

Materials for which sample analysis by PLM results in greater than one percent asbestos (for any one sample collected from a homogeneous material) are classified as asbestos-containing material (ACM) under regulations promulgated by (but not limited to) the following agencies: federal EPA, South Coast Air Quality Management District (SCAQMD) California EPA (Cal-EPA), federal OSHA and Cal/OSHA. These materials are also classified as

asbestos-containing construction material (ACCM) under Cal/OSHA and California Contractor State License Board (CSLB) regulations.

The agencies use the following definitions:

Federal EPA: materials containing greater than one percent asbestos are ACM

SCAQMD: materials containing greater than one percent asbestos are ACM

Cal/OSHA: materials containing greater than 0.1% asbestos by weight are ACCM

CSLB: materials containing greater than 0.1% asbestos by weight are ACCM

Materials shown in the table as containing asbestos are regulated materials under the EPA and SCAQMD regulations, Cal/OSHA regulations, and numerous additional regulations.

SCAQMD Rule 1403 requires (with limited exceptions) that both friable and non-friable ACM in buildings be removed prior to maintenance, repairs, renovation or demolition that would disturb the material. Work involving the disturbance of asbestos-containing material also requires ten working days prior notification to SCAQMD (exemption for less than 100 square feet) and notification to Cal/OSHA.

Recommendations

1. All affected portions of asbestos-containing materials should be removed by a licensed asbestos abatement contractor prior to the work planned for the construction project. These materials should not be disturbed, except by a licensed asbestos abatement contractor who complies with all applicable regulations.
2. Consideration should be given to full abatement (removal) of interior ceilings and fireproofing prior to commencement of the fire sprinkler upgrade project. The rationale is due to the potential for asbestos release/fireproofing damage caused by vibration that will occur during fire suppression plumbing installation activities (i.e. plumbing installation requires attachment of hangers to the ceiling decks) if the fireproofing is not fully removed or if only spot abatement is performed. Further, if full abatement not conducted prior, the work areas will still require containment and all trades working in the ceiling space will require asbestos qualifications. Additionally, the HVAC is reported to be an open plenum return system, so this will have to be addressed to prevent HVAC contamination.
 - a. Note: Future planned projects will also require fireproofing and ceiling abatement (i.e. Smoke Purge System Installation Project). So this future projects will also benefit from full abatement and increase the secondary benefit/economies of scale by eliminating the need for repeat abatements or project complexities (and associated costs).
3. If any additional suspect asbestos-containing material is discovered during planned work, the material must be tested for asbestos content prior to any disturbance.
4. Under the California Health and Safety Code Section 25915 et. seq., notification about asbestos-containing construction materials must be provided initially by the building owner within 15 days of receipt of the information to co-owners, tenants, employees, contract workers, or others who may encounter the material, and the notification must be provided annually thereafter. Notification of new asbestos information (such as any ACM or ACCM identified in this report) must be provided within 15 days of the end of each 90-day period. Under Cal/OSHA regulation, this information must also be provided to contractors, sub-contractors or others whose work may disturb ACM or ACCM, prior to submission of bids and performance of work.

5. For further assistance with regulatory requirements, FACS should be consulted, and the applicable regulations should be reviewed.

Limitations

This investigation is limited to the conditions and practices observed and information made available to FACS. The methods, conclusions and recommendations provided are based on FACS' judgment, expertise and the standard of practice for professional service. They are subject to the limitations and variability inherent in the methodology employed. As with all environmental investigations, this investigation is limited to the defined scope and does not purport to set forth all hazards, nor indicate that other hazards do not exist.

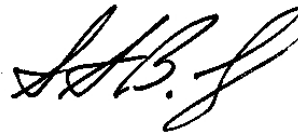
Please do not hesitate to contact our offices at 310-668-5600 with any questions or concerns. Thank you for the opportunity to assist the Judicial Council of California in promoting a more healthful environment.

FORENSIC ANALYTICAL



Mark Smith
CAC No. 00-2736

FORENSIC ANALYTICAL



Stephen Long
CAC No. 92-0580

Appendix A

Asbestos Results Table

Pre-Renovation Asbestos Survey Summary Santa Ana CJC – Fire Sprinkler Upgrade Project Floors 1, 2 & 3 Survey Dates: May 20 & 22, 2020 – Lab report numbers: B304028 and B304117					
Sample Numbers	Material Description	Location(s) of Material	Asbestos Content (percent)	Asbestos Regulatory Classification	Approximate Quantity*
01A – G	Fireproofing	Throughout project areas – on structural steel (and including overspray on other components)	7%	Friable	more than 5,000 SF
02A – G	Smooth plaster wall and various ceilings	Throughout project areas, including overspray	ND	NA	-
03A – G	2'x4' Ceiling tile (larger pinhole pattern)	Throughout – various project areas	ND	NA	-
04A – G	Sand texture plaster walls and various ceilings	Throughout project areas	ND	NA	-
05A – C	2'x4' Ceiling tile (fissured pattern)	1 st floor east wing B100	ND	NA	-
06A – C	1'x3' Ceiling tile (textured pattern)	Throughout – various project areas	ND	NA	-
07A – C	12-inch Ceiling tile (fissured pattern)	3 rd floor holding area hall	ND	NA	-
08A – G 10A-C	Drywall & joint compound walls and various ceilings	Throughout project areas	Drywall: ND Joint Compound: 2%	Class 1 NF	more than 5,000 SF
09A – C	2'x4' Ceiling tile (smaller pinhole pattern)	3 rd floor west wing D301	ND	NA	-
11A-C	2'x2' Ceiling tile (textured pattern)	2 nd floor east wing C4	ND	NA	-
12A-C	2'x2' Ceiling tile (white)	3 rd floor east wing jury assembly area, Craig's Café, 2 nd floor east wing CEO office area & conference room	ND	NA	-

Appendix B

Laboratory Reports and Chain of Custody Documents



Bulk Asbestos Analysis

(EPA Method 40CFR, Part 763, Appendix E to Subpart E and EPA 600/R-93-116, Visual Area Estimation)
 NVLAP Lab Code: 101459-1

Forensic Analytical Consulting Svcs
 Mark A. Smith
 2959 Pacific Commerce Drive
 Rancho Dominguez, CA 90221

Client ID: LA05
Report Number: B304028
Date Received: 05/21/20
Date Analyzed: 05/22/20
Date Printed: 05/22/20
First Reported: 05/22/20

Job ID/Site: PJ46896; Santa Ana Central Justice Center 30-A1: Fire Sprinkler Upgrade 700
 Civic Center Drive West Santa Ana CA 92701

SGSFL Job ID: LA05
Total Samples Submitted: 16
Total Samples Analyzed: 16

Date(s) Collected: 05/20/2020

Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
01A	51350687						
Layer: Beige Semi-Fibrous Material		Chrysotile	7 %				
Total Composite Values of Fibrous Components:		Asbestos (7%)					
Cellulose (Trace)							
01B	51350688						
Layer: Off-White Semi-Fibrous Material		Chrysotile	7 %				
Total Composite Values of Fibrous Components:		Asbestos (7%)					
Cellulose (Trace)							
01C	51350689						
Layer: Off-White Semi-Fibrous Material		Chrysotile	7 %				
Layer: Grey Semi-Fibrous Material			ND				
Total Composite Values of Fibrous Components:		Asbestos (2%)					
Cellulose (Trace) Fibrous Glass (30 %)							
01D	51350690						
Layer: Grey Semi-Fibrous Material			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (7 %)							
01E	51350691						
Layer: Grey Semi-Fibrous Material			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Fibrous Glass (80 %)							
01F	51350692						
Layer: Off-White Semi-Fibrous Material		Chrysotile	7 %				
Total Composite Values of Fibrous Components:		Asbestos (7%)					
Cellulose (Trace)							
01G	51350693						
Layer: Off-White Semi-Fibrous Material		Chrysotile	7 %				
Total Composite Values of Fibrous Components:		Asbestos (7%)					
Cellulose (Trace)							

Report Number: B304028

Date Printed: 05/22/20

Client Name: Forensic Analytical Consulting Svcs

Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
02A	51350694						
Layer: Beige Plaster			ND				
Layer: White Plaster			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)							
02B	51350695						
Layer: Beige Plaster			ND				
Layer: White Plaster			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)							
02C	51350696						
Layer: Beige Plaster			ND				
Layer: Beige Non-Fibrous Material			ND				
Layer: White Non-Fibrous Material			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)							
02D	51350697						
Layer: Beige Non-Fibrous Material			ND				
Layer: White Plaster			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)							
02E	51350698						
Layer: Beige Non-Fibrous Material			ND				
Layer: White Plaster			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)							
02F	51350699						
Layer: Beige Plaster			ND				
Layer: White Plaster			ND				
Layer: White Skimcoat/Joint Compound			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)							
03A	51350700						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (35 %) Fibrous Glass (45 %)							

Report Number: B304028

Client Name: Forensic Analytical Consulting Svcs

Date Printed: 05/22/20

Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
03B	51350701						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (35 %)	Fibrous Glass (45 %)						
03C	51350702						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (35 %)	Fibrous Glass (45 %)						



Tiffani Ludd, Laboratory Supervisor, Carson Laboratory

Note: Limit of Quantification ('LOQ') = 1%. 'Trace' denotes the presence of asbestos below the LOQ. 'ND' = 'None Detected'.

Analytical results and reports are generated by SGS Forensic Laboratories (SGSFL) at the request of and for the exclusive use of the person or entity (client) named on such report. Results, reports or copies of same will not be released by SGSFL to any third party without prior written request from client. This report applies only to the sample(s) tested. Supporting laboratory documentation is available upon request. This report must not be reproduced except in full, unless approved by SGSFL. The client is solely responsible for the use and interpretation of test results and reports requested from SGSFL. SGSFL is not able to assess the degree of hazard resulting from materials analyzed. SGS Forensic Laboratories reserves the right to dispose of all samples after a period of thirty (30) days, according to all state and federal guidelines, unless otherwise specified. All samples were received in acceptable condition unless otherwise noted.

Bar M. Smith

SAMPLING DATA FORM

CLIENT: LA05 Forensic Analytical Consulting Services 2959 Pacific Commerce Drive, Rancho Dominguez, CA 90221		Phone/Fax: _____		Sample Date: 05/20/2020	
Turnaround Time: <input checked="" type="checkbox"/> 24 hr <input type="checkbox"/> 48 hr <input type="checkbox"/> Extended (___ days) <input type="checkbox"/> Rush		Analysis: <input checked="" type="checkbox"/> PLM Standard <input type="checkbox"/> PLM Point Count		Special Instructions: Please contact Mark Smith for TAT	
Site: 400W Civic Center Dr. Santa Ana, CA 92701		PM: Mark Smith		FACS Job No.: PJ 46896	
Sampled by: Oscar Garcia, Mark Smith		FACS Client No.: _____		FACS Job No.: PJ 46896	

Material Description	Material Location(s)	Approx. Quant.	Friable?	Cond.	Sample Number	Sample Location
Fireproofing	1st, 2nd and 3rd floors over spray on deck and fire walls	5,000 SF	YES	Good	O1A	1st Floor, Grand Jury Room, A140, NW
					O1B	2nd Floor, DA's Office, A217, NE
					O1C	2nd Floor, Courtroom, A217, NE
					O1D	3rd Floor, Craig's Cafe, North Center @ Courthouse
					O1E	3rd Floor, Courtroom, A217, NE
					O1F	5th Floor, Next to wing, Corridor, between 500 & 501
					O1G	1st Floor, Entry Wing, Corridor, NE
Plaster	1st, 2nd and 3rd floors		NO		O2A	1st Floor, Grand Jury Room, A143, SE
					O2B	2nd Floor, DA's Office, A217 Room adj 245.1
					O2C	3rd Floor, Courtroom, A217, NE

DW = Gypsum JC = Joint Compound VFT = Vinyl Floor Tile BB = Baseboard MAS = Mastic ADH = Adhesive FP = Fireproofing VSF = Vinyl Sheet Flooring ACT/P = Acoustic Ceiling Tile/Panel ACS = Sprayed-on Acoustical Ceiling Material WT = Wall Texture FD = Fire Door TSI = Thermal System Insulation Exp. Jt. = Expansion Joint PEN = Penetration	Square Feet: SF; Linear Feet: LF Friable: Yes/No Condition: 1 Good/2 Damaged/3 Significant Damage
--	---

Sampled & analyzed by: <i>Bar M. Smith</i> Relinquished by: <i>Bar M. Smith</i> Date & Time: 05/20/2020 Received by: <i>Bar M. Smith</i> D/O Date & Time: 05-21-20 8:00	Relinquished by: Date & Time: Received by: Date & Time:
---	--

For M. Smith

SAMPLING DATA FORM

Page 2 of 2

CLIENT: LA05
 Forensic Analytical Consulting Services
 2959 Pacific Commerce Drive,
 Rancho Dominguez, CA 90221

Phone/Fax: _____ **Sample Date:** 05/20/2020

Turnaround Time: 24 hr 48 hr Extended (___ days) Rush

Analysis: PLM-Standard PLM Point Count

Special Instructions: Please contact Mark Smith for JAT

PM: Mark Smith

Site: 700 W Civic Center Blvd, Santa Ana, CA 92705

FACS Client No.: _____ **FACS Job No.:** PJ46896

Material Description	Material Location(s)	Approx. Quant.	Friable?	Cond.	Sample Number	Sample Location
Plaster	1st, 2nd and 3rd Floor	> 5,000 SF	NO	Good	03A	2nd floor, West Wing, Main Corridor, NE corner
↓	↓	↓	↓	↓	03B	3rd floor, West Wing, Main Corridor, NE corner
↓	↓	↓	↓	↓	03C	1st floor, Grand Jury Room, AIHC, NW
8x4 Plywood	1st 2nd and 3rd floors	1000 SF	YES	Good	03A	1st floor, Grand Jury Room, AIHC, NW
↓	↓	↓	↓	↓	03B	2nd floor, Grand Jury Room, AIHC, NW
↓	↓	↓	↓	↓	03C	3rd floor, Grand Jury Room, AIHC, NW

DW = Gypsum **JC** = Joint Compound **VFT** = Vinyl Floor Tile **BB** = Baseboard **MAS** = Mastic **ADH** = Adhesive **FP** = Fireproofing
VSF = Vinyl Sheet Flooring **ACT/P** = Acoustic Ceiling Tile/Panel **ACS** = Sprayed-on Acoustical Ceiling Material **WT** = Wall Texture **FD** = Fire Door **TSI** = Thermal System Insulation **Exp. Jt.** = Expansion Joint **PEN** = Penetration

Sampled & Relinquished by: Oscar Garcia

Date & Time: 05/20/2020

Received by: [Signature]

Date & Time: 05-21-20

Relinquished by: _____

Date & Time: _____

Received by: _____

Date & Time: _____

Square Feet: SF; Linear Feet: LF
Friable: Yes/No
Condition: 1 Good/ 2 Damaged/ 3 Significant Damage



Bulk Asbestos Analysis

(EPA Method 40CFR, Part 763, Appendix E to Subpart E and EPA 600/R-93-116, Visual Area Estimation)
NVLAP Lab Code: 101459-1

Forensic Analytical Consulting Svcs
Mark A. Smith
2959 Pacific Commerce Drive
Rancho Dominguez, CA 90221

Client ID: LA05
Report Number: B304117
Date Received: 05/26/20
Date Analyzed: 05/27/20
Date Printed: 05/27/20
First Reported: 05/27/20

Job ID/Site: PJ46896; Santa Ana Central Justice Center 30-A1: Fire Sprinkler Upgrade 700
Civic Center Drive West Santa Ana CA 92701

SGSFL Job ID: LA05
Total Samples Submitted: 53
Total Samples Analyzed: 53

Date(s) Collected:

Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
04A	51351418						
Layer: Beige Non-Fibrous Material			ND				
Layer: Off-White Plaster			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)							
04B	51351419						
Layer: Off-White Plaster			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)							
04C	51351420						
Layer: Beige Non-Fibrous Material			ND				
Layer: Off-White Plaster			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)							
04D	51351421						
Layer: Beige Non-Fibrous Material			ND				
Layer: White Plaster			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)							
04E	51351422						
Layer: Beige Non-Fibrous Material			ND				
Layer: White Plaster			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)							

Report Number: B304117

Date Printed: 05/27/20

Client Name: Forensic Analytical Consulting Svcs

Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
04F	51351423						
Layer: Beige Plaster			ND				
Layer: White Plaster			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)							
04G	51351424						
Layer: Beige Non-Fibrous Material			ND				
Layer: Off-White Plaster			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)							
05A	51351425						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (45 %) Fibrous Glass (35 %)							
05B	51351426						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (45 %) Fibrous Glass (35 %)							
05C	51351427						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (45 %) Fibrous Glass (35 %)							
06A	51351428						
Layer: Off-White Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace) Fibrous Glass (80 %)							
06B	51351429						
Layer: Off-White Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace) Fibrous Glass (80 %)							
06C	51351430						
Layer: Foil			ND				
Layer: Tan Fibrous Material			ND				
Layer: Off-White Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace) Fibrous Glass (80 %)							

Report Number: B304117

Date Printed: 05/27/20

Client Name: Forensic Analytical Consulting Svcs

Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
06D	51351431						
Layer: Off-White Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)	Fibrous Glass (80 %)						
06E	51351432						
Layer: Off-White Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)	Fibrous Glass (80 %)						
06F	51351433						
Layer: Off-White Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)	Fibrous Glass (80 %)						
06G	51351434						
Layer: Off-White Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)	Fibrous Glass (80 %)						
07A	51351435						
Layer: Paint			ND				
Layer: Tan Mastic			ND				
Layer: Brown Mastic			ND				
Layer: Paint			ND				
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (15 %)	Fibrous Glass (20 %)						
07B	51351436						
Layer: Tan Mastic			ND				
Layer: Brown Mastic			ND				
Layer: Paint			ND				
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (30 %)	Fibrous Glass (40 %)						
07C	51351437						
Layer: Tan Mastic			ND				
Layer: Paint			ND				
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (30 %)	Fibrous Glass (40 %)						

Report Number: B304117

Date Printed: 05/27/20

Client Name: Forensic Analytical Consulting Svcs

Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
08A	51351438						
Layer: White Drywall			ND				
Layer: White Skimcoat/Joint Compound		Chrysotile	2 %				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (Trace)					
Cellulose (20 %)	Fibrous Glass (2 %)						
08B	51351439						
Layer: Brown Drywall			ND				
Layer: White Skimcoat/Joint Compound		Chrysotile	2 %				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (Trace)					
Cellulose (20 %)	Fibrous Glass (2 %)						
08C	51351440						
Layer: White Drywall			ND				
Layer: White Woven Material			ND				
Layer: White Skimcoat/Joint Compound			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (20 %)	Fibrous Glass (2 %)						
08D	51351441						
Layer: White Drywall			ND				
Layer: Yellow Woven Material			ND				
Layer: White Skimcoat/Joint Compound			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (20 %)	Fibrous Glass (2 %)						
08E	51351442						
Layer: White Drywall			ND				
Layer: White Skimcoat/Joint Compound			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (20 %)	Fibrous Glass (Trace)						
08F	51351443						
Layer: White Drywall			ND				
Layer: Drywall Tape			ND				
Layer: White Skimcoat/Joint Compounds			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (20 %)	Fibrous Glass (Trace)						

Report Number: B304117

Date Printed: 05/27/20

Client Name: Forensic Analytical Consulting Svcs

Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
08G	51351444						
Layer: White Drywall			ND				
Layer: Drywall Tape			ND				
Layer: White Skimcoat/Joint Compounds			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (25 %)	Fibrous Glass (Trace)						
09A	51351445						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (45 %)	Fibrous Glass (35 %)						
09B	51351446						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (45 %)	Fibrous Glass (35 %)						
09C	51351447						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (45 %)	Fibrous Glass (35 %)						
10A	51351448						
Layer: White Drywall			ND				
Layer: White Skimcoat/Joint Compound			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (20 %)	Fibrous Glass (Trace)						
10B	51351449						
Layer: White Drywall			ND				
Layer: Drywall Tape			ND				
Layer: White Skimcoat/Joint Compounds			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (20 %)	Fibrous Glass (Trace)						
10C	51351450						
Layer: White Drywall			ND				
Layer: White Skimcoat/Joint Compound			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (20 %)	Fibrous Glass (Trace)						

Report Number: B304117

Date Printed: 05/27/20

Client Name: Forensic Analytical Consulting Svcs

Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
10D	51351451						
Layer: White Drywall			ND				
Layer: White Skimcoat/Joint Compound			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (20 %)	Fibrous Glass (Trace)						
10E	51351452						
Layer: White Drywall			ND				
Layer: Drywall Tape			ND				
Layer: White Skimcoat/Joint Compounds			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (20 %)	Fibrous Glass (Trace)						
10F	51351453						
Layer: White Drywall			ND				
Layer: White Skimcoat/Joint Compound			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (20 %)	Fibrous Glass (Trace)						
10G	51351454						
Layer: White Drywall			ND				
Layer: Drywall Tape			ND				
Layer: White Skimcoat/Joint Compounds			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (20 %)	Fibrous Glass (Trace)						
11A	51351455						
Layer: Light Grey Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)	Fibrous Glass (80 %)						
11B	51351456						
Layer: Light Grey Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)	Fibrous Glass (80 %)						
11C	51351457						
Layer: Light Grey Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)	Fibrous Glass (80 %)						

Report Number: B304117

Date Printed: 05/27/20

Client Name: Forensic Analytical Consulting Svcs

Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
03D	51351458						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (45 %)	Fibrous Glass (35 %)						
03E	51351459						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (45 %)	Fibrous Glass (35 %)						
03F	51351460						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (45 %)	Fibrous Glass (35 %)						
03G	51351461						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (45 %)	Fibrous Glass (35 %)						
12A	51351462						
Layer: Light Grey Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)	Fibrous Glass (80 %)						
12B	51351463						
Layer: Light Grey Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)	Fibrous Glass (80 %)						
12C	51351464						
Layer: Light Grey Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (Trace)	Fibrous Glass (80 %)						
12D	51351465						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (35 %)	Fibrous Glass (45 %)						

Report Number: B304117

Date Printed: 05/27/20

Client Name: Forensic Analytical Consulting Svcs

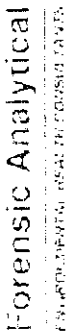
Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
12E	51351466						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (35 %)	Fibrous Glass (45 %)						
02G	51351467						
Layer: Brown Fibrous Material			ND				
Layer: Beige Non-Fibrous Material			ND				
Layer: White Plaster			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (2 %)							
13A	51351468						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (35 %)	Fibrous Glass (45 %)						
13B	51351469						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (35 %)	Fibrous Glass (45 %)						
13C	51351470						
Layer: Beige Fibrous Material			ND				
Layer: Paint			ND				
Total Composite Values of Fibrous Components:		Asbestos (ND)					
Cellulose (35 %)	Fibrous Glass (45 %)						



Tiffani Ludd, Laboratory Supervisor, Carson Laboratory

Note: Limit of Quantification ('LOQ') = 1%. 'Trace' denotes the presence of asbestos below the LOQ. 'ND' = 'None Detected'.

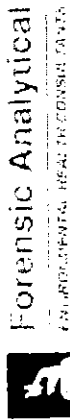
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Forensic Analytical
ENVIRONMENTAL & LABORATORY SERVICES

BULK SAMPLE REQUEST FORM

Client: LA05 FACS Los Angeles		Sampled by: Oscar Garcia		PM: Mark Smith	Date: 08/22/2020
Contact: Mark Smith		Special Instructions:			
Site: Santa Ana Courthouse 700 W Civic Center Dr Santa Ana, CA 92701		Turnaround Time: <input checked="" type="checkbox"/> 1 Day <input type="checkbox"/> 2 Day <input type="checkbox"/> 3 Day <input type="checkbox"/> 5 Day <input type="checkbox"/> RUSH			
Client No.:		Analysis: <input checked="" type="checkbox"/> PLM Standard / <input type="checkbox"/> Point Count			
FACS Job #: PJ 46896		Material Location(s)			
Material Description		Sample Number		Sample Location	
Sand Plaster		04A		3rd Fl. west wing stairs NW	
Thought the 1st, 2nd and 3rd floors wall and ceilings (except stairs and AHU rooms)		04B		3rd Fl. west wing AHU #12 SE	
		04C		3rd Fl. East wing AHU #40/41 w.c.h.	
		04D		2nd Fl. west wing stairs north of AHU #29 ENE	
		04E		2nd Fl. East wing No stairs SE	
		04F		1st Fl. west wing AHU 19, 11, 12 NW	
		04G		1st Fl. East wing SE stairs NW	
2 x 2 Fissured C.P		05A		1st Floor. East wing B100 NW	
		05B		1st Floor- East wing B100 c.h.	
		05C		1st Floor- East wing B100 SE	
WB - Wallboard JC - Joint Compound FT - Floor Tile FTM - Floor Tile Mastic BBM - Baseboard Mastic RSF - Resilient Sheet Flooring CT - Ceiling Tile SAAM - Spray-Applied Acoustical Material WT - Wall Texture		Shipped via: <input type="checkbox"/> Fed Ex <input type="checkbox"/> Airborne <input type="checkbox"/> UPS <input type="checkbox"/> US Mail <input type="checkbox"/> Courier <input checked="" type="checkbox"/> Drop Off <input type="checkbox"/> Other:		Friable Yes/No <input type="checkbox"/> Friable Fair/Poor <input type="checkbox"/> Good/ Fair/Poor <input type="checkbox"/> Good/ Fair/Poor <input type="checkbox"/> No	
Relinquished by: <u>OSCAR GARCIA</u>		Received by: <u>[Signature]</u>		Condition Acceptable <input type="checkbox"/> Yes <input type="checkbox"/> No	
Date & Time: <u>05/22/2020</u>		Date & Time: <u>5-26-20 8pm</u>		Relinquished by: <u>[Signature]</u>	
Date & Time: <u>05/22/2020</u>		Date & Time: <u>5-26-20 8pm</u>		Date & Time: <u>[Signature]</u>	



BULK SAMPLE REQUEST FORM

Client: LA05 FACS Los Angeles		Sampled by: Oscar Garcia		PM: Nicole Smith	Date: 05/22/2020	
Contact: Nicole Smith		Special Instructions:				
Site: Santa Ana Court House 700 W Civic Center Dr Santa Ana, CA 92701		Turnaround Time: <input checked="" type="checkbox"/> 1 Day <input type="checkbox"/> 2 Day <input type="checkbox"/> 3 Day <input type="checkbox"/> 5 Day <input type="checkbox"/> RUSH				
Client No.:		Analysis: <input checked="" type="checkbox"/> PLM Standard / <input type="checkbox"/> Point Count				
FACS Job #: PJ 46896		Phone: (310) 668-5600				
Material Description	Material Location(s)	Sample Number	Sample Location	Friable	Cond.	Affected Quantity
1' x 3' Textured C.P	1st Floor through the west wing except the corridor existing through east CTSS 8100 2nd Fl west wing IDF 2,7 DA Ave. throughst, Human resource area through 3rd Fl East wing financial office areas.	06A	3rd Floor financial services cfr. Existing	YES	Good	25,000SF
		06B	3rd Fl. financial services SE Existing			
		06C	2nd Fl west wing DAven AZIR NE			
		06D	2nd Fl. west wing Human Resources etc.			
		06E	2nd Fl. west wing IDF 2,7 SE			
		06F	1st Fl west wing Human Resource New			
		06G	1st Fl. Existing Corridor New SW			
12" x 12" Frieze Ceiling Tile w/stucco	3rd Floor west wing ballroom	07A	3rd Fl. west wing west hallway cell area ball room	YES	Good	300SF
		07B	3rd Fl. west wing west hallway cell area ball cfr.			
		07C	3rd Fl. west wing west hallway cell area ball SE			

WB - Wallboard JC - Joint Compound FT - Floor Tile FIM - Floor, Tile Mastic BBM - Baseboard Mastic
RSF - Resilient Sheet Flooring CT - Ceiling Tile SAAM - Spray-Applied Acoustical Material WT - Wall Texture

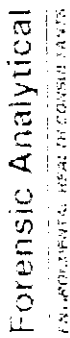
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Relinquished by: Oscar Garcia 2000
Date & Time: 05/22/2020

Received by: [Signature] D/O
Date & Time: 5-26-20

Relinquished by: [Signature]
Date & Time: [Blank]

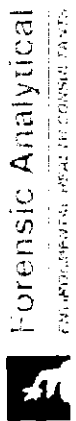
Condition Acceptable Yes No



Forensic Analytical
ENVIRONMENTAL HEALTH CONSULTANTS

BULK SAMPLE REQUEST FORM

Client: LA05 FACS Los Angeles		Phone: (310) 668-5600		Sampled by: <i>Oscar Garcia</i> PM: <i>Maria Smith</i>		Date: <i>05/22/2020</i>	
Contact: <i>Maria Smith</i>		Special Instructions:					
Site: <i>Santa Ana Courthouse 700w Civic Center Dr. Santa Ana CA 92701</i>		Turnaround Time: <input checked="" type="checkbox"/> 1 Day <input type="checkbox"/> 2 Day <input type="checkbox"/> 3 Day <input type="checkbox"/> 5 Day <input type="checkbox"/> RUSH		Analysis: <input checked="" type="checkbox"/> PLM Standard / <input type="checkbox"/> Point Count			
Client No.:		FACS Job #: <i>PJ 46 296</i>					
Material Description	Material Location(s)	Sample Number	Sample Location	Friable	Cond.	Affected Quantity	
<i>Portwall w/ Jct compound</i>	<i>Through the 1st, 2nd and 3rd Floor wall and ceilings. (Except all stairs and AHU rooms)</i>	<i>08A</i>	<i>3rd Floor westwing Corridor between C 5B/56 Etc.</i>	<i>NO</i>	<i>Good</i>	<i>75,000SF</i>	
		<i>08B</i>	<i>3rd Floor westwing Junctions - NE</i>				
		<i>08C</i>	<i>3rd Floor Eastwing Craig's cafe NW</i>				
		<i>08D</i>	<i>2nd Floor westwing East 11 SE</i>				
		<i>08E</i>	<i>2nd Floor Eastwing ME-16.11 SW</i>				
		<i>08F</i>	<i>1st Floor westwing A105 NW</i>				
		<i>08G</i>	<i>1st Floor Eastwing Brasserie NG</i>				
		<i>09A</i>	<i>3rd Floor westwing D301 NW</i>	<i>YES</i>	<i>Good</i>	<i>2,000SF</i>	
		<i>09B</i>	<i>3rd Floor westwing D301 etc.</i>				
<i>2'x4' Swallow-pile C.P.</i>	<i>3rd Floor westwing D301</i>	<i>09C</i>	<i>3rd Floor westwing D301 SE</i>				
WB - Wallboard JC - Joint Compound FT - Floor Tile FTM - Floor Tile Mastic BBM - Baseboard Mastic		RF - Resilient Sheet Flooring CT - Ceiling Tile SAAM - Spray-Applied Acoustical Material WT - Wall Texture		Friable Yes/No		Good/Fair/Poor	
Shipped via: <input type="checkbox"/> Fed Ex <input type="checkbox"/> Airborne <input type="checkbox"/> UPS <input type="checkbox"/> US Mail <input type="checkbox"/> Courier <input checked="" type="checkbox"/> Drop Off <input type="checkbox"/> Other:		Condition Acceptable <input type="checkbox"/> Yes <input type="checkbox"/> No					
Relinquished by: <i>Oscar Garcia</i>		Received by: <i>Maria Smith</i>		Received by: Date & Time			
Date & Time: <i>05/22/2020</i>		Date & Time: <i>05/20/20</i>		Relinquished by: Date & Time			
Relinquished by: <i>Oscar Garcia</i>		Date & Time: <i>05/22/2020</i>		Relinquished by: Date & Time			



Forensic Analytical
7000 Civic Center Dr
Santa Ana, CA 92701

BULK SAMPLE REQUEST FORM

Client: LA05 FACS Los Angeles		Sampled by: Oka Garcia		PM: Mark Smith		Date: 05/22/2020	
Contact: Mark Smith		Phone: (310) 668-5600		Special Instructions:			
Site: Santa Ana Courthouse 7000 Civic Center Dr Santa Ana, CA 92701		Turnaround Time: <input checked="" type="checkbox"/> 1 Day <input type="checkbox"/> 2 Day <input type="checkbox"/> 3 Day <input type="checkbox"/> 5 Day <input type="checkbox"/> RUSH		Analysis: <input checked="" type="checkbox"/> PLM Standard / <input type="checkbox"/> Point Count			
Client No.:		FACS Job #: PJ 46 896					
Material Description	Material Location(s)	Sample Number	Sample Location	Friable	Cond.	Affected Quantity	
Textured drywall with joint compound	3rd Fl. Entryway passage elevator lobby, 2nd Fl. Entryway corridor, C3, C3hall, C4, C4 vestibule, CEO office area, 1st Fl. Jury Assembly and conference room	10A	3rd Floor Entryway passage elevator lobby SE	NO	Good	75,000sf	
		10B	South				
		10C	NW				
		10D	2nd Floor Entryway C4 Vest. South				
		10E	2nd Fl. Entryway C3 east hall NE				
		10F	1st Fl. west wing self help SE				
		10G	1st Fl. west wing Jury Assembly Conf. NE				
2x2 Textured C.P	2nd Floor Entryway C4	11A	NW	YES	Good	1,500sf	
		11B	west.				
		11C	SW				
WB - Wallboard JC - Joint Compound FT - Floor Tile FTM - Floor Tile Mastic BBM - Baseboard Mastic RSF - Resilient Sheet Flooring CT - Ceiling Tile SAAM - Spray-Applied Acoustical Material WT - Wall Texture		Shipped via: <input type="checkbox"/> Fed Ex <input type="checkbox"/> Airborne <input type="checkbox"/> UPS <input type="checkbox"/> US Mail <input type="checkbox"/> Courier <input checked="" type="checkbox"/> Drop Off <input type="checkbox"/> Other:		Condition Acceptable: <input type="checkbox"/> Yes <input type="checkbox"/> No			
Relinquished by: Oka Garcia		Received by: Oka Garcia		Received by: Date & Time			
Date & Time: Santa Ana, 05/22/2020		Date & Time: 5-26-20		Relinquished by: Date & Time			
Relinquished by: Oka Garcia		Date & Time: 05/22/2020		Relinquished by: Date & Time			

BULK SAMPLE REQUEST FORM

Forensic Analytical
LABORATORY FOR FORENSIC PATH

Client: LA05 FACS Los Angeles		Sampled by: <i>Diana Garcia</i> PM: <i>Melic Smith</i>		Date: <i>05/22/2020</i>	
Contact: <i>Melic Smith</i>		Special Instructions:			
Phone: (310) 668-5600		Turnaround Time: <input checked="" type="checkbox"/> 1 Day <input type="checkbox"/> 2 Day <input type="checkbox"/> 3 Day <input type="checkbox"/> 5 Day <input type="checkbox"/> RUSH			
Site: <i>Santa Ana Courthouse 700 W Civic Center Dr Santa Ana, CA 92701</i>		Analysis: <input checked="" type="checkbox"/> PLM Standard / <input type="checkbox"/> Point Count			
Client No.: FACS Job #: <i>PJ 46896</i>					
Material Description	Material Location(s)	Sample Number	Sample Location	Friable Cond.	Affected Quantity
2'x4' perforated ceiling tile	<i>3rd Fl Westwing 311, 310, 309, 0301</i>	<i>03D</i>	<i>3rd Floor Westwing R-309 NW</i>	<i>YES</i>	<i>75,000sf</i>
	<i>2nd Fl Eastwing prob. to court offices, 3 ball, Home-Reserve area, 1st fl. westwing criminal, traffic, operations, file room, collections, NW office area and through eastwing except comb</i>	<i>03E</i>	<i>R-310 NW</i>	<i>YES</i>	<i>75,000sf</i>
		<i>03F</i>	<i>R-311 NW</i>	<i>YES</i>	<i>75,000sf</i>
		<i>03G</i>	<i>2nd Floor Eastwing C3 entry hall NW</i>	<i>YES</i>	<i>75,000sf</i>
			<i>12A</i>	<i>3rd Floor Eastwing Jury Assen. R-SE</i>	<i>YES</i>
2'x2' white C.T.	<i>3rd Fl Eastwing Jury Assembly area, Craigcraft, 2nd fl. Eastwing ceilings and conference room</i>	<i>12B</i>	<i>3rd Floor Eastwing Craigcraft NW</i>	<i>YES</i>	<i>75,000sf</i>
		<i>12C</i>	<i>SE</i>	<i>YES</i>	<i>75,000sf</i>
		<i>12D</i>	<i>2nd Floor Eastwing CEO offices etc.</i>	<i>YES</i>	<i>75,000sf</i>
		<i>12E</i>	<i>CEO conf. room SE</i>	<i>YES</i>	<i>75,000sf</i>

WB - Wallboard JC - Joint Compound FT - Floor Tile FTM - Floor Tile Mastic BBM - Baseboard Mastic
RSF - Resilient Sheet Flooring CT - Ceiling Tile SAAM - Spray-Applied Acoustical Material WT - Wall Texture

Shipped via: Fed Ex Airborne UPS US Mail Courier Drop Off Other:

Relinquished by: *OSCAR GARCIA* 2000 Received by: *CAUTS* *D/O*
Date & Time: *05/22/2020* Date & Time: *5-26-20*

Relinquished by: _____ Date & Time: _____
Relinquished by: _____ Date & Time: _____

Condition Acceptable Yes No

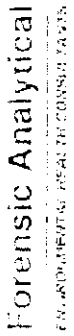
SAMPLING DATA FORM

CLIENT:
 LA05
 Forensic Analytical Consulting Services
 2959 Pacific Commerce Drive,
 Rancho Dominguez, CA 90221
 Site: Santa Ana ~~Center~~ @ Courthouse
 Santa Ana Civic Center Dr. Santa Ana CA 92701
Sampled by: OSCAMGAWA

Phone/Fax: (310) 668.5600 **Sample Date:** 05/22/2020
Turnaround Time: 24 hr 48 hr Extended (___ days) Rush
Analysis: PLM Standard PLM Point Count
Special Instructions:
PM: Mark Smith
FACS Client No.: **FACS Job No.:** PJ 46896

Material Description	Material Location(s)	Approx. Quant.	Friable?	Cond.	Sample Number	Sample Location
Plaster	1st, 2nd and 3rd floors	> 5000sf	No	Good	02G	2nd floor - west wing Junction Room - new

<small>DW = Gypsum JC = Joint Compound VFT = Vinyl Floor Tile BB = Baseboard MAS = Mastic ADH = Adhesive FP = Fireproofing VSF = Vinyl Sheet Flooring ACTP = Acoustic Ceiling Tile/Panel ACS = Sprayed-on Acoustical Ceiling Material WT = Wall Texture FD = Fire Door TSI = Thermal System Insulation Exp. Jt. = Expansion Joint PEN = Penetration</small>				<small>Square Feet: SF; Linear Feet: LF Friable: Yes / No Condition: 1 Good/ 2 Damaged/ 3 Significant Damage</small>	
Sampled & OSCAMGAWA	2008	Relinquished by:			
Relinquished by: Carl	05/22/2020	Date & Time:			
Received by: [Signature]		Received by:			
Date & Time: 5-26-20		Date & Time:			



BULK SAMPLE REQUEST FORM

Page 9 of 9


Client: LA05 FACS Los Angeles Contact: Med. S.H. Site: 500 - Anc Courthouse 500 - Civic Center Pl Santa Ana CA 92701		Phone: (310) 668-5600 FACS Job #: PJ 46896		Sampled by: Oca. Garcia PM: Med. S.H. Date: 05/22/2020		
Special Instructions: Turnaround Time: <input checked="" type="checkbox"/> 1 Day <input type="checkbox"/> 2 Day <input type="checkbox"/> 3 Day <input type="checkbox"/> 5 Day <input type="checkbox"/> RUSH Analysis: <input checked="" type="checkbox"/> PLM Standard / <input type="checkbox"/> Point Count		Friable <input type="checkbox"/> Yes <input type="checkbox"/> No Condition Acceptable <input type="checkbox"/> Yes <input type="checkbox"/> No				
Material Description	Material Location(s)	Sample Number	Sample Location	Friable	Cond.	Affected Quantity
2' x 2' P-hole C.T.	2nd Floor Westwing Probate court services offices	13A	w. ct.	YES	Good	7,500sf
		13B	ct.			
		13C	S. ct.			
Shipped via: <input type="checkbox"/> Fed Ex <input type="checkbox"/> Airborne <input type="checkbox"/> UPS <input type="checkbox"/> US Mail <input type="checkbox"/> Courier <input type="checkbox"/> Drop Off <input type="checkbox"/> Other:		Received by: [Signature] Date & Time: 5/26/20 8:00				
Relinquished by: OSCAR GAMERA Date & Time: 05/22/2020		Relinquished by: Date & Time				

WB - Wallboard JC - Joint Compound FT - Floor Tile FTM - Floor Tile Mastic BBM - Baseboard Mastic
 RSF - Resilient Sheet Flooring CT - Ceiling Tile SAAM - Spray-Applied Acoustical Material WT - Wall Texture

Appendix C

Personnel and Laboratory Certifications

State of California
Division of Occupational Safety and Health
Certified Site Surveillance Technician



Oscar Garcia
Name

Certification No. 05-3759
Expires on 05/19/21

This certification was issued by the Division of Occupational Safety and Health as authorized by Sections 7180 et seq. of the Business and Professions Code.

DEPARTMENT OF INDUSTRIAL RELATIONS
Division of Occupational Safety and Health
Asbestos Certification & Training Unit
2424 Arden Way, Suite 495
Sacramento, CA 95825-2417
(916) 574-2993 Office <http://www.dir.ca.gov/dosh/asbestos.html> acru@dir.ca.gov



003232736C

200

Forensic Analytical Consulting Services
Mark A Smith
2959 Pacific Commerce Drive
Rancho Dominguez CA 90221

February 07, 2020

Dear Certified Asbestos Consultant or Technician:

Enclosed is your certification card. **To maintain your certification, you must abide by the rules printed on the back of the certification card.**

Your certification is valid for a period of one year. If you wish to renew your certification, you must apply for renewal at least 60 days before the expiration date shown on your card. [8 CCR 341.15(h)(1)].

Please hold and do not send copies of your required AHERA refresher renewal certificates to our office until you apply for renewal of your certification.

Certificates must be kept current if you are actively working as a CAC or CSST. The grace period is only for those who are not actively working as an asbestos consultant or site surveillance technician.

Please notify our office via U.S. Postal Service or other carrier of any changes in your mailing or work address within 15 days of the change.

Sincerely,

Jeff Ferrell
Senior Safety Engineer

Attachment: Certification Card

cc: File

Renewal – Card Attached 08/2019

State of California
Division of Occupational Safety and Health
Certified Asbestos Consultant



Mark A Smith
Name

Certification No. 00-2736

Expires on 04/07/21

This certification was issued by the Division of Occupational Safety and Health as authorized by Sections 7180 et seq. of the Business and Professions Code.

United States Department of Commerce
National Institute of Standards and Technology



Certificate of Accreditation to ISO/IEC 17025:2017

NVLAP LAB CODE: 101459-1

SGS Forensic Laboratories
Rancho Dominguez, CA

is accredited by the *National Voluntary Laboratory Accreditation Program* for specific services,
listed on the *Scope of Accreditation*, for:

Asbestos Fiber Analysis

*This laboratory is accredited in accordance with the recognized International Standard ISO/IEC 17025:2017.
This accreditation demonstrates technical competence for a defined scope and the operation of a laboratory quality
management system (refer to joint ISO-ILAC-IAF Communique dated January 2009).*

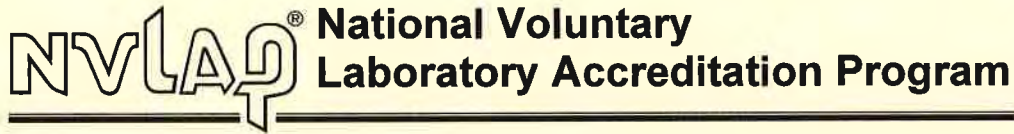
2019-07-01 through 2020-06-30

Effective Dates



A handwritten signature in black ink, appearing to read "Peter S. Lamm".

For the National Voluntary Laboratory Accreditation Program



SCOPE OF ACCREDITATION TO ISO/IEC 17025:2017

SGS Forensic Laboratories
2959 Pacific Commerce Drive
Rancho Dominguez, CA 90221
Mr. Steven Takahashi
Phone: 310-294-4365 Fax: 310-764-1136
Email: stakahashi@falaboratories.com
<http://www.falaboratories.com>

ASBESTOS FIBER ANALYSIS

NVLAP LAB CODE 101459-1

Bulk Asbestos Analysis

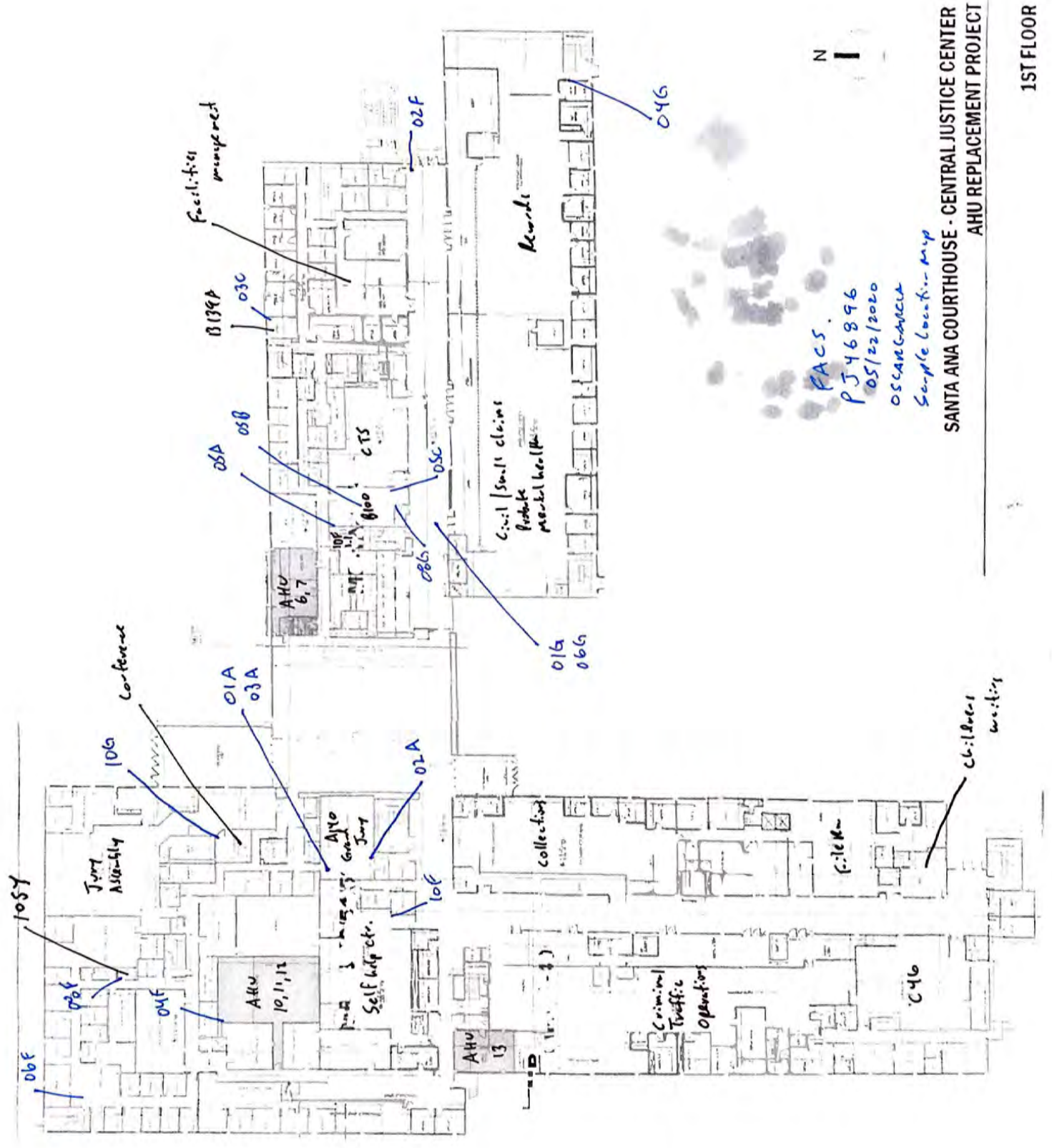
<u>Code</u>	<u>Description</u>
18/A01	EPA -- 40 CFR Appendix E to Subpart E of Part 763, Interim Method of the Determination of Asbestos in Bulk Insulation Samples
18/A03	EPA 600/R-93/116: Method for the Determination of Asbestos in Bulk Building Materials

A handwritten signature in black ink, appearing to read "Dana S. Laman".

For the National Voluntary Laboratory Accreditation Program

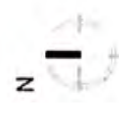
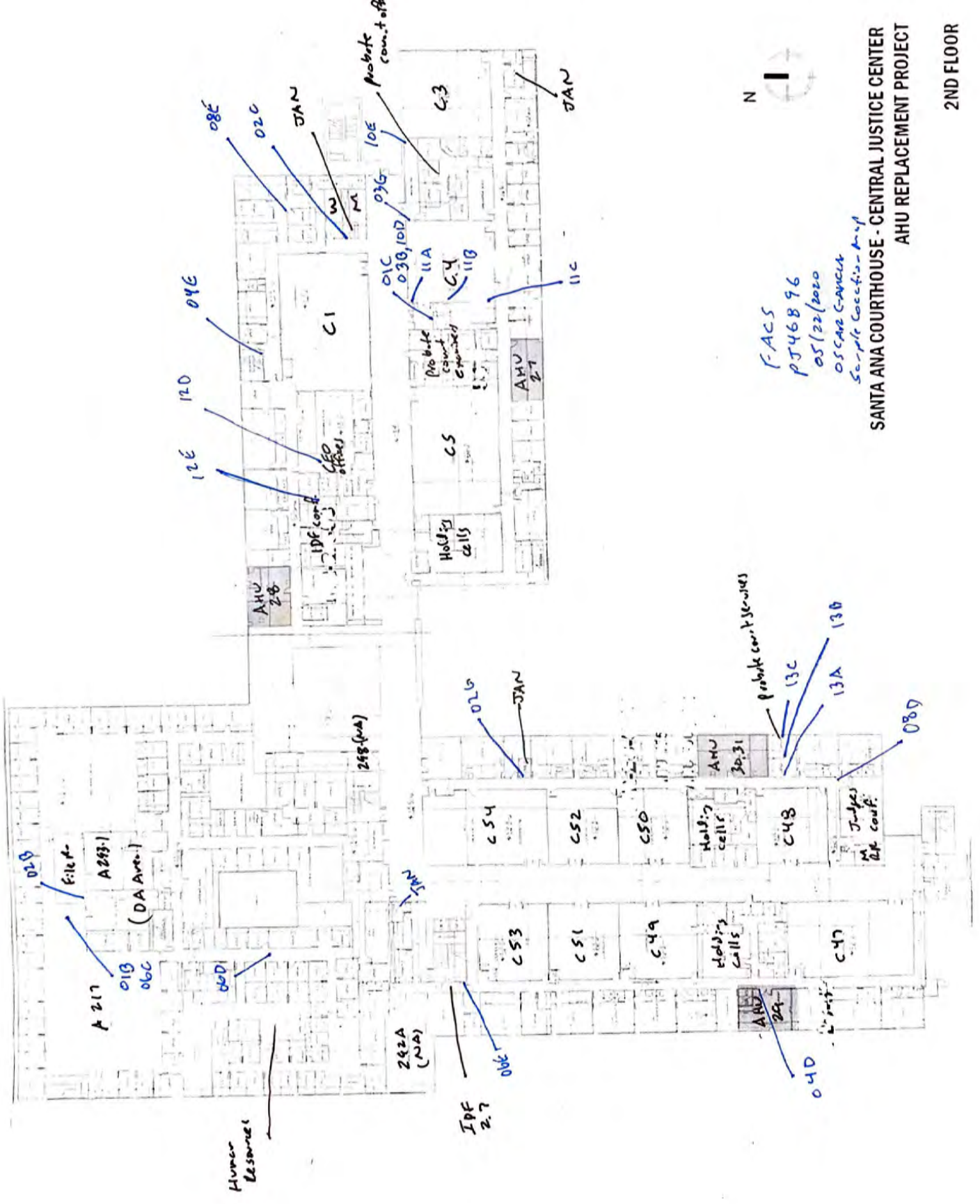
Appendix D

Floor Plans Depicting Sample Locations



FACS
PJ 46896
05/22/2020
OSCAR GARCIA
Sample location map

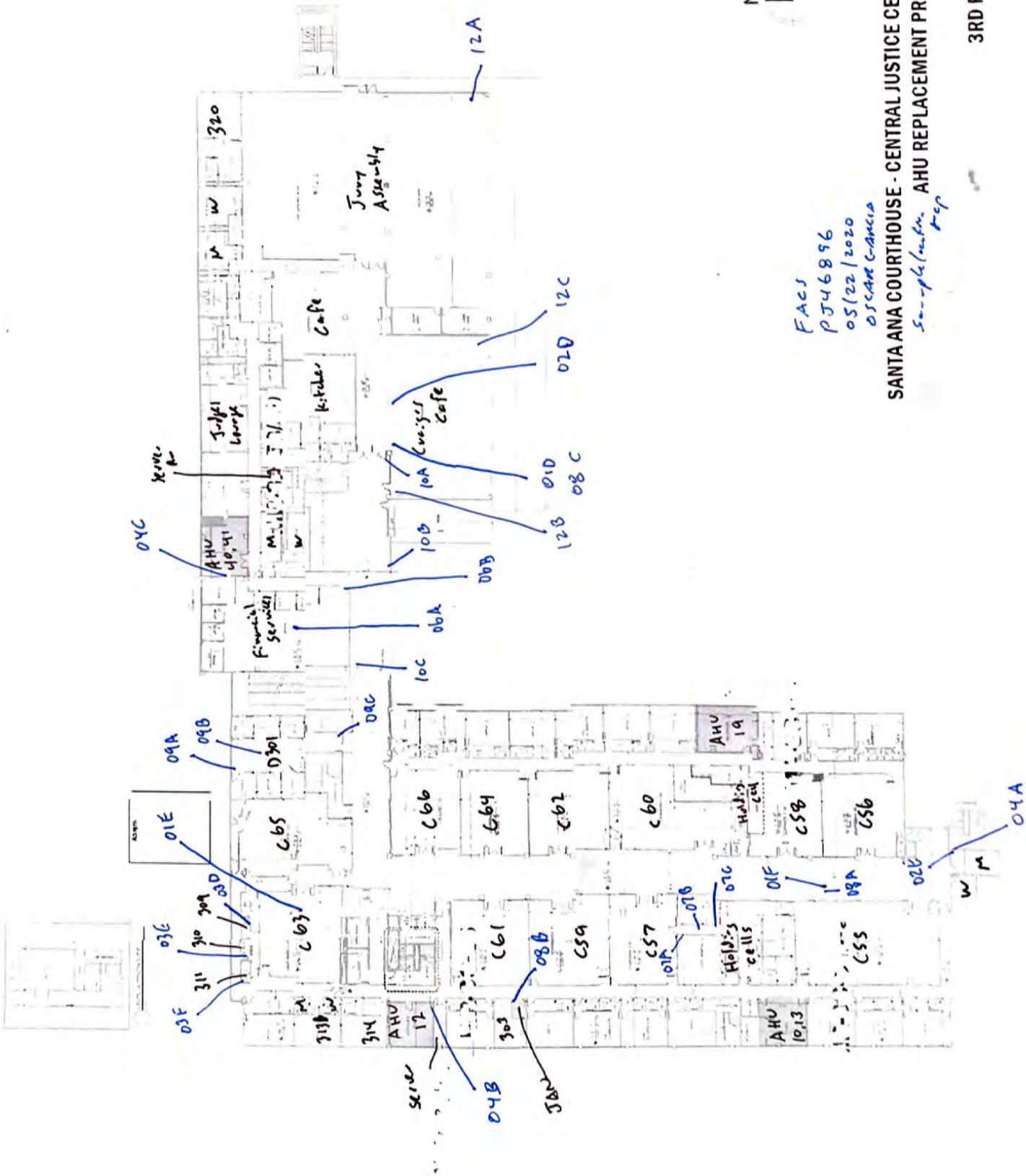
SANTA ANA COURTHOUSE - CENTRAL JUSTICE CENTER
AHU REPLACEMENT PROJECT



F-ACS
PJ 468 96
05/22/2020
OSCAR C-ANCLA
Sample Correc-tion-Arch

SANTA ANA COURTHOUSE - CENTRAL JUSTICE CENTER
AHU REPLACEMENT PROJECT

2ND FLOOR



FACS
PJ46896
05/22/2020
OSCAR GARCIA
See plan for AHU replacement

SANTA ANA COURTHOUSE - CENTRAL JUSTICE CENTER
AHU REPLACEMENT PROJECT

3RD FLOOR

**Right People
Right Perspective
Right Now**

www.forensicanalytical.com

APPENDIX C

COST ESTIMATE

Judicial Council of California Central Justice Center Courthouse Rough Order of Magnitude Construction Cost Estimate				
Item Description	Quantity	Unit	Unit Cost	TOTAL
RELOCATION & SWING SPACE				
Site improvements to connect plumbing, electrical and security to modulars	1	LS	\$500,000	\$500,000
Site 10' security fence, with barbed wire, along entire perimeter	1,500	\$/LF	\$180	\$270,000
Raised platform, 4" thick laminated wood decking	70,000	\$/SF	\$15	\$1,050,000
Secure entrance	1	LS	\$75,000	\$75,000
Specialized furniture for courtrooms	10	EA	\$75,000	\$750,000
Rental cost of parking lot	4	\$/YR	\$255,000	\$1,020,000
Monthly rental cost for a 2,160 sf modular, total reflects 48 months	7	EA	\$3,809	\$1,279,824
Delivery cost (one time fee) for a 2,160 sf modular	1	LS	\$17,056	\$17,056
Return cost (one time fee) for a 2,160 sf modular	1	LS	\$9,833	\$9,833
Monthly rental cost for a 2,880 sf modular, total reflects 48 months	7	EA	\$4,849	\$1,629,264
Delivery cost (one time fee) for a 2,880 sf modular	1	LS	\$21,615	\$21,615
Return cost (one time fee) for a 2,880 sf modular	1	LS	\$12,787	\$12,787
RELOCATION & SWING SPACE SUBTOTAL:				\$6,635,379
ABATEMENT - CEILING & FIREPROOFING				
<i>Basement:</i>				
Mobilization and containment	1	LS	\$50,000	\$50,000
Ceiling abatement	27,312	SF	\$10	\$273,120
Fireproofing abatement	27,312	SF	\$12.50	\$341,400
First Floor Subtotal:				\$664,520
<i>First Floor:</i>				
Mobilization and containment	1	LS	\$100,000	\$100,000
Ceiling abatement	101,485	SF	\$10	\$1,014,850
Fireproofing abatement	101,485	SF	\$12.50	\$1,268,563
First Floor Subtotal:				\$2,383,413
<i>Second Floor</i>				
Mobilization and containment	1	LS	\$100,000	\$100,000
Ceiling abatement	111,395	SF	\$10	\$1,113,950
Fireproofing abatement	111,395	SF	\$12.50	\$1,392,438
Second Floor Subtotal:				\$2,606,388
<i>Third Floor</i>				
Mobilization and containment	1	LS	\$100,000	\$100,000
Ceiling abatement	74,960	SF	\$10	\$749,600
Fireproofing abatement	74,960	SF	\$12.50	\$937,000
Third Floor Subtotal:				\$1,786,600
ABATEMENT - CEILING & FIREPROOFING - SUBTOTAL:				\$6,776,400
ARCHITECTURAL - CEILING DEMOLITION & NEW				
<i>Basement:</i>				
Demolition	27,312	SF	\$2	\$54,624
New, suspended 2'x4' ceiling	27,312	SF	\$5	\$136,560
Basement Subtotal:				\$136,560
<i>First Floor:</i>				
Demolition	101,485	SF	\$2	\$202,970
New, suspended 2'x4' ceiling	101,485	SF	\$5	\$507,425
First Floor Subtotal:				\$710,395
<i>Second Floor</i>				
Demolition	111,395	SF	\$2	\$222,790
New, suspended 2'x4' ceiling	111,395	SF	\$5	\$556,975
Second Floor Subtotal:				\$779,765
<i>Third Floor</i>				
Demolition	74,960	SF	\$2	\$149,920
New, suspended 2'x4' ceiling	74,960	SF	\$5	\$374,800
Third Floor Subtotal:				\$524,720
CEILING - DEMOLITION & NEW SUBTOTAL:				\$2,151,440

Judicial Council of California Central Justice Center Courthouse Rough Order of Magnitude Construction Cost Estimate				
Item Description	Quantity	Unit	Unit Cost	TOTAL
FIRE PROTECTION				
<i>Basement:</i>				
Demolition - partial pipe replacement	50,000	SF	\$6	\$300,000
Replacement and modifications	101,000	SF	\$10	\$1,010,000
Redundant water supply (code required for bldgs over 120 ft) - City water connection	1	LS	\$125,000	\$125,000
Utility survey, pot holing for redundant connection	1	LS	\$50,000	\$50,000
6" fire water, buried	200	LF	\$75	\$15,000
Trench - excavate, backfill, patch/repair asphalt, equipment rental	200	LF	\$125	\$25,000
Interior piping and connection to <e> riser	1	EA	\$50,000	\$50,000
Basement Subtotal:				\$1,575,000
<i>First Floor:</i>				
Modifications - piping and sprinkler heads	101,485	SF	\$10	\$1,014,850
First Floor Subtotal:				\$1,014,850
<i>Second Floor</i>				
Modifications - piping and sprinkler heads	111,395	SF	\$10	\$1,113,950
Second Floor Subtotal:				\$1,113,950
<i>Third Floor</i>				
Modifications - piping and sprinkler heads	74,960	SF	\$10	\$749,600
Third Floor Subtotal:				\$749,600
FIRE PROTECTION SUBTOTAL:				\$4,453,400
ELECTRICAL & LIGHTING				
<i>Basement:</i>				
200W 2'X4' FLUORESCENT FIXTURE (A)	43	EA	\$300	\$12,900
100W 2'X2' FLUORESCENT FIXTURE	10	EA	\$225	\$2,250
100W 8-FOOT FLUORESCENT FIXTURE, OPEN STRIP (L)	242	EA	\$250	\$60,500
50W 6"X4' FLUORESCENT FIXTURE (J)	60	EA	\$250	\$15,000
50W 4-FOOT FLUORESCENT FIXTURE, STRIP (F)	438	EA	\$200	\$87,600
New conduit & wiring, 3/4"C-2#12, 1#12GND, to light fixtures	27,312	SF	\$4	\$109,248
Grounding modifcations for panels	1	LS	\$35,000	\$35,000
Basement Subtotal:				\$322,498
<i>First Floor:</i>				
200W 2'X4' FLUORESCENT FIXTURE (A)	983	EA	\$300	\$294,900
50W 4-FOOT FLUORESCENT FIXTURE, STRIP (F)	7	EA	\$225	\$1,575
100W 4-FOOT COVE LIGHTING (MM)	85	EA	\$200	\$17,000
50W 6"X4' FLUORESCENT FIXTURE (J)	24	EA	\$250	\$6,000
150W RECESSED DOWNLIGHT (P)	70	EA	\$350	\$24,500
50W 2-LAMP 4-FOOT STRIP WITH SYM. REFLECTOR (CC)	153	EA	\$200	\$30,600
New conduit & wiring, 3/4"C-2#12, 1#12GND, to light fixtures	101,485	SF	\$4	\$405,940
Grounding modifcations for panels	1	LS	\$75,000	\$75,000
First Floor Subtotal:				\$855,515
<i>Second Floor</i>				
200W 2'X4' FLUORESCENT FIXTURE (A)	732	EA	\$300	\$219,600
100W 2'X2' FLUORESCENT FIXTURE	56	EA	\$225	\$12,600
50W 6"X4' FLUORESCENT FIXTURE (J)	18	EA	\$250	\$4,500
50W 4-FOOT FLUORESCENT FIXTURE, STRIP (F)	14	EA	\$200	\$2,800
100W 4-FOOT COVE LIGHTING (MM)	894	EA	\$200	\$178,800
50W 2-LAMP 4-FOOT STRIP WITH SYM. REFLECTOR (CC)	2067	EA	\$200	\$413,400
150W RECESSED DOWNLIGHT (P)	23	EA	\$350	\$8,050
New conduit & wiring, 3/4"C-2#12, 1#12GND, to light fixtures	111,395	SF	\$4	\$445,580
Grounding modifcations for panels	1	LS	\$75,000	\$75,000
Second Floor Subtotal:				\$1,360,330
<i>Third Floor</i>				
200W 2'X4' FLUORESCENT FIXTURE (A)	280	EA	\$300	\$84,000
50W 4-FOOT FLUORESCENT FIXTURE, STRIP (F)	30	EA	\$200	\$6,000
100W 4-FOOT COVE LIGHTING (MM)	586	EA	\$200	\$117,200

Judicial Council of California Central Justice Center Courthouse Rough Order of Magnitude Construction Cost Estimate				
Item Description	Quantity	Unit	Unit Cost	TOTAL
50W 6"X4' FLUORESCENT FIXTURE (J)	73	EA	\$250	\$18,250
150W RECESSED DOWNLIGHT (P)	179	EA	\$350	\$62,650
50W 2-LAMP 4-FOOT STRIP WITH SYM. REFLECTOR (CC)	1008	EA	\$200	\$201,600
100W 2'X2' FLUORESCENT FIXTURE	18	EA	\$225	\$4,050
New conduit & wiring, 3/4"C-2#12, 1#12GND, to light fixtures	74,960	SF	\$4	\$299,840
Grounding modifcations for panels	1	LS	\$75,000	\$75,000
Third Floor Subtotal:				\$868,590
ELECTRICAL & LIGHTING SUBTOTAL:				\$3,406,933
FIRE ALARM				
<u>First Floor:</u>				
Modifications - fire alarm devices and wiring	101,485	SF	\$8	\$811,880
First Floor Subtotal:				\$811,880
<u>Second Floor</u>				
Modifications - fire alarm devices and wiring	111,395	SF	\$8	\$891,160
Second Floor Subtotal:				\$891,160
<u>Third Floor</u>				
Modifications - fire alarm devices and wiring	74,960	SF	\$8	\$599,680
Third Floor Subtotal:				\$599,680
FIRE ALARM SUBTOTAL:				\$2,302,720
FIRE PENETRATIONS				
<u>Basement:</u>				
Fire proof <e> penetrations and any new duct penetrations, based on floor area	27,312	SF	\$4	\$109,248
Basement Subtotal:				\$109,248
<u>First Floor:</u>				
Fire proof <e> penetrations and any new duct penetrations, based on floor area	101,485	SF	\$4	\$405,940
First Floor Subtotal:				\$405,940
<u>Second Floor</u>				
Fire proof <e> penetrations and any new duct penetrations, based on floor area	111,395	SF	\$4	\$445,580
Second Floor Subtotal:				\$445,580
<u>Third Floor</u>				
Fire proof <e> penetrations and any new duct penetrations, based on floor area	74,960	SF	\$4	\$299,840
Third Floor Subtotal:				\$299,840
FIRE PENETRATIONS SUBTOTAL:				\$1,151,360
MECHANICAL - SMOKE EVACUATION SYSTEM & DUCT REPLACEMENT				
<u>Basement:</u>				
Install VFD on EF, 5 hp (need to verify)	1	EA	\$5,513	\$5,513
New UL-555S, exhaust damper, to exhaust shaft, 40"x24"	1	EA	\$1,418	\$1,418
New damper actuator	1	EA	\$814	\$814
New smoke evacuation control interface	2	EA	\$5,000	\$10,000
Conduit and wiring	1	LS	\$15,000	\$15,000
Modification to existing smoke evacuation manual control panel	1	LS	\$5,000	\$5,000
Testing and verification, per unit	2	EA	\$5,000	\$10,000
Demolish fiberboard ductwork	27,312	SF	\$1	#VALUE!
Install new galvanized, rectangular ductwork, including dampers	#VALUE!	LBS	\$11	#VALUE!
Duct insulation, 1" thick	#VALUE!	SF	\$10	#VALUE!
Test and balance upon completion	27,312	SF	\$0.75	\$20,484
Basement Subtotal:				#VALUE!
<u>First Floor:</u>				
Install VFD on RF-19, 10 hp	1	EA	\$7,175	\$7,175
Return air damper replacement, UL555S listed, 48"x24", 2 per unit	10	EA	\$1,418	\$14,175
Exhaust air damper replacement, UL555S listed, 48"x24", 2 per unit	10	EA	\$1,418	\$14,175
Outside air damper replacement, 48"x66", 2 per unit	10	EA	\$2,336	\$23,363
Damper actuator, for smoke control	30	EA	\$814	\$24,413

Judicial Council of California Central Justice Center Courthouse Rough Order of Magnitude Construction Cost Estimate				
Item Description	Quantity	Unit	Unit Cost	TOTAL
New smoke evacuation control interface	5	EA	\$5,000	\$25,000
Conduit and wiring	1	LS	\$45,000	\$45,000
Modification to existing smoke evacuation manual control panel	1	LS	\$5,000	\$5,000
Testing and verification, per unit	5	EA	\$5,000	\$25,000
Demolish fiberboard ductwork	101,485	SF	\$1	\$101,485
Install new galvanized, rectangular ductwork, including dampers	#VALUE!	LBS	\$11	#VALUE!
Duct insulation, 1" thick	#VALUE!	SF	\$10	#VALUE!
Test and balance upon completion	101,485	SF	\$0.75	\$76,114
First Floor Subtotal:				#VALUE!
Second Floor				
Install VFD on RF-2, 10 hp	1	EA	\$7,175	\$7,175
Return air damper replacement, UL555S listed, 48"x24", 2 per unit	12	EA	\$1,418	\$17,010
Exhaust air damper replacement, UL555S listed, 48"x24", 2 per unit	12	EA	\$1,418	\$17,010
Outside air damper replacement, 48"x66", 2 per unit	12	EA	\$2,336	\$28,035
Damper actuator, for smoke control	36	EA	\$814	\$29,295
New smoke evacuation control interface	6	EA	\$5,000	\$30,000
Conduit and wiring	1	LS	\$55,000	\$55,000
Modification to existing smoke evacuation manual control panel	1	LS	\$5,000	\$5,000
Testing and verification, per unit	6	EA	\$5,000	\$30,000
Demolish fiberboard ductwork	111,395	SF	\$1	\$111,395
Install new galvanized, rectangular ductwork, including dampers	#VALUE!	LBS	\$11	#VALUE!
Duct insulation	#VALUE!	SF	\$10	#VALUE!
Test and balance upon completion	111,395	SF	\$0.75	\$83,546
Second Floor Subtotal:				#VALUE!
Third Floor				
Install VFD on RF-??, 10 hp	1	EA	\$7,175	\$7,175
Return air damper replacement, UL555S listed, 48"x24", 2 per unit	6	EA	\$1,418	\$8,505
Exhaust air damper replacement, UL555S listed, 48"x24", 2 per unit	6	EA	\$1,418	\$8,505
Outside air damper replacement, 48"x66", 2 per unit	6	EA	\$2,336	\$14,018
Damper actuator, for smoke control	18	EA	\$814	\$14,648
New smoke evacuation control interface	3	EA	\$5,000	\$15,000
Conduit and wiring	1	LS	\$65,000	\$65,000
Modification to existing smoke evacuation manual control panel	1	LS	\$5,000	\$5,000
Testing and verification, per unit	3	EA	\$5,000	\$15,000
Demolish fiberboard ductwork	74,960	SF	\$1	\$74,960
Install new galvanized, rectangular ductwork, including dampers	#VALUE!	LBS	\$11	#VALUE!
Duct insulation	#VALUE!	SF	\$10	#VALUE!
Test and balance upon completion	74,960	SF	\$0.75	\$56,220
Third Floor Subtotal:				#VALUE!
SMOKE EVACUATION SYSTEM & DUCT REPLACEMENT SUBTOTAL:				#VALUE!
DIRECT COSTS:				
Central Justice Center Project Cost Subtotal:				#VALUE!
Escalation to start of construction (12 months @ 0.42%/month):			0.42%	#VALUE!
Escalation to midpoint of construction (24 months @ 0.42%/month):			0.42%	#VALUE!
Allowance for work to occur during off hours, at 1.5x regular rate:				\$2,000,000
ESTIMATED DIRECT COSTS SUBTOTAL:				#VALUE!
INDIRECT COSTS:				
Swing Space & Relocation Subtotal:				\$6,635,379
Design Build Fee:			7%	#VALUE!
ESTIMATED INDIRECT COSTS SUBTOTAL:				#VALUE!
ESTIMATED CONTRACTED COSTS (DIRECT + INDIRECT) SUBTOTAL:				#VALUE!
			Contingency: 10%	#VALUE!

Judicial Council of California Central Justice Center Courthouse Rough Order of Magnitude Construction Cost Estimate				
Item Description	Quantity	Unit	Unit Cost	TOTAL
ESTIMATED CONSTRUCTION COST W/ CONTINGENCY SUBTOTAL:				#VALUE!
 <i>OTHER COSTS:</i>				
Moving & Relocation Expenses (\$100,000 per phase):				\$800,000
Architect/Engineer to develop Design/Build Criteria:				\$410,000
Construction Management:			4.0%	#VALUE!
Project Management:				\$813,300
Commissioning:				\$200,000
Plan check fees, peer review:				\$732,000
ESTIMATED OTHER COSTS SUBTOTAL:				#VALUE!
TOTAL PROJECT COST:				#VALUE!

APPENDIX D

FIRE SPRINKLER COVERAGE

GENERAL NOTES
 1. ALL DOORS 36" W U.N.O.

 = No fire sprinkler coverage

MATCHLINE - AREA B
 MATCHLINE - AREA A



FIRST FLOOR PLAN - AREA A
 1/8" = 1'-0"

REVISIONS	BY

DRAWN BY: **CADbuilt, Inc.**
 11373 Broadway Drive
 Moorpark, CA 93021
 (805) 529-4975

ORANGE COUNTY COURTHOUSE
 700 Civic Center Drive West
 Santa Ana, CA 92702

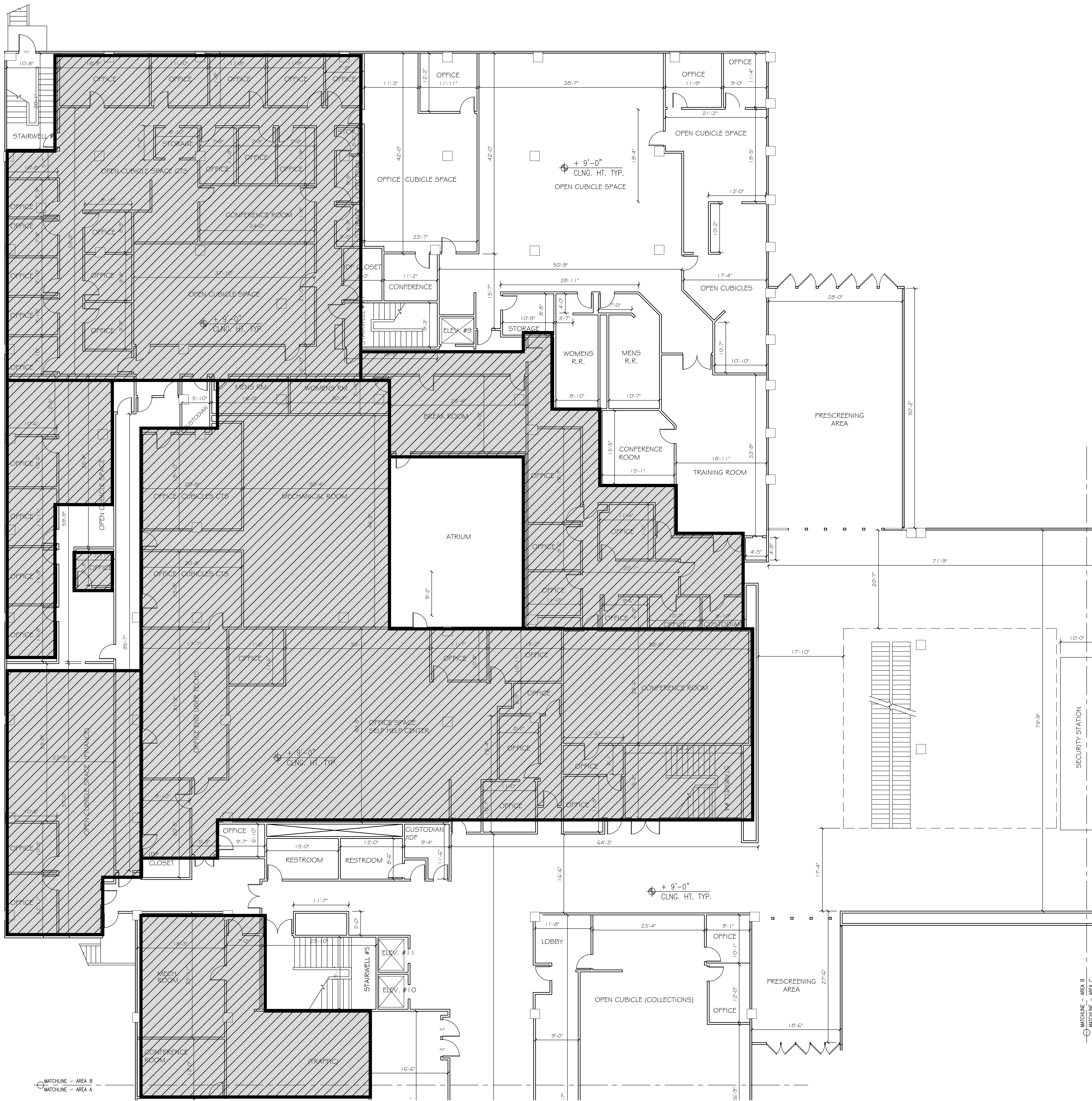
FLOOR PLAN- FIRST FLOOR AREA A

SCALE 1/8" = 1'-0"
DATE 02/05/17
SHEET NO. 1A

GENERAL NOTES
 1. ALL DOORS 36" W U.N.O.

 = No fire sprinkler coverage

FIRST FLOOR PLAN - AREA B
 1/8" = 1'-0"



MATCHLINE - AREA B
 MATCHLINE - AREA A

MATCHLINE - AREA B
 MATCHLINE - AREA C

REVISIONS	BY

ORANGE COUNTY COURTHOUSE
 700 Civic Center Drive West
 Santa Ana, CA 92702

FLOOR PLAN- FIRST FLOOR AREA B

SCALE
 1/8" = 1'-0"
 DATE
 02/05/17

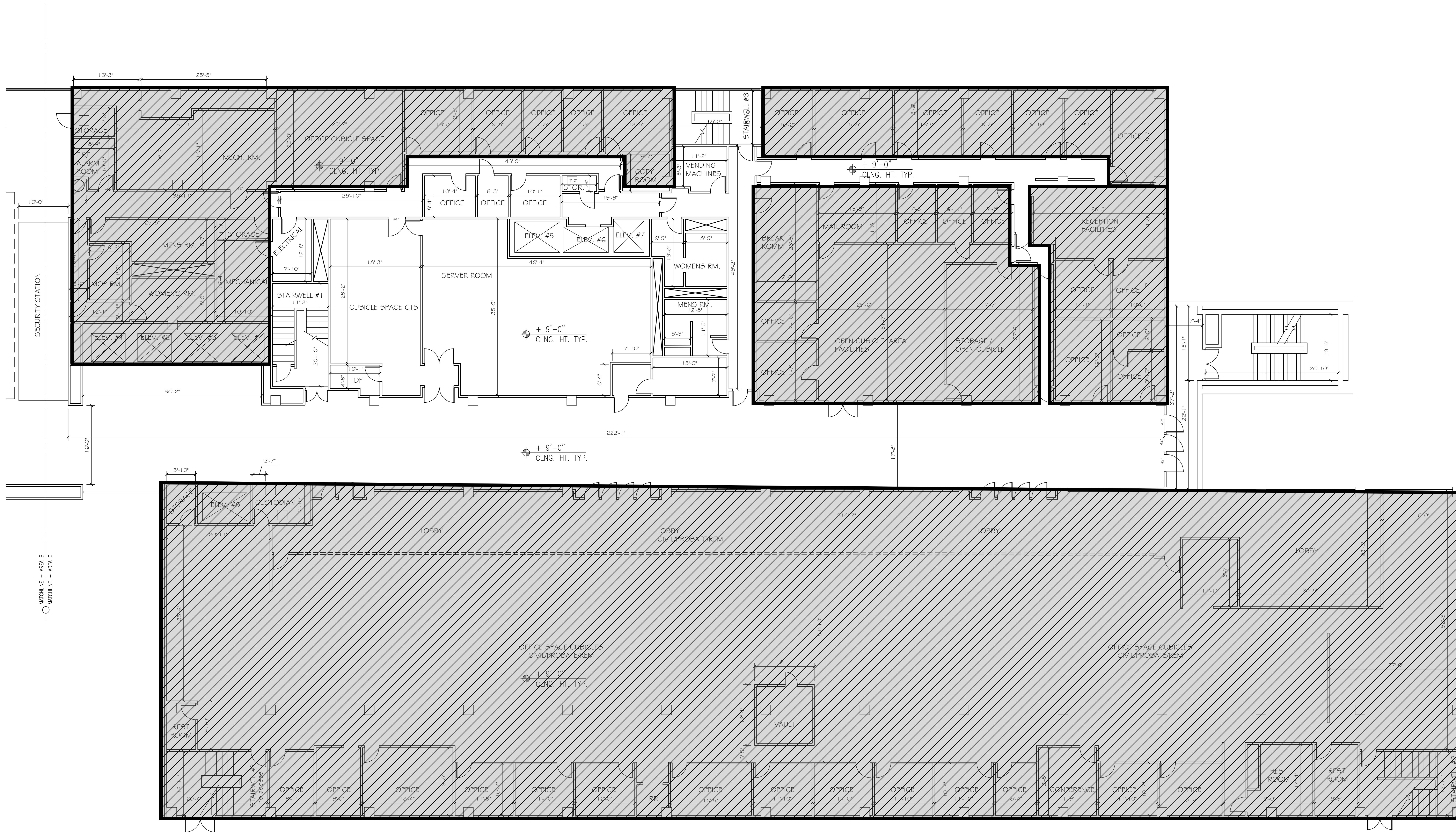
SHEET NO.
1B

DRAWN BY:
CADbuilt, Inc.
 11373 Broadview Drive
 Moorpark, CA 93021
 (805) 529-4975

GENERAL NOTES

1. ALL DOORS 36" W U.N.O.

 = No fire sprinkler coverage



FIRST FLOOR PLAN - AREA C

1/8" = 1'-0"

REVISIONS	BY

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 11373 Broadview Drive
 Moorpark, CA 93021
 (805) 529-4975

ORANGE COUNTY COURTHOUSE
 700 Civic Center Drive West
 Santa Ana, CA 92702

FLOOR PLAN- FIRST FLOOR AREA C

SCALE
 1/8" = 1'-0"

DATE
 02/05/17

SHEET NO.

1C

GENERAL NOTES

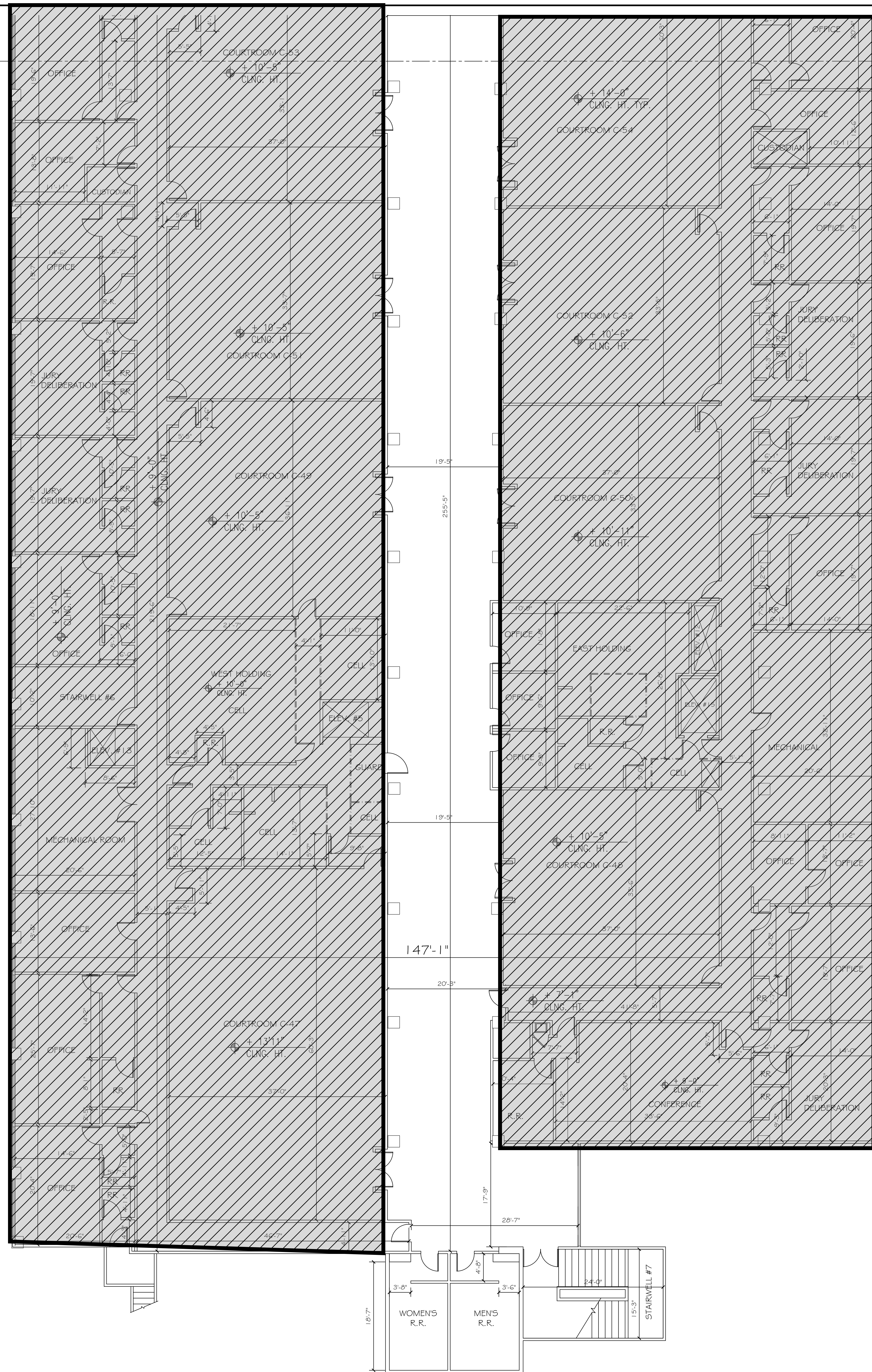
1. ALL DOORS 36" W U.N.O.

WALL LEGEND

— SOLID WALL
 = = = WIRE OR BARS

 = No fire sprinkler coverage

MATCHLINE - AREA B
 MATCHLINE - AREA A



SECOND FLOOR PLAN - AREA A
 3/8" = 1'-0"

REVISIONS	BY

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 Moorpark, CA 93021
 (805) 529-4975

ORANGE COUNTY COURTHOUSE
 700 Civic Center Drive West
 Santa Ana, CA 92702

2ND FLOOR PLAN- AREA A

SCALE
 1/8" = 1'-0"

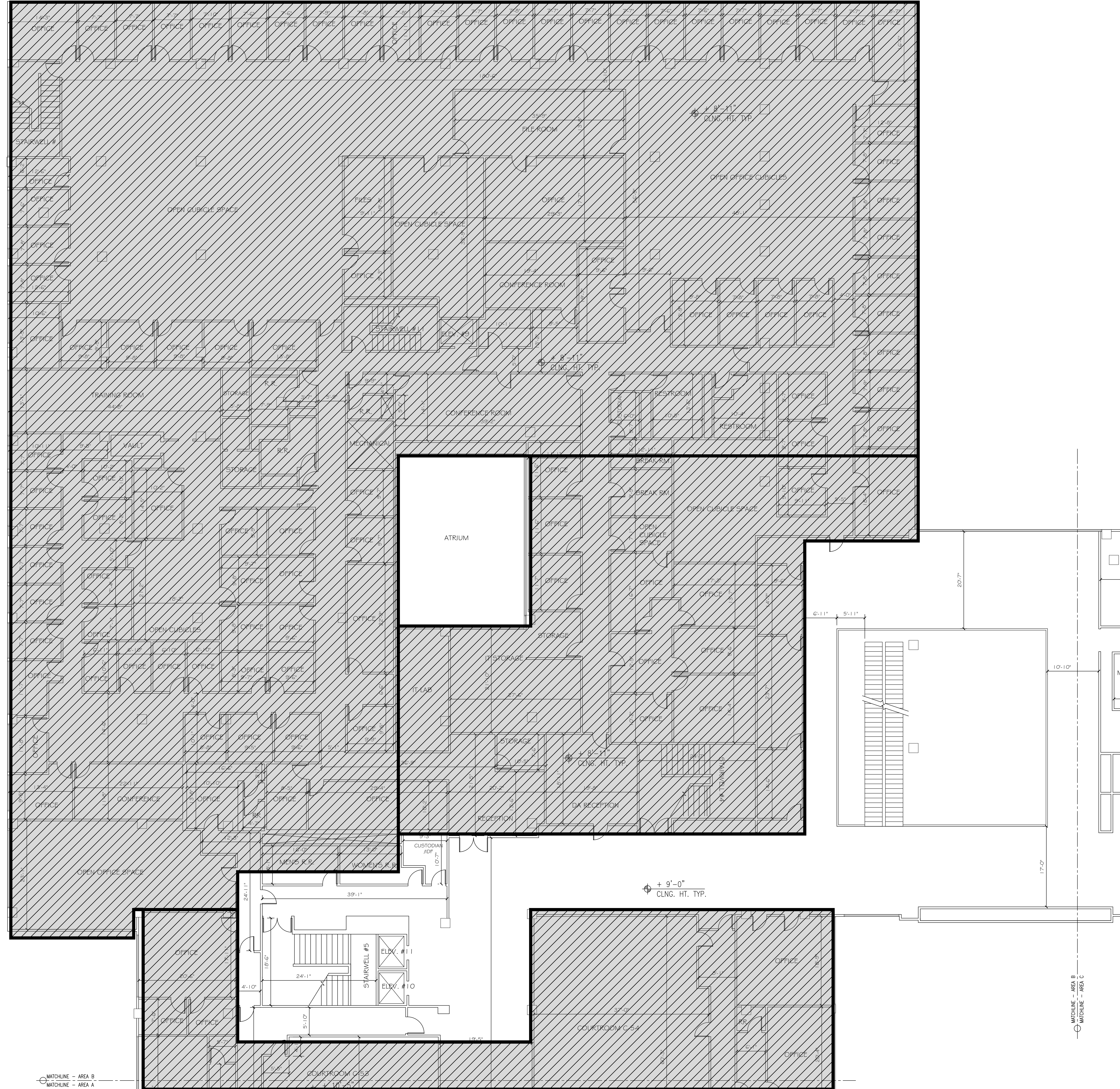
DATE
 02/13/17

SHEET NO.
2A

GENERAL NOTES
 1. ALL DOORS 36" W U.N.O.

 = No fire sprinkler coverage

SECOND FLOOR PLAN - AREA B
 1/8" = 1'-0"



MATCHLINE - AREA B
 MATCHLINE - AREA A

MATCHLINE - AREA B
 MATCHLINE - AREA C

REVISIONS	BY

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 Moorpark, CA 93021
 (805) 529-4975

ORANGE COUNTY COURTHOUSE
 700 Civic Center Drive West
 Santa Ana, CA 92702

2ND FLOOR PLAN- AREA B

SCALE
 1/8" = 1'-0"

DATE
 02/13/17

SHEET NO.
2B

GENERAL NOTES

1. ALL DOORS 36" W U.N.O.

 = No fire sprinkler coverage



SECOND FLOOR PLAN - AREA C

1/8" = 1'-0"

REVISIONS	BY

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 700 Civic Center Drive West
 Santa Ana, CA 92702

2ND FLOOR PLAN - AREA C

SCALE
 1/8" = 1'-0"

DATE
 02/06/17

SHEET NO.
20

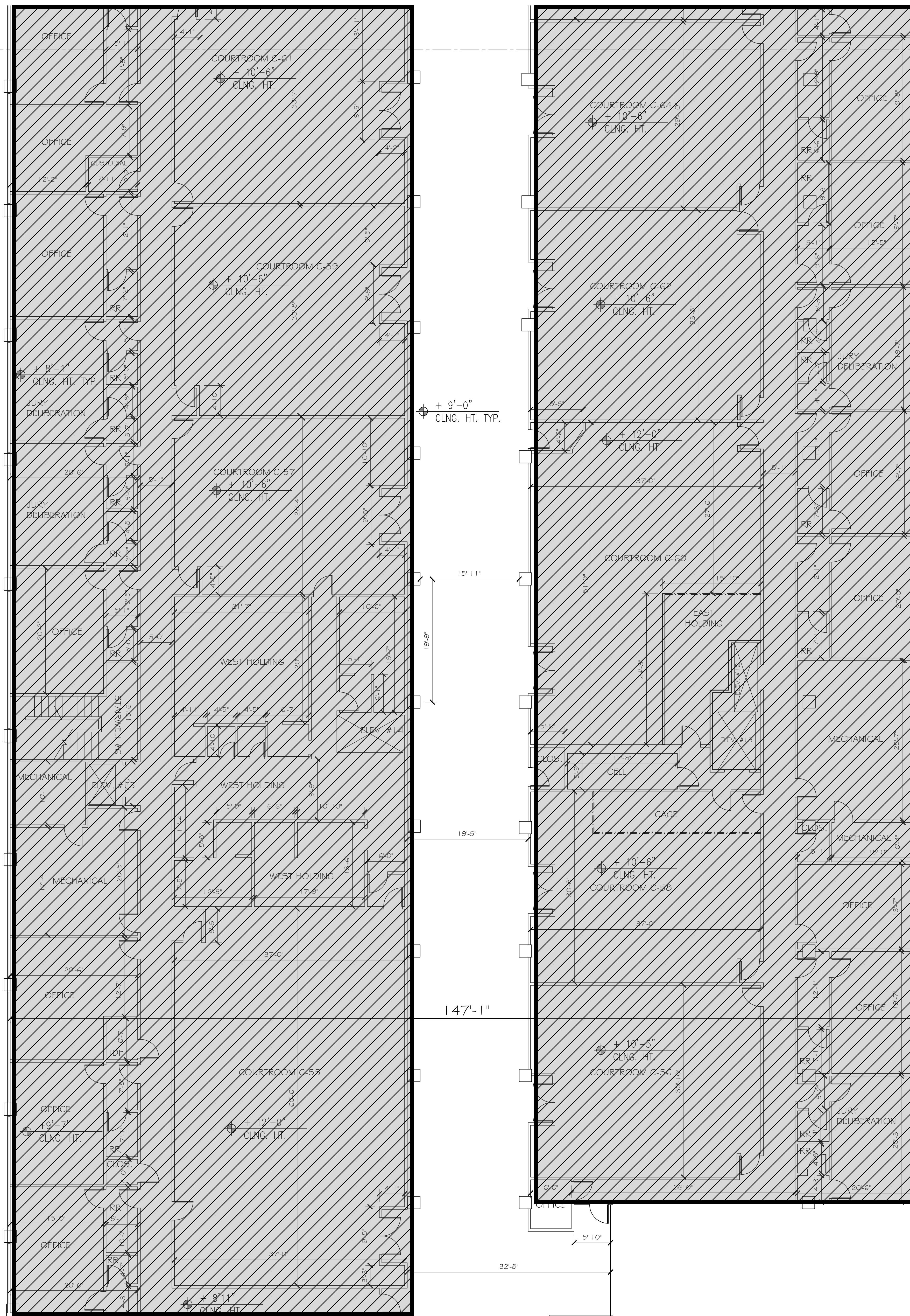
GENERAL NOTES
 1. ALL DOORS 36" W U.N.O.

WALL LEGEND

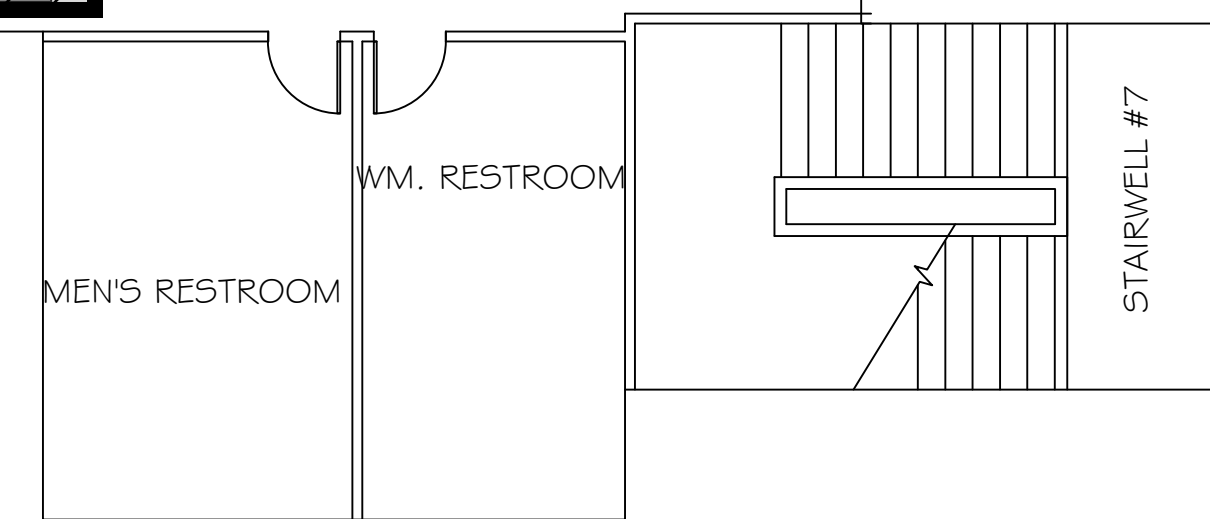
— SOLID WALL
 = = = = WIRE OR BARS

 = No fire sprinkler coverage

MATCHLINE - AREA B
 MATCHLINE - AREA A



THIRD FLOOR PLAN - AREA A
 1/8" = 1'-0"



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 700 Civic Center Drive West
 Santa Ana, CA 92702

THIRD FLOOR PLAN- AREA A

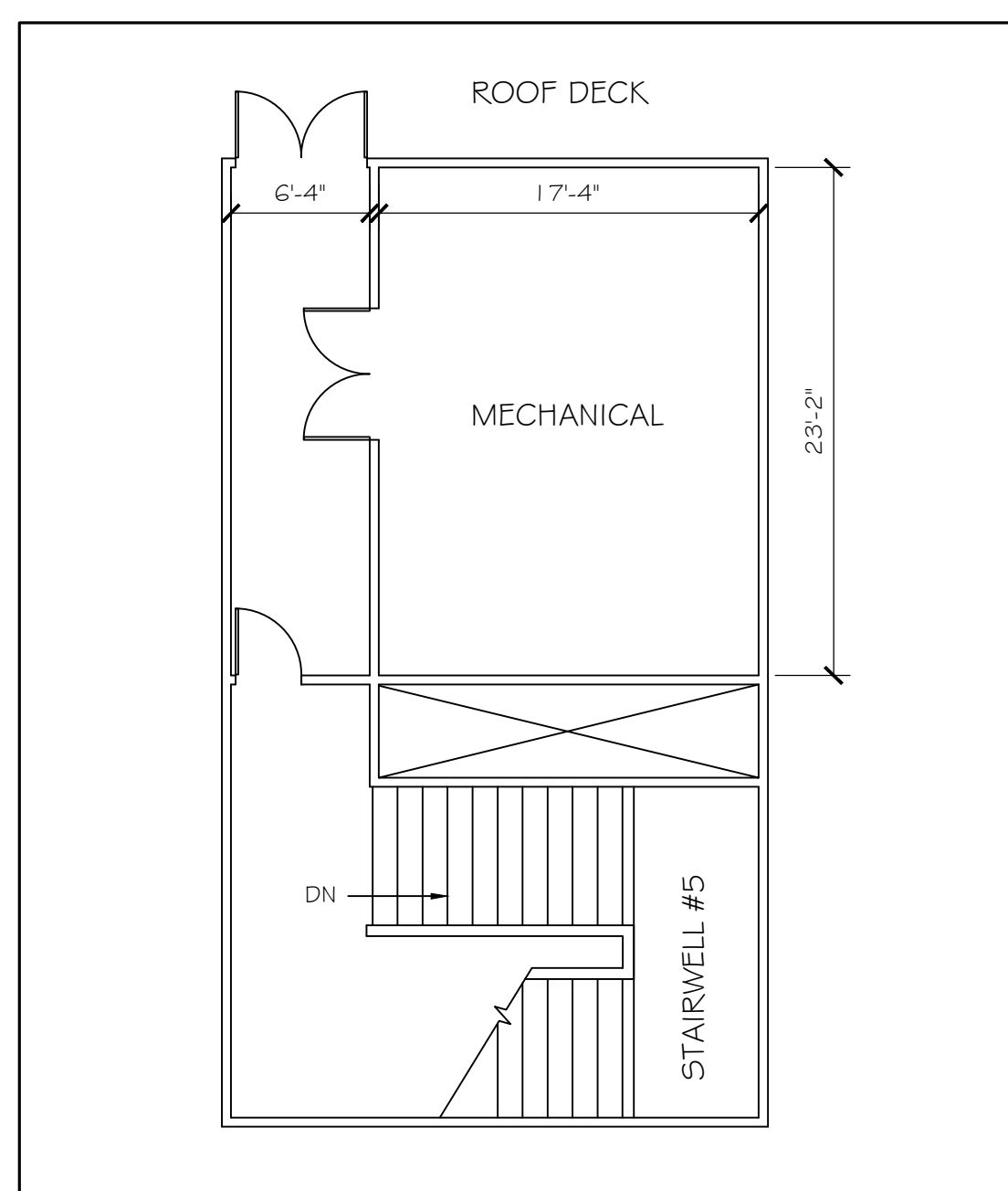
SCALE
 1/8" = 1'-0"

DATE
 02/13/17

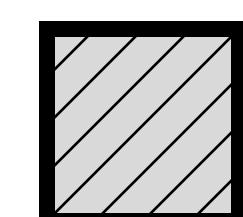
SHEET NO.
3A

GENERAL NOTES

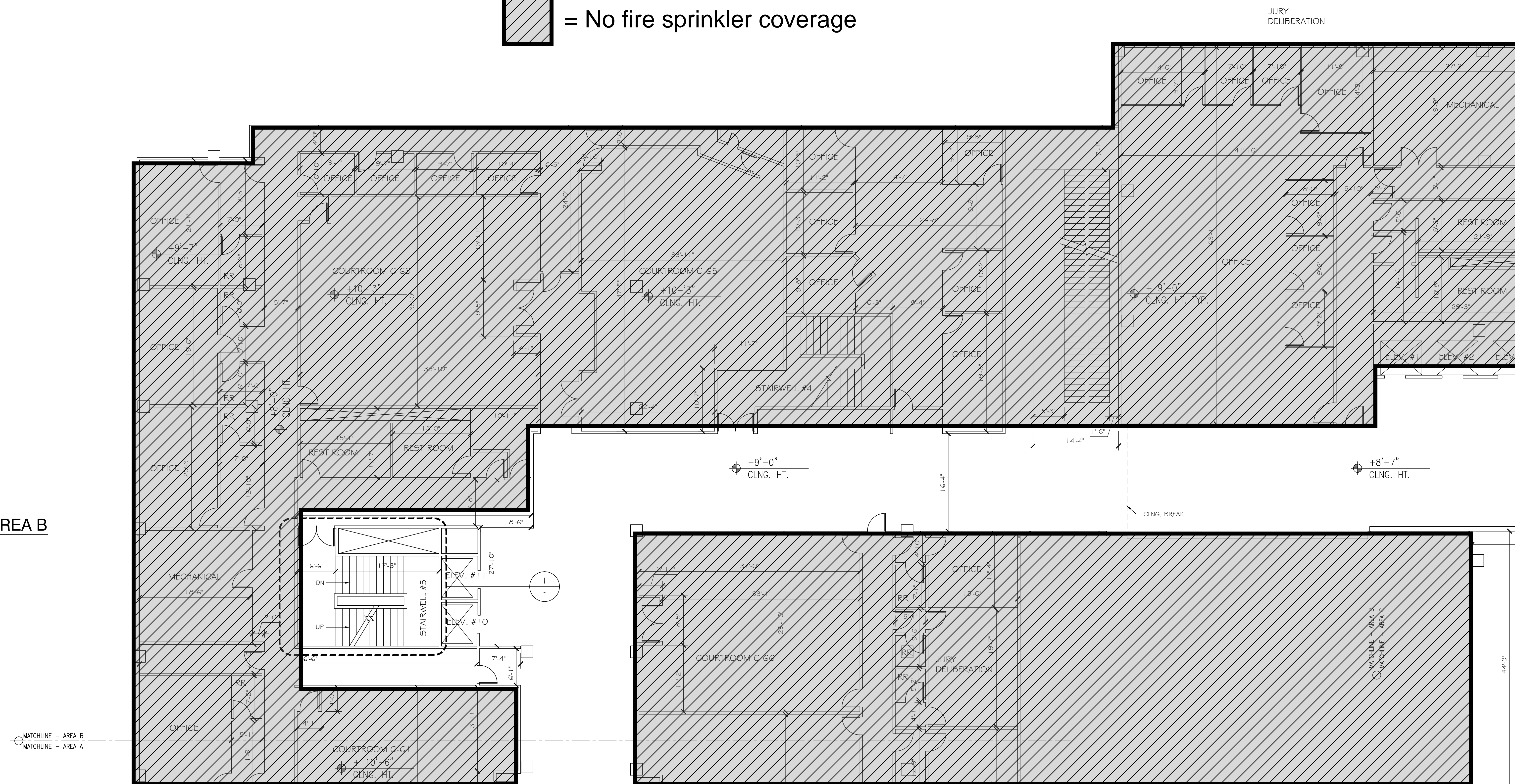
1. ALL DOORS 36" W U.N.O.



LEVEL 4 PENTHOUSE
 1/8" = 1'-0"

 = No fire sprinkler coverage

THIRD FLOOR PLAN - AREA B
 3/8" = 1'-0"



MATCHLINE - AREA B
 MATCHLINE - AREA A

REVISIONS	BY

ORANGE COUNTY COURTHOUSE
 700 Civic Center Drive West
 Santa Ana, CA 92702

DRAWN BY: **CADbuilt, Inc.**
 11373 Broadview Drive
 Moorpark, CA 93021
 (805) 529-4975

THIRD FLOOR PLAN-AREA B

SCALE
 1/8" = 1'-0"

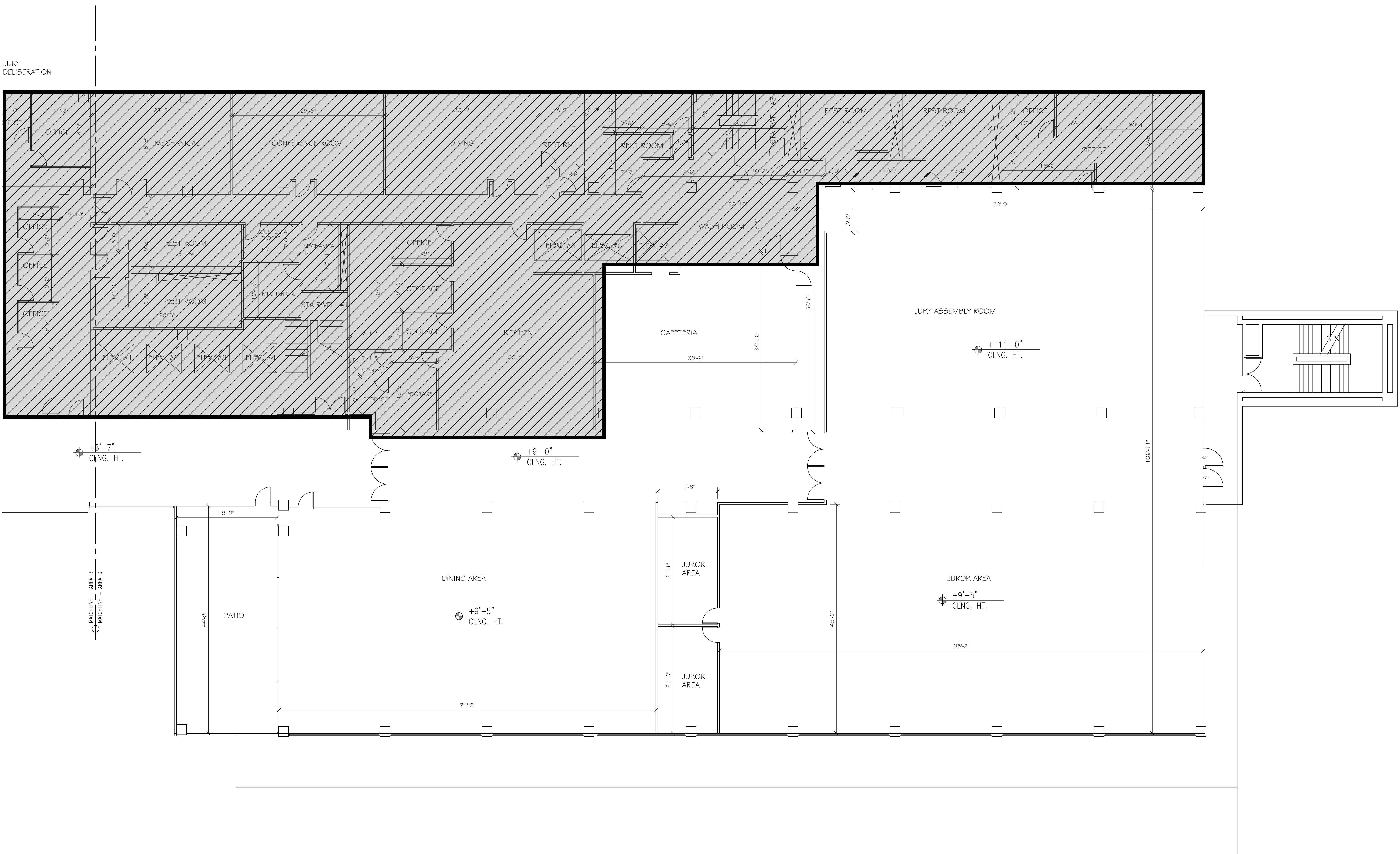
DATE
 02/13/17

SHEET NO.
3B

GENERAL NOTES

1. ALL DOORS 36" W U.N.O.

 = No fire sprinkler coverage



THIRD FLOOR PLAN - AREA C

1/8" = 1'-0"

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 Moorpark, CA 93021
 (805) 529-4975

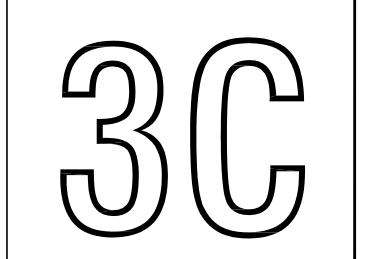
ORANGE COUNTY COURTHOUSE
 700 Civic Center Drive West
 Santa Ana, CA 92702

THIRD FLOOR PLAN - AREA C

SCALE
 1/8" = 1'-0"

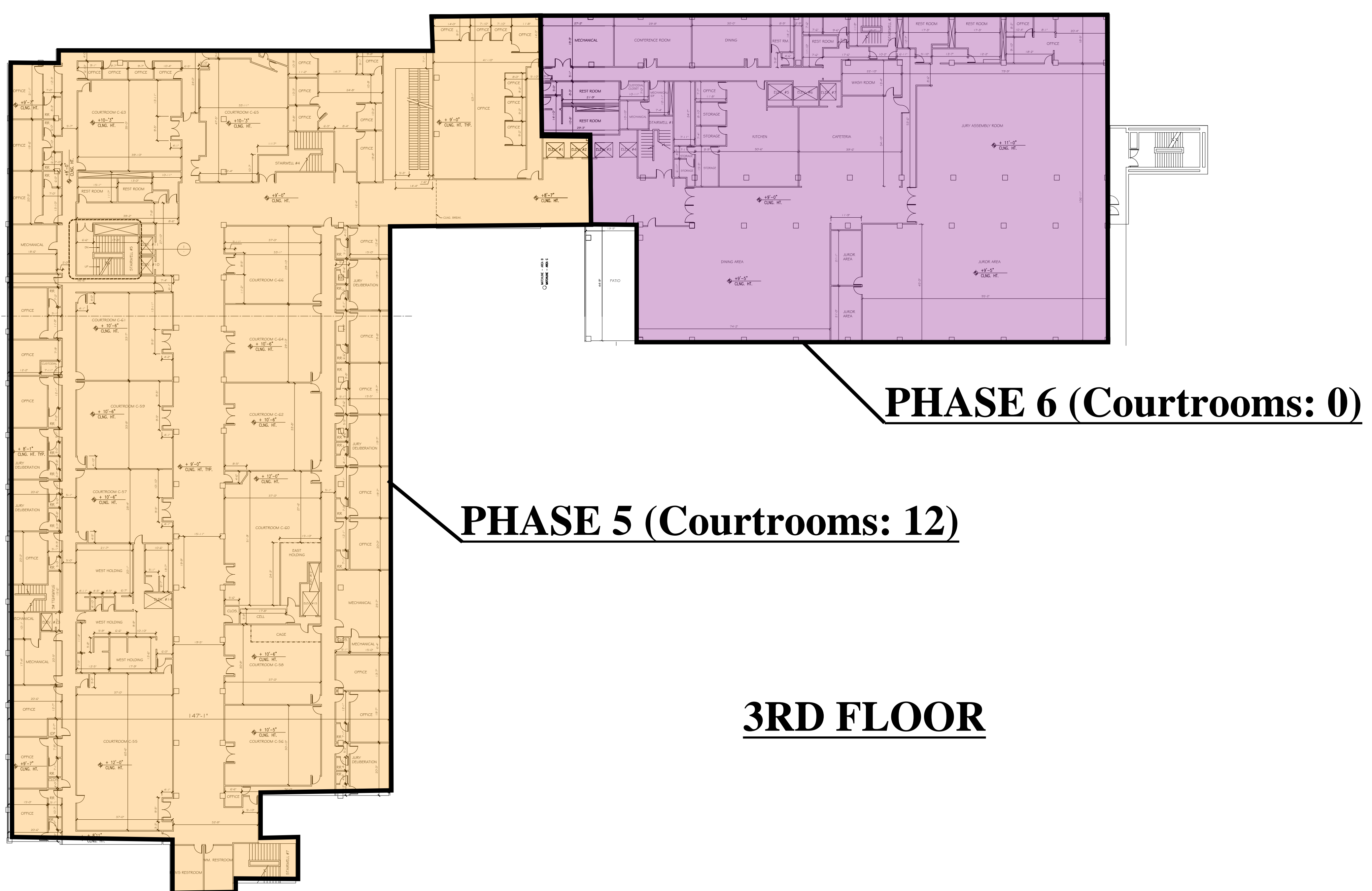
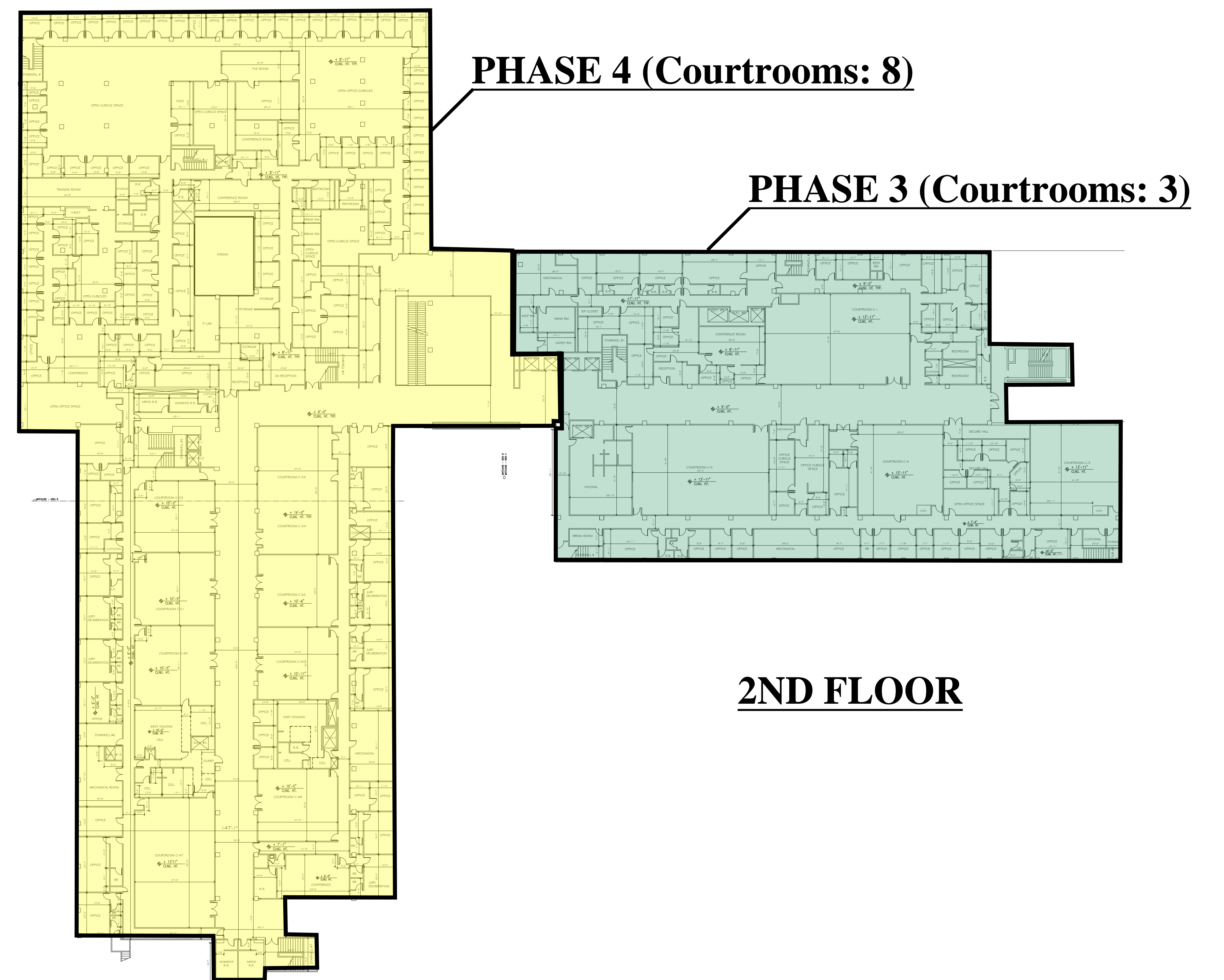
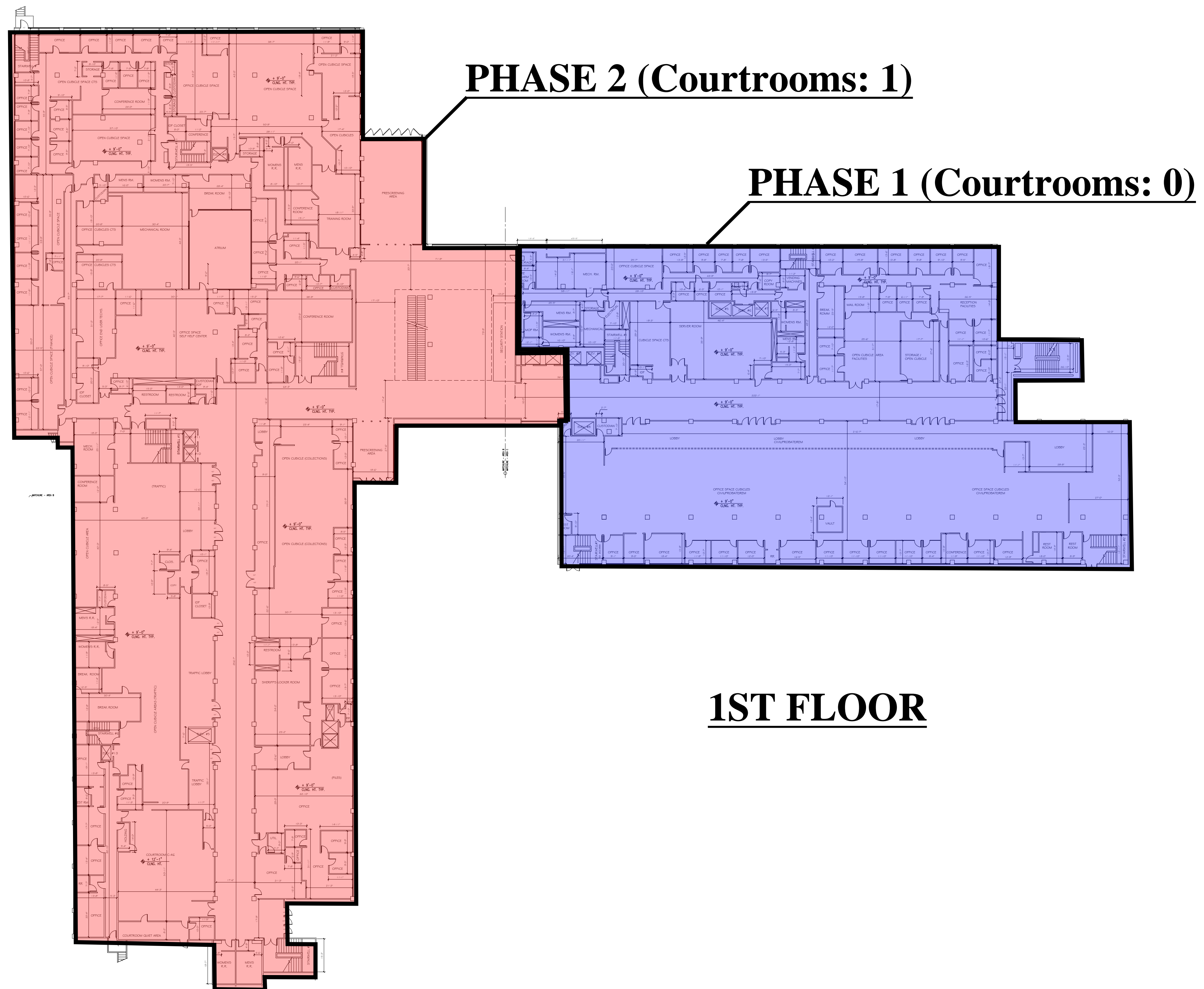
DATE
 12/02/16

SHEET NO.



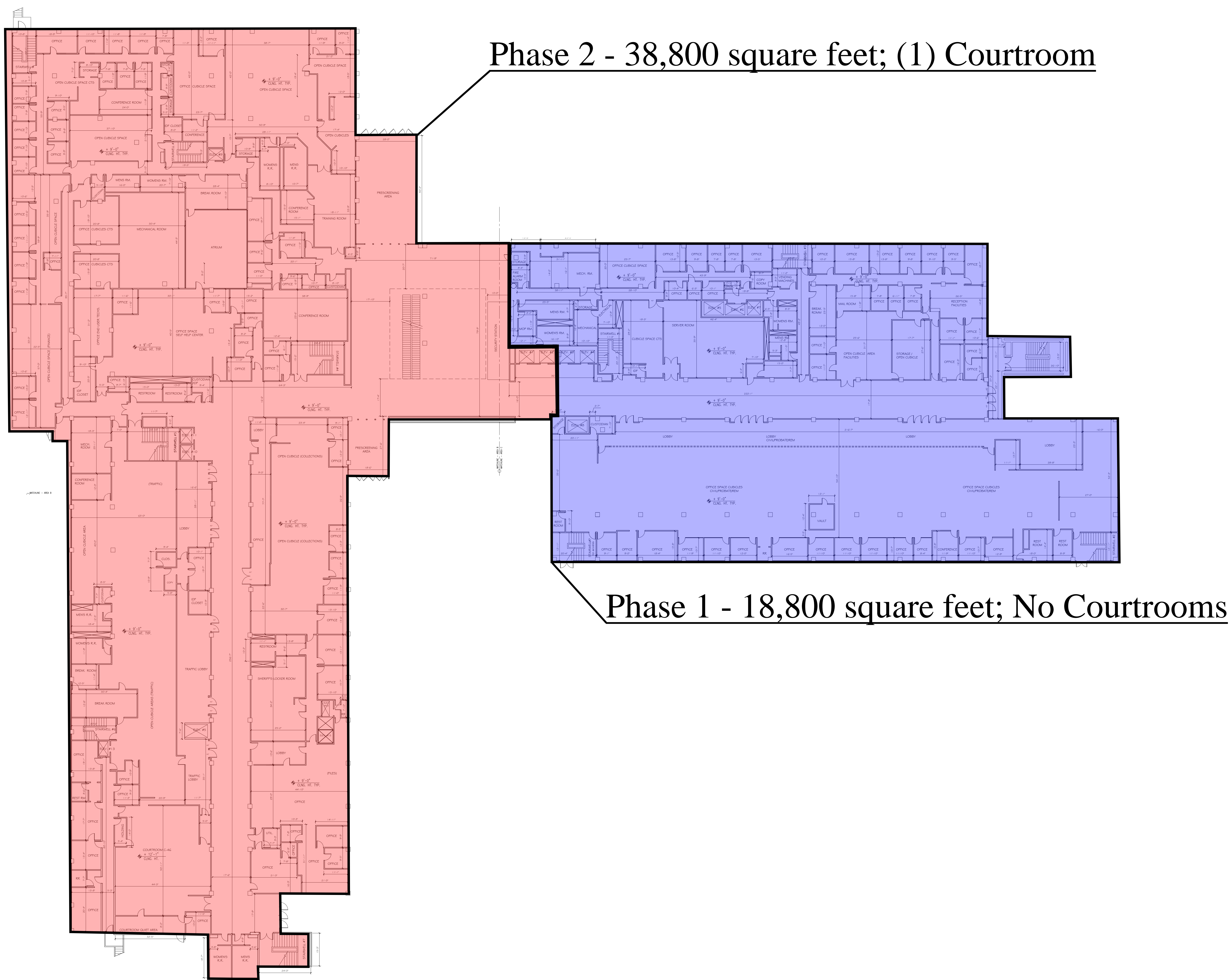
APPENDIX E

PHASING PLAN FLOOR MAP



PHASING LEGEND & RELOCATION AREA

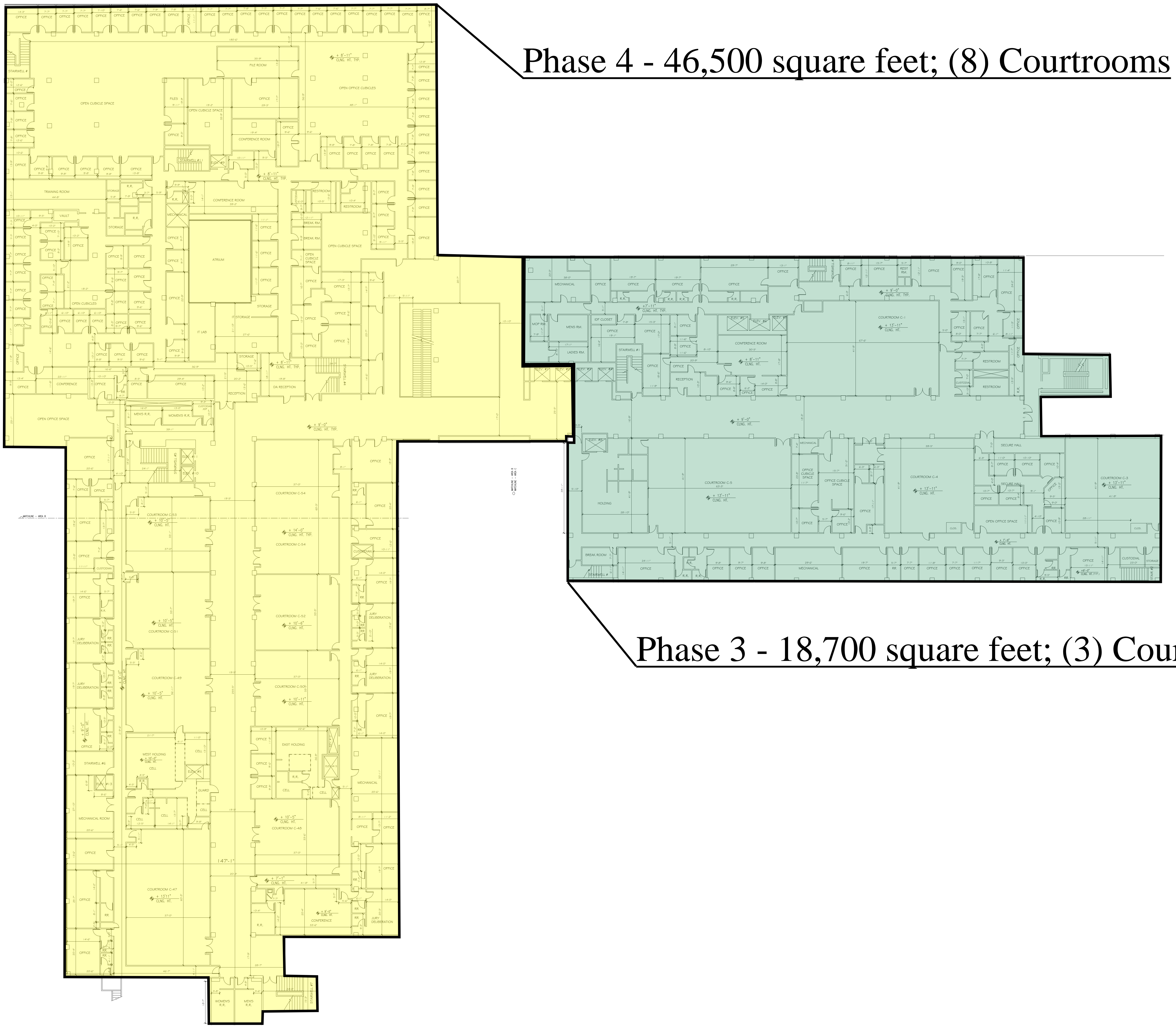
-  = PHASE 1 -> 18,800 SF
-  = PHASE 2 -> 38,800 SF
-  = PHASE 3 -> 18,700 SF
-  = PHASE 4 -> 46,500 SF
-  = PHASE 5 -> 23,500 SF
-  = PHASE 6 -> 15,300 SF



Phase 2 - 38,800 square feet; (1) Courtroom

Phase 1 - 18,800 square feet; No Courtrooms

1ST FLOOR

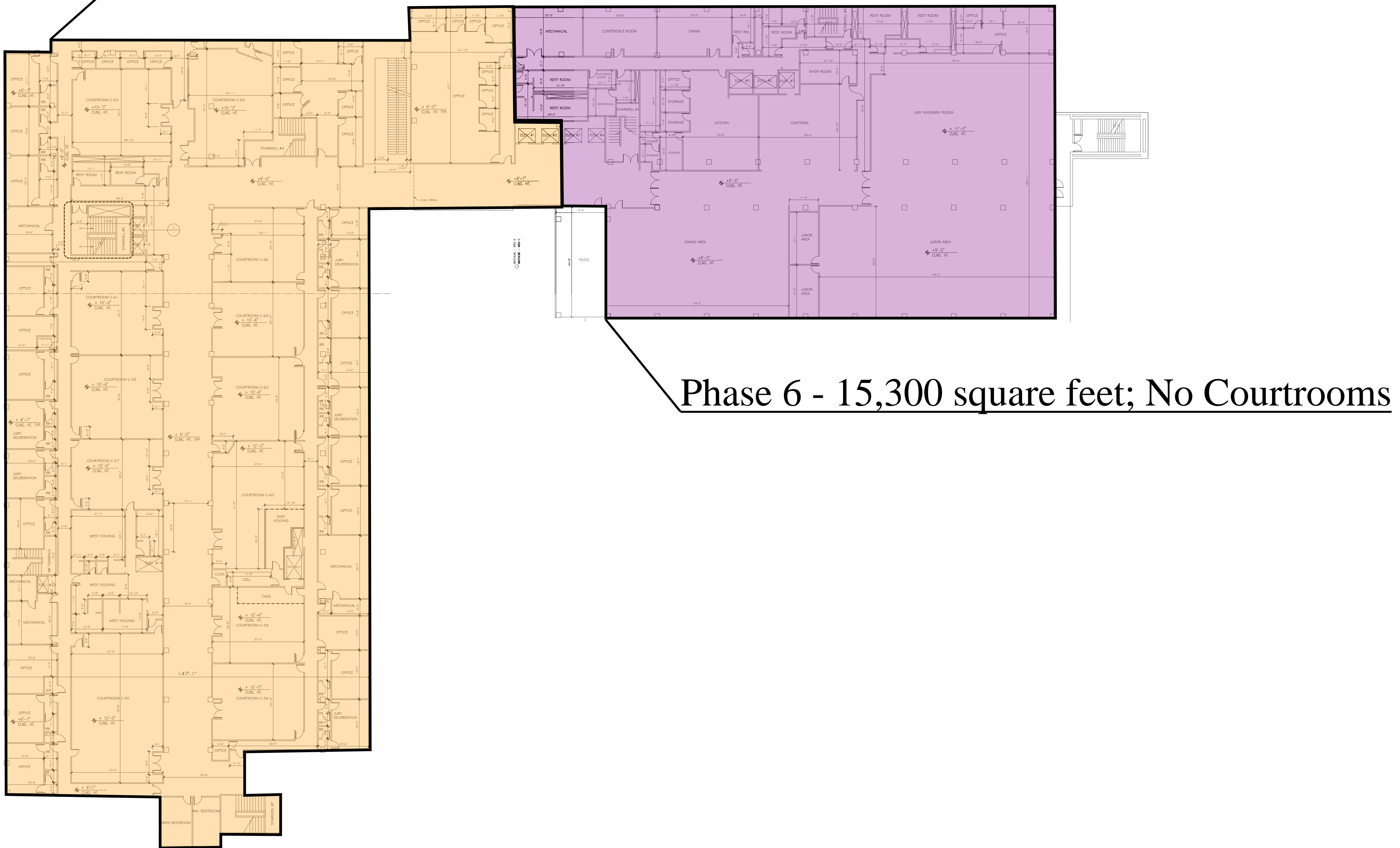


Phase 4 - 46,500 square feet; (8) Courtrooms

Phase 3 - 18,700 square feet; (3) Courtrooms

2ND FLOOR

Phase 5 - 23,500 square feet; (12) Courtrooms



Phase 6 - 15,300 square feet; No Courtrooms

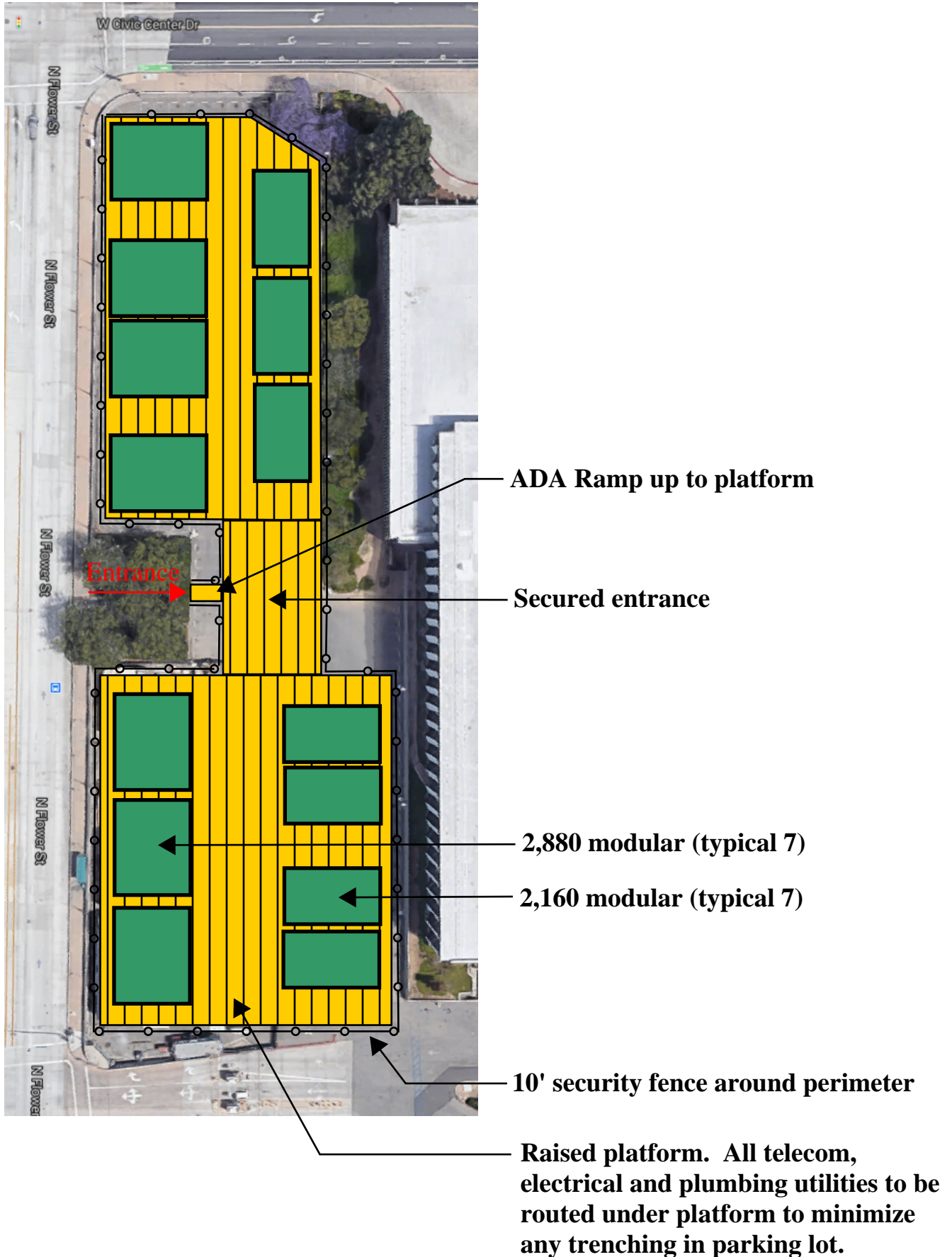
3RD FLOOR

APPENDIX F

SWING SPACE SITE PLAN

POTENTIAL MODULAR LAYOUT FOR 35,000 SF OF SWING SPACE

35,280 SF of modular swing space available in adjacent parking lot.



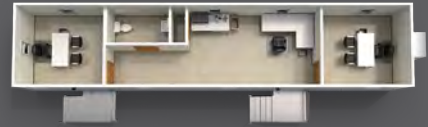
APPENDIX G

MODULAR RENTAL QUOTE

MODULAR OFFICE SOLUTIONS

IN PARTNERSHIP WITH WILLSCOT

MODEL A



60' x 12' Office Trailer

[Learn more about this product](#) →

MODEL B



60' x 24' Office Trailer

[Learn more about this product](#) →

MODEL C



64' x 36' Office Trailer

[Learn more about this product](#) →

MODEL D



64' x 48' Office Trailer

[Learn more about this product](#) →



Contact your local WillScot sales representative for an immediate quote.

MODIFICATION PLANS FOR: CONVERTING EXISTING 12x44 OFFICE BUILDING INTO NEW 12' x 44' MODULAR RESTROOM BUILDING

GENERAL SPECIFICATIONS:

NOTE: ALL ITEMS NOT ADDRESSED SPECIFICALLY IN THIS PACKAGE MUST REMAIN PER THE ORIGINAL HCD APPROVED DESIGN.

DESIGN DATA:
 CONSTRUCTION TYPE: VB
 OCCUPANCY GROUP: B
 ROOF LIVE LOAD: 20 PSF
 FLOOR LIVE LOAD: 50 PSF
 WIND SPEED: 110 MPH, EXP 'C'
 SEISMIC DESIGN CATEGORY: D
 IMPORTANCE FACTOR: 1.0
 OCCUPANCY LOAD FACTOR: 100 SQ. FT. PER PERSON
 OCCUPANCY LOAD: 4 PERSONS
 DESIGN CODES: (FOR ALTERED AREAS)

2016 CALIFORNIA BUILDING CODE
 2016 CALIFORNIA PLUMBING CODE
 2016 CALIFORNIA MECHANICAL CODE
 2016 CALIFORNIA ELECTRIC CODE
 2016 CALIFORNIA BUILDING CODE, CHAPTER II (ACCESSIBILITY)
 AMERICANS WITH DISABILITIES ACT, TITLE III
 1991 CALIFORNIA BUILDING CODE
 1991 CALIFORNIA MECHANICAL CODE
 1993 CALIFORNIA ELECTRIC CODE

DESIGN CODES: (Existing)

MISCELLANEOUS:

THIS BUILDING TO BE RENOVATED FROM AN EXISTING HCD APPROVED 12' x 44' COMMERCIAL MODULAR w/ MOMENT RESISTIVE FRAME (UNITED MODULAR S/N: 12080) THE STRUCTURE SHALL BE THOROUGHLY INSPECTED FOR STRUCTURAL INTEGRITY BEFORE ANY MODIFICATIONS ARE MADE. THE RUNNING GEAR SHALL ALSO BE THOROUGHLY INSPECTED BEFORE TRANSPORTING.

CHASSIS:

TYPE: OUTRIGGER
 MAIN RAIL: EXISTING
 HITCH: EXISTING
 AXLES: EXISTING
 TIRES: EXISTING
 PAINT: EXISTING

FLOOR CONSTRUCTION:

FRAMING: EXISTING
 INSULATION: R-13 FIBERGLASS
 SHEATHING: EXISTING
 FINISH: SHEET VINYL w/ 4" COVERED BASE
 MISCELLANEOUS: N/A

EXTERIOR WALL CONSTRUCTION:

SIDING: EXISTING - INCREASE NAILING @ HITCH END/WALL USING 8d NAILS @ 3" OC EDGES, 12" OC FIELD.
 FRAMING: EXISTING
 FRAMING AT NEW OPENINGS: SEE DETAIL 3/A2
 INSULATION: R-13 FIBERGLASS
 INTERIOR FINISH: FRP OVER 1/4" PANELING

INTERIOR WALL CONSTRUCTION:

STUDS: 2 x 4 HF STUD GRADE OR BETTER @ 16" OC
 BOTTOM PLATE: 2 x 4 HF UTILITY GRADE OR BETTER
 TOP PLATE: 2 x 4 HF STUD GRADE OR BETTER
 INTERIOR WALL FINISH: FRP OVER 1/4" PANELING
 MISCELLANEOUS: WALLS BETWEEN ROOMS MUST EXTEND FROM FLOOR SHEATHING TO ROOF RAFTERS (SEE DETAIL 4/A2).

ROOF CONSTRUCTION:

RAFTERS: EXISTING
 SHEATHING: EXISTING
 ROOFING: EXISTING
 INSULATION: R-30 UNFACED FIBERGLASS
 CEILING: T-GRID WITH HARD VINYL TILES (NEW)
 CEILING HEIGHT: 96"

DOORS-EXTERIOR:

SINGLE LEAF DOORS: 3'-0" x 6'-8" 18 GA METAL CLAD DOOR w/ 12" x 12" FRESH AIR GRILLE @ 18" AFF TO CENTER LINE
 1'-6" x 6'-8" 18 GA. METAL CLAD DOOR
 LEVER HARDWARE WITH PASSAGE SET, DEAD BOLT & CLOSER

HARDWARE:

PLUMBING:

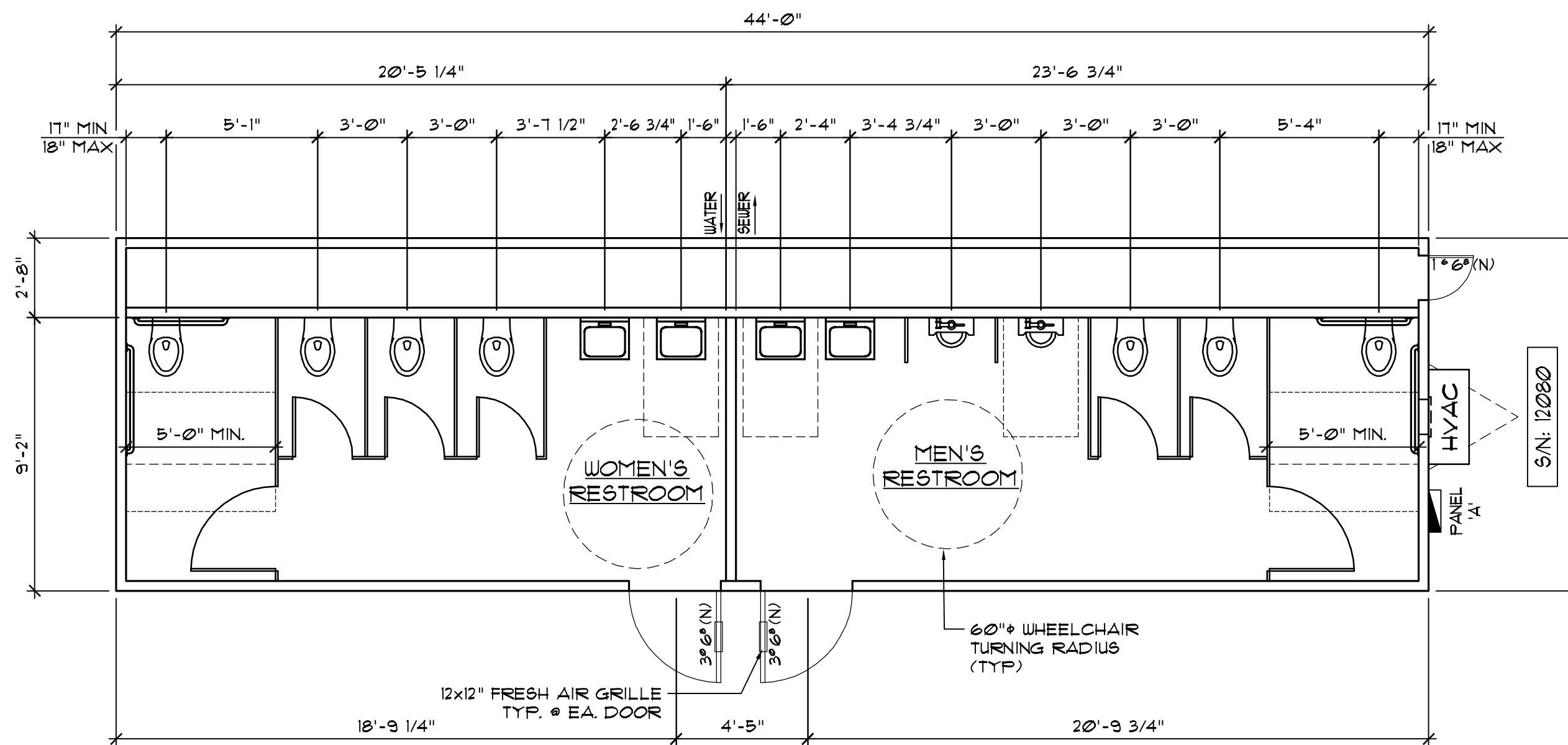
SUPPLY LINES: TYPE 'L' COPPER
 DRAIN/WASTE/VENT: SCHEDULE 40 ABS
 WATER CLOSETS: WHITE VITREOUS CHINA, WALL MOUNTED WITH ELONGATED BOWL AND OPEN FRONT SEAT.
 LAVATORIES: 19" x 11" WHITE VITREOUS CHINA WALL HUNG w/ SINGLE LEVER FAUCET.
 WATER HEATER: POINT OF USE ELECTRIC WATER HEATERS @ EACH SINK.
 MISCELLANEOUS: ALL EXPOSED PIPES BELOW THE LAVATORIES TO BE INSULATED.

ELECTRICAL:

SERVICE: 120/240V / SINGLE PHASE PANEL
 LOAD CENTERS: NEW (SEE THIS SHEET FOR NEW CIRCUITS)
 RACEWAY: 2/12 AWG MINIMUM ARMORED CABLE w/ GROUND IN CEILING SPACE (NON-METALLIC SHEATHED CABLE IN WALLS)
 RECEPTACLES: 125VAC/20A GROUNDING TYPE DUPLEX RECEPTACLES (SEE ELECTRICAL PLAN FOR LOCATIONS)
 SWITCHES: 125VAC/20A SINGLE POLE @ 48" AFF.
 LIGHTS: RECESSED FLUORESCENT FIXTURES (SEE ELECTRICAL PLAN)

HVAC SYSTEM:

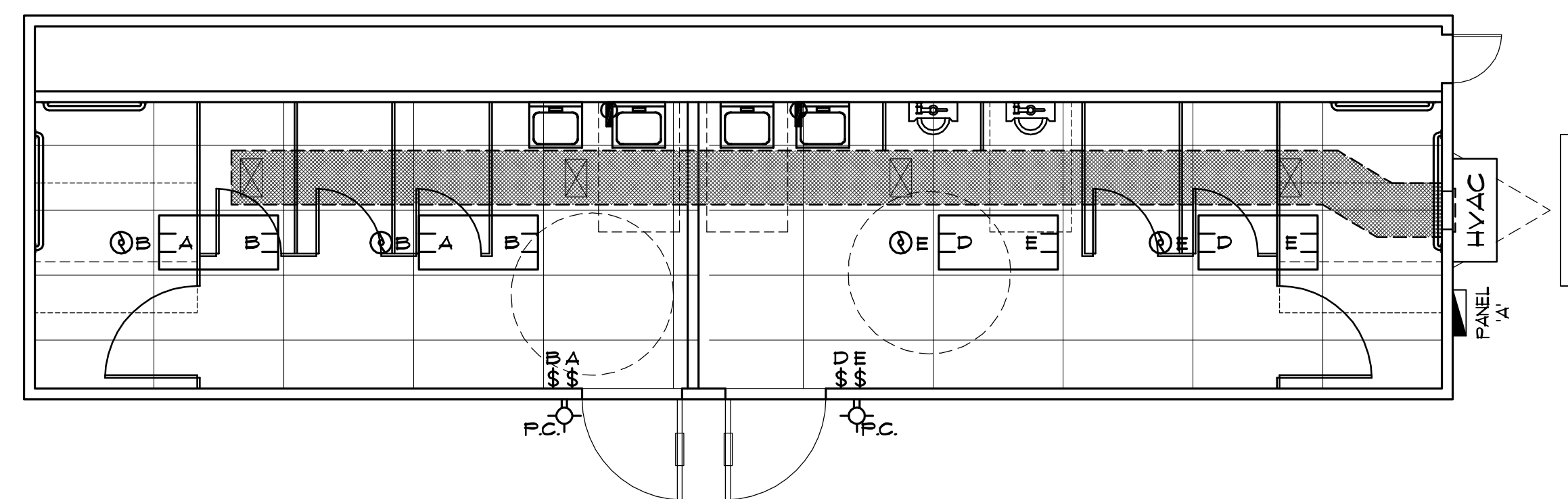
UNIT: NEW 36,000 BTUH WALL MOUNTED AIR CONDITIONER w/ 4kw HEAT (100% FRESH AIR INTAKE)
 DUCTING: NEW FIBERGLASS SUPPLY AIR DUCT
 DIFFUSERS: NEW
 RETURN AIR GRILLES: 12x12 FRESH AIR GRILLE TYP. @ EA. EXT. DOOR
 THERMOSTAT: EXISTING
 MISCELLANEOUS: 80 CFM EXHAUST FANS (TYP 4)



NOTE: SIDEWALL AT REAR IS NEW. ALL OTHER EXTERIOR WALLS ARE EXISTING.

1 FLOOR PLAN

1/4" = 1'-0"



2 ELECTRICAL / MECH / CEILING PLAN

1/4" = 1'-0"

SYMBOL LEGEND

- EXTERIOR WALL MOUNTED PORCH LIGHT FIXTURE w/ PHOTO CELL
- FLUSH MOUNT LIGHT FIXTURE
- SINGLE WAY SWITCH
- 125VAC/15A GFCI PROTECTED DUPLEX RECEPTACLE
- CEILING EXHAUST FAN
- LOAD CENTER
- FLUORESCENT TROFFER LIGHT WITH (4) 40W LAMPS
- 14" x 8" CEILING MTD. SUPPLY AIR DIFFUSER w/ ADJUSTABLE DAMPER

BRANCH CIRCUIT CONDUCTORS

WHERE COPPER TYPE ARMORED CABLE OR NON-METALLIC SHEATHED CABLE IS INSTALLED, SIZES SHALL BE AS FOLLOWS:

- 15 AMP - #14 MINIMUM w/ GROUND.
- 20 AMP - #12 MINIMUM w/ GROUND.
- 25 AMP - #10 MINIMUM w/ GROUND.
- 30 AMP - #10 MINIMUM w/ GROUND.
- 40 AMP - #8 MINIMUM w/ GROUND.
- 45 AMP - #6 MINIMUM w/ GROUND.
- 50 AMP - #6 MINIMUM w/ GROUND.
- 60 AMP - #4 MINIMUM w/ GROUND.
- 90 AMP - #2 MINIMUM w/ GROUND.

RACEWAY AND EQUIPMENT GROUNDING CONDUCTOR SHALL BE SIZED ACCORDING TO TABLE 250 - 94 OF THE LATEST EDITION OF THE C.E.C. UNDER COPPER.

LIGHT FIXTURE ATTACHMENT

- 1) LIGHT FIXTURES SHALL BE CLIPPED OR SCREWED TO THE SUSPENDED CEILING GRID MEMBERS WITHIN 3" FROM EACH CORNER OF FIXTURE.
- 2) LIGHT FIXTURES (WEIGHING IN EXCESS OF 20 LBS.) SHALL BE HUNG FROM THE ROOF RAFTERS WITH AT LEAST TWO (2) 1/2-GAGE WIRES.

THESE WIRES SHALL HAVE FOUR (4) TIGHT TURNS AT BOTH ENDS AND SHALL BE ATTACHED TO THE RAFTERS WITH 1/4" EYE SCREW (WITH 1/4" MINIMUM PENETRATION INTO RAFTER).

PANEL NO.	A	VOLTAGE: 120/240		3 WIRE, 1 PHASE			
MAIN BREAKER: 125A SURFACE MOUNT: X EXT. MOUNT: X LOCATION:							
AREA SERVED	LOAD	CCT	BRK	BRK	CCT	LOAD	AREA SERVED
HVAC	4876	1	60	LEG A	20	2	676 LIGHTS
HVAC	4876	3	/	LEG B	20	4	600 FANS/PORCH
WATER HEATER	1500	5	20	LEG A	20	6	360 GFCI RECEPT (2)
WATER HEATER	1500	7	20	LEG B	20	8	1920 SPARE
WATER HEATER	1500	9	20	LEG A	20	10	
WATER HEATER	1500	11	20	LEG B	20	12	
		13	20	LEG A	20	14	
		15	20	LEG B	20	16	
		17	20	LEG A	20	18	
		19	20	LEG B	20	20	
LEG A TOTAL:	8912		WATTS				
LEG B TOTAL:	10396		WATTS				
TOTAL LOAD:	19308		WATTS				
DEMAND LOAD:	80.45		AMPS				

REVISIONS	
DATE	BY

12008 SOUTH 6000 EAST
 DRAFTER: UT. 84020
 (800) 571 - 9511
ACUMEN Engineering, Inc.
 FAX (800) 571 - 9551

195 EAST MORGAN STREET
 PERRIS, CALIFORNIA 92571
 (951) 332 - 3311

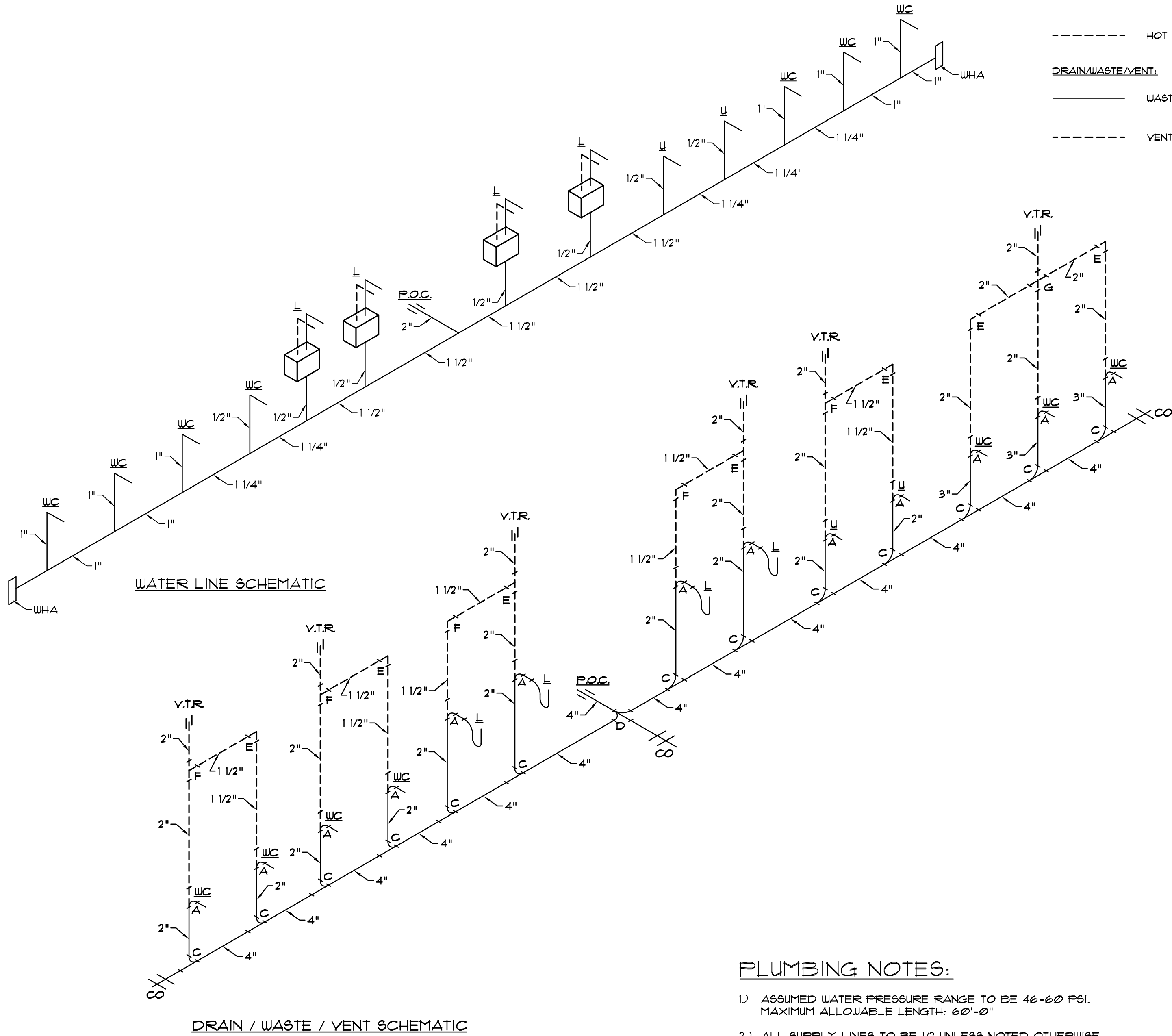
WILLSCOT

MODIFICATION PLANS
 12 x 44' MODULAR RESTROOM BUILDING

SEAL
 DATE: 6/19
 SCALE: SHOWN
 DWN: A.D.
 JOB: 190624
 SHEET
 A1
 OF 2 SHEETS

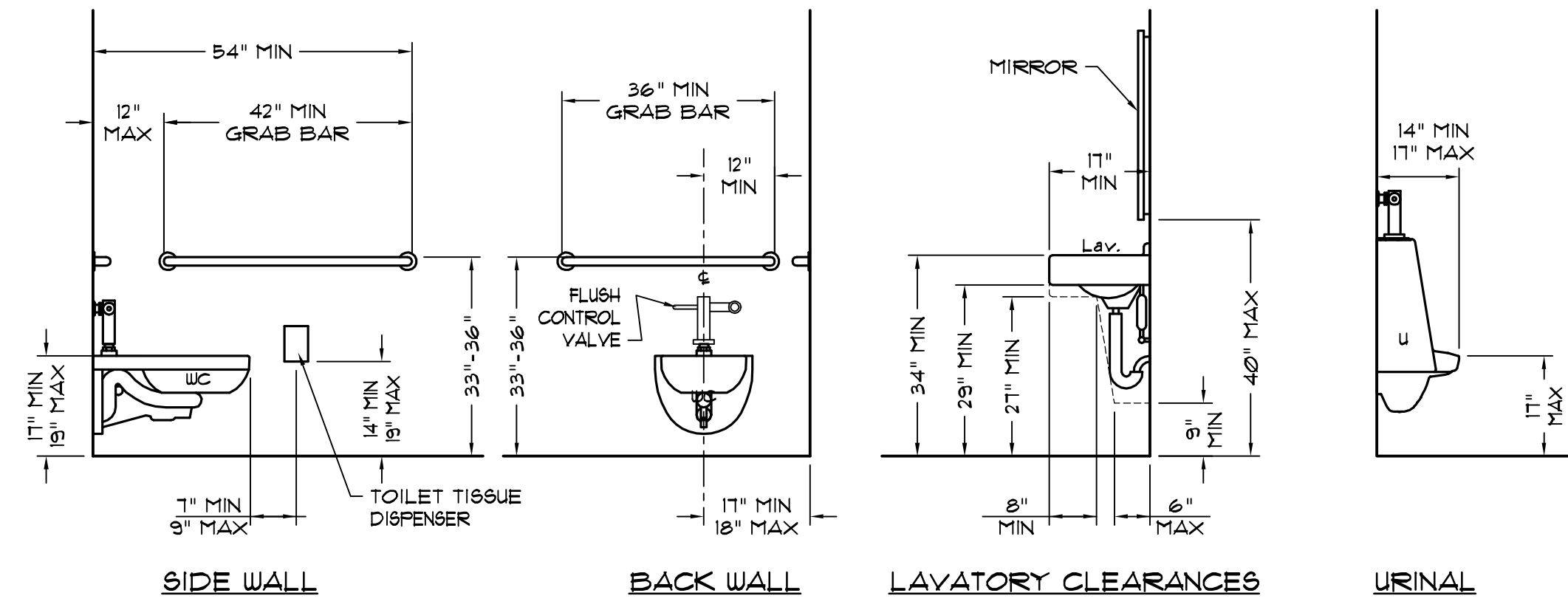
PLUMBING LEGEND

- A = SANITARY TEE
 - B = DOUBLE SANITARY TEE
 - C = LONG TURN TEE WYE
 - D = DOUBLE LONG TURN TEE WYE
 - E = VENT ELBOW
 - F = VENT TEE
 - G = VENT CROSS
 - CO = CLEANOUT LOCATION
 - WH = WATER HEATER
 - WHA = WATER HAMMER ARRESTER
 - WC = WATER CLOSET
 - U = URINAL
 - L = LAVATORY
- WATER LINE:**
- COLD WATER LINE
 - HOT WATER LINE
- DRAIN/WASTE/VENT:**
- WASTE/DRAIN LINE
 - VENT LINE



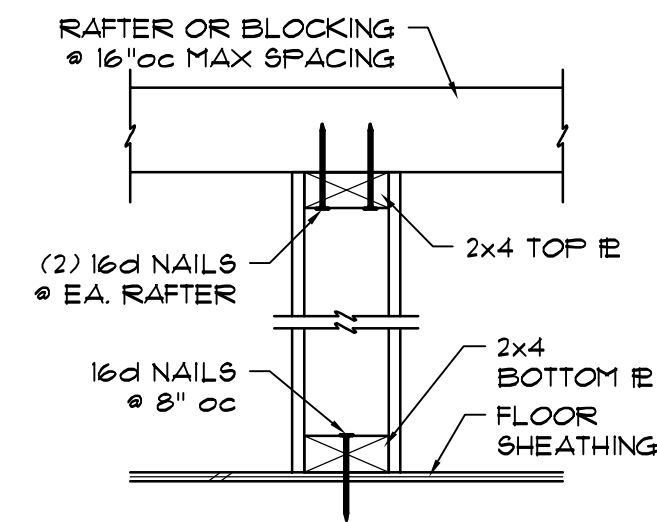
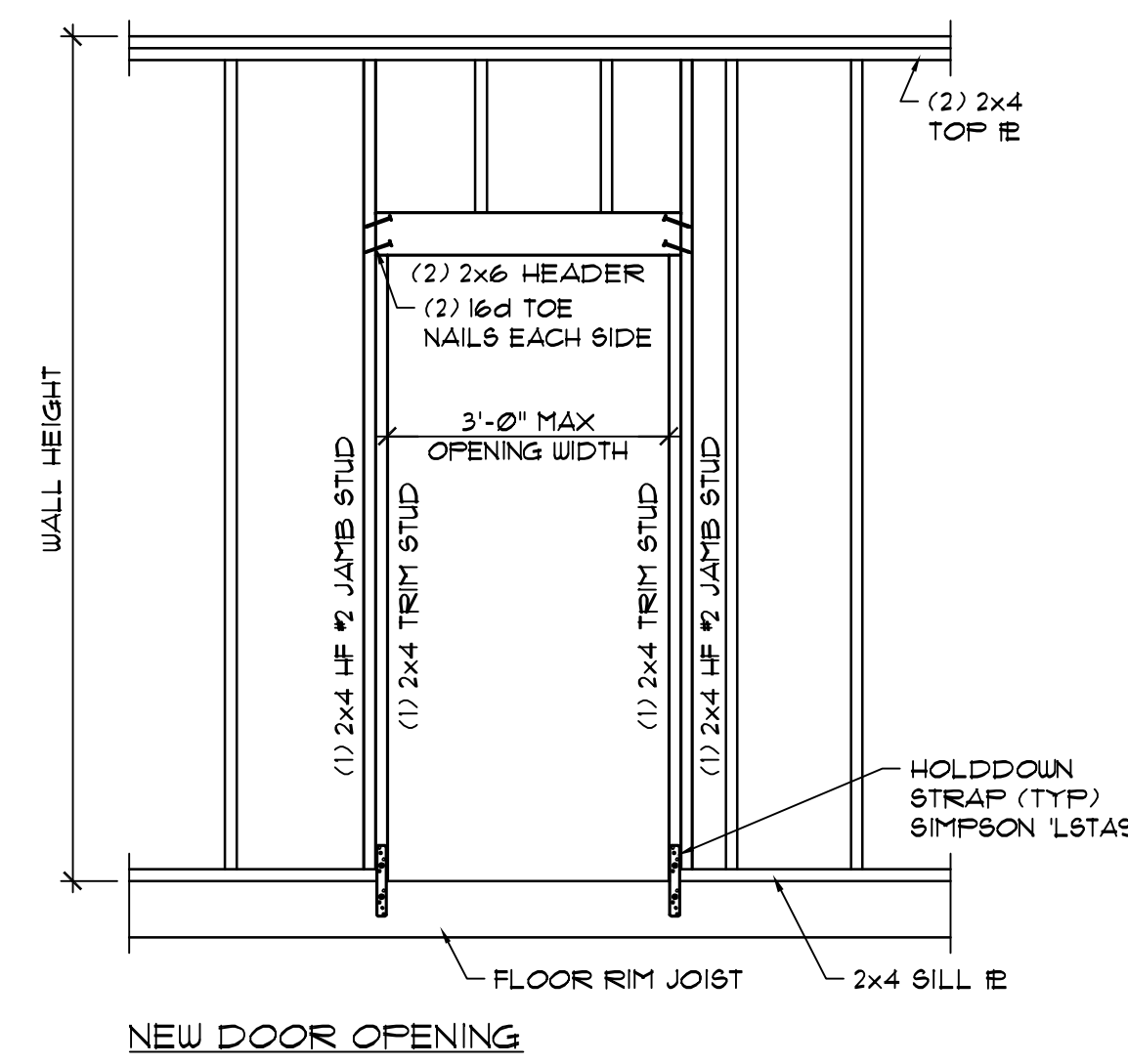
PLUMBING NOTES:

- 1) ASSUMED WATER PRESSURE RANGE TO BE 46-60 PSI. MAXIMUM ALLOWABLE LENGTH: 60'-0"
- 2) ALL SUPPLY LINES TO BE 1/2 UNLESS NOTED OTHERWISE.
- 3) FACTORY PROVIDED WASTE, DRAIN AND SUPPLY LINES SHALL TERMINATE 6" MINIMUM INSIDE THE BUILDING PERIMETER WHERE SHOWN ON THE FLOOR PLAN.
- 4) WHERE REQUIRED, ALL FACTORY PROVIDED WASTE, DRAIN AND SUPPLY LINES BELOW FLOOR SHALL BE INSULATED BY OTHERS AT SITE.



2 HC ACCESSIBILITY DETAILS

NO SCALE



3 NEW OPENING FRAMING

1/2" = 1'-0"

4 PARTITION TO RAFTER CONN.

1 1/2" = 1'-0"

REVISIONS

DATE BY

12808 SOUTH 6000 EAST
DRAFTER: UT. 84020
(801) 511 - 9811
FAX (801) 511 - 9951

ACUMEN
Engineering, Inc.

195 EAST MORGAN STREET
PERRIS, CALIFORNIA 92571
(951) 332 - 3911

WILLSCOT

MODIFICATION PLANS
12 x 44' MODULAR RESTROOM BUILDING

SEAL

DATE: 6/19
SCALE: SHOWN
DWN: A.D.
JOB: 190624
SHEET



THE

ESSENTIALS

Everything you need for your space, inside and out.



TM



ONE CALL AND YOU'RE READY TO WORK

With other providers, when you order an office trailer, that's what you get — an empty trailer. Then it becomes your job to fill it up. Not so with WillScot. We provide the space, plus everything else you need to make it functional right away. It's called the Essentials, and it couldn't be easier.

- + Working with one source for everything saves valuable time and money.
- + We handle ordering, delivery, setup and return, so you can stay focused on your project.
- + Eliminate startup headaches by having one consistent offering and one bill.
- + Make one call to us and suddenly you have a lot less to worry about.

EVERY DETAIL, HANDLED

WillScot is the leader in modular workspace solutions. We know temporary space like no other company, and our experts know how to best configure it to meet any need and budget.

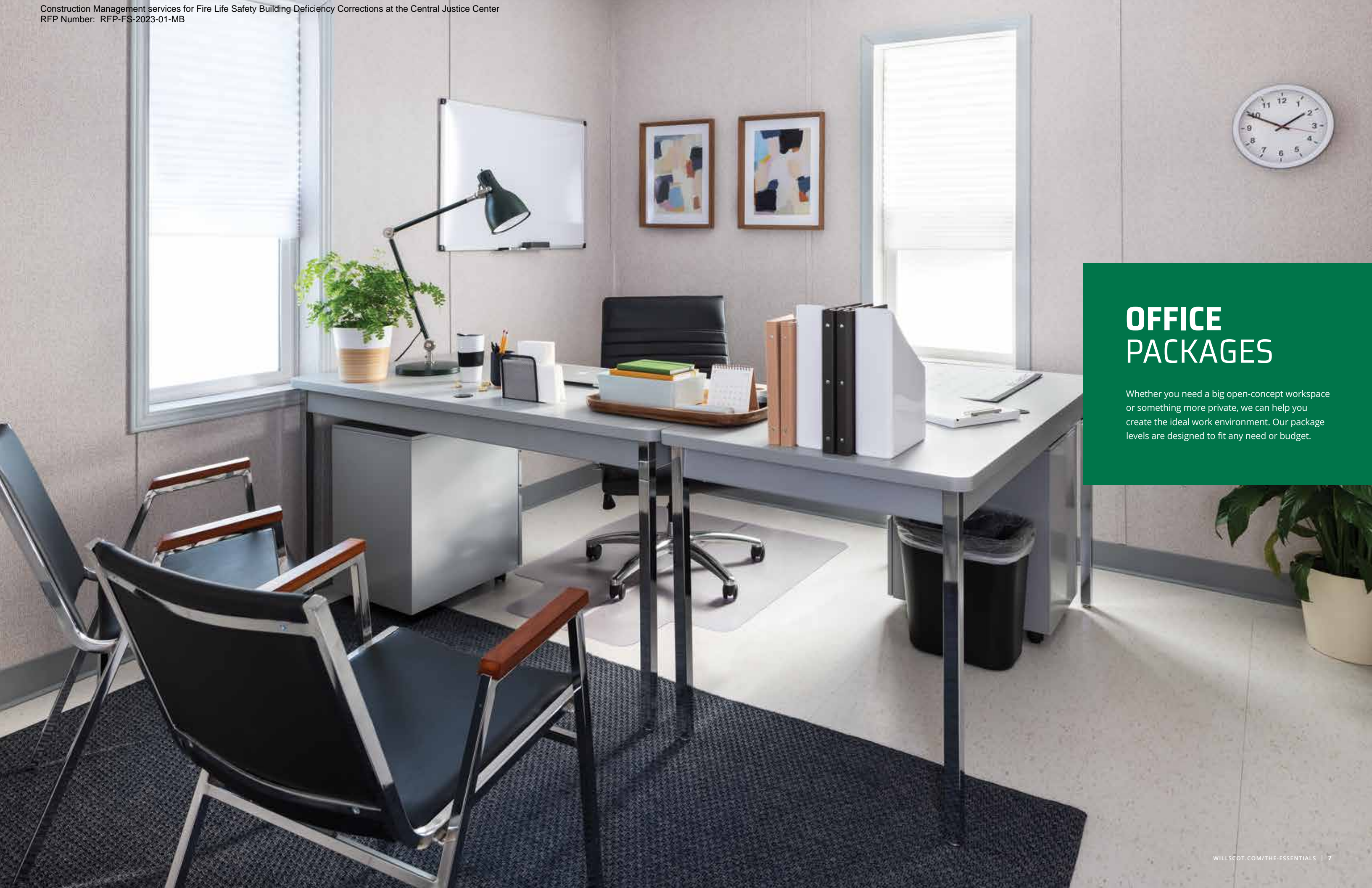
We offer a breadth of ready-to-go Essentials packages that cover the most typical needs. Plus we provide these packages at multiple levels, from simple, quality furnishings that accommodate your construction teams, to more premium options suitable for entertaining customers and VIPs.

We also offer a full range of items à la carte to finish out your space. You need it? Chances are we've got it.

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OFFICE PACKAGES

Whether you need a big open-concept workspace or something more private, we can help you create the ideal work environment. Our package levels are designed to fit any need or budget.

OFFICE

PACKAGE LEVELS

	BASIC	PROFESSIONAL	PREMIUM
Standard Desk	1x	1x	
Manager's Chair	1x		
Small White Board	1x	1x	1x
Floor Chair Mat	1x	1x	1x
Small Office Trash Can	1x	1x	1x
Over Door Coat Hook	1x	1x	1x
Luxhide Executive Chair		1x	1x
Stackable Side Chair		2x	2x
3 Drawer Pedestal File Cabinet		1x	2x
Office Supply Starter Kit		1x	1x
Premium "L" Desk			1x



Premium Office

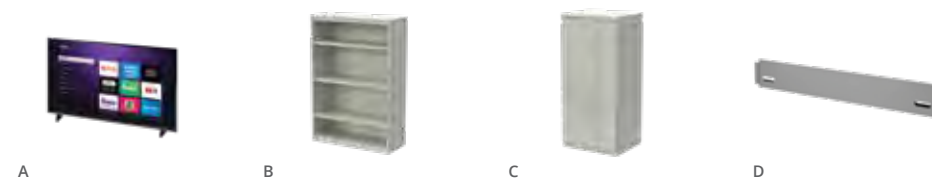


Professional Office



Basic Office

RECOMMENDED ADD-ONS



- A | 50" Flat Screen (pg. 50)
- B | 4 High Bookcase (pg. 48)
- C | Wardrobe / Cupboard Tower (pg. 48)
- D | Modesty Panels* (pg. 46)

*Modesty panels provide privacy below the desk.



CONFERENCE ROOM PACKAGES

WillScot makes it easy for you to create a larger meeting room where your teams can convene and collaborate. Our packages come with everything you need to be productive, from a kitchen space to scalable table options for any sized group.

CONFERENCE ROOM

PACKAGE LEVELS

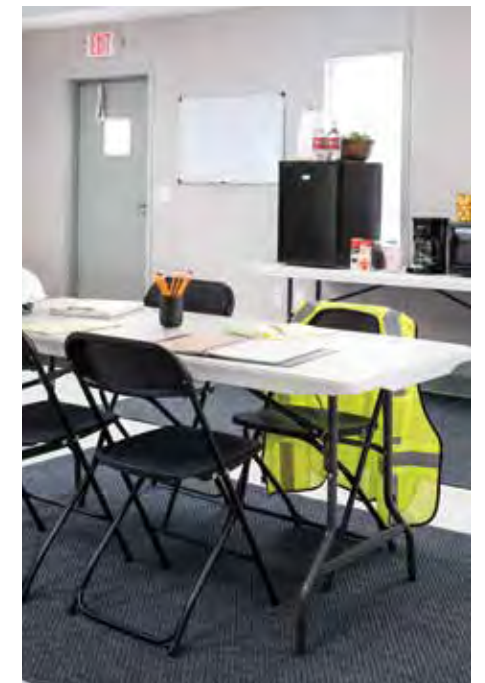
	BASIC	PROFESSIONAL	PREMIUM
Folding Table	2x		
Folding Chair	4x		
Mini Refrigerator	1x		
Coffee Pot	1x	1x	1x
Microwave	1x	1x	1x
Large White Board	1x	1x	1x
Large Trash Can	1x	1x	1x
Convenience Starter Kit	1x	1x	1x
Standard Desk / Table		2x	
Conference Table			2x
Café Table		1x	1x
Manager's Chair		8x	12x
Full Size Refrigerator		1x	1x
Keurig			1x



Premium Conference Room



Professional Conference Room



Basic Conference Room



A



B



C



D

RECOMMENDED ADD-ONS

- A | 50" Flat Screen (pg. 50)
- B | 4 Drawer Lateral File Cabinet (pg. 48)
- C | Extra Folding Chairs (pg. 47)
- D | Extra Manager's Chairs (pg. 47)



WORKSTATION PACKAGES

Create an open working environment that encourages collaboration, while also giving your people the personal space they need to do their jobs. Our packages are built to provide privacy, comfort and tidy cable management.

WORKSTATION

PACKAGE LEVELS

	BASIC	PROFESSIONAL
Standard Desk / Table	1x	
Manager's Chair	1x	1x
Floor Chair Mat	1x	1x
3 Drawer Pedestal File Cabinet	1x	1x
Small Office Trash Can	1x	1x
Surge Protector	1x	1x
Privacy Shields Around Desk	1x	1x
Modesty Panels Around Desk	1x	1x
Office Supply Starter Kit		1x
Premium "L" Desk		1x



Professional Workstation with additional 3 Drawer Pedestal File Cabinet

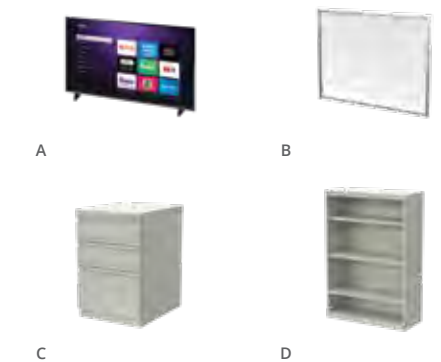
Basic Workstations



Modesty and Privacy Panels

RECOMMENDED ADD-ONS

- A | 50" Flat Screen (pg. 50)
- B | Small White Board (pg. 50)
- C | 3 Drawer Pedestal File Cabinet (pg. 48)
- D | 4 High Bookcase (pg. 48)





CUBICLE PACKAGES

Provide workspace privacy in any configuration with our flexible and scalable cubicle packages. Our unique panel system allows fast, tool-free assembly, accommodates power and data supply, and complements modern WillScot furniture.

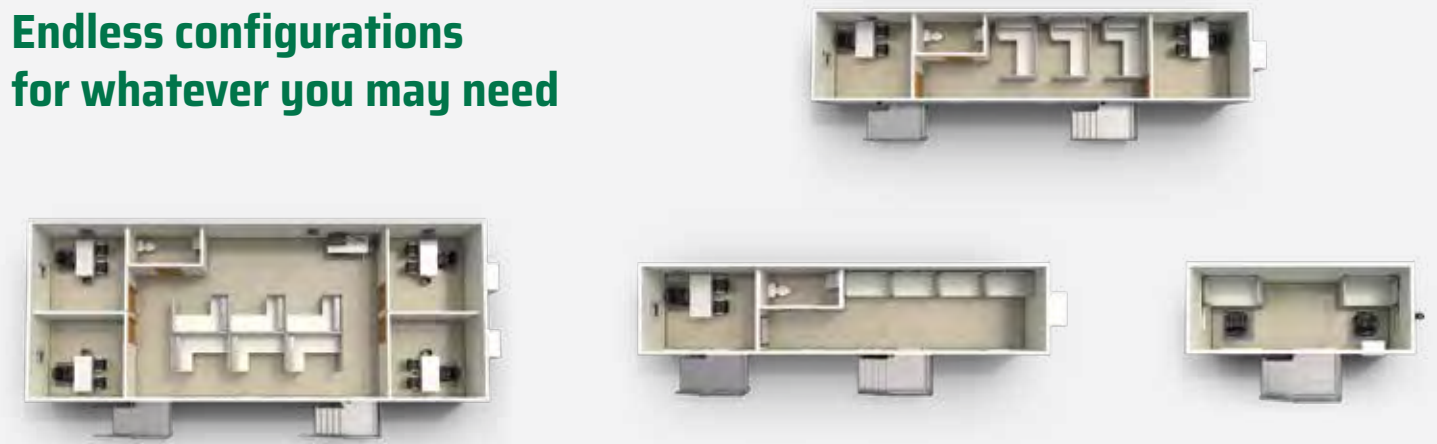
CUBICLE

PACKAGE LEVELS

	BASIC	PROFESSIONAL
Desk	1x	
Manager's chair	1x	1x
Pedestal File Cabinet	1x	2x
Floor Mat	1x	1x
Cubicle Panels	3x	5x
"L" Desk		1x
5 ft. Open Shelf		1x



Endless configurations
for whatever you may need



**A versatile solution
that completes any space**

Clean, modern aesthetic
Sound dampening panels with tackable walls
Power and data options available
Fast, tool-free assembly



A



B



C



D

RECOMMENDED ADD-ONS

- A | 3 Drawer Pedestal File Cabinet (pg. 48)
- B | Power / Data Pole (pg. 52)
- C | 5 ft. Open Shelf (pg. 48)
- D | Manager's Chair (pg. 47)



CAFÉ PACKAGES

Part of building worksite productivity is making it easy for your people to take a quick break. Our packages allow you to provide a well-outfitted space to grab a coffee, keep snacks cool, and warm up lunch.

CAFÉ

PACKAGE LEVELS

	BASIC	PROFESSIONAL
Folding Table	1x	
Mini Refrigerator	1x	
Coffee Pot	1x	1x
Microwave	1x	1x
Convenience Starter Kit	1x	1x
Large Trash Can	1x	1x
Café Table		1x
Full Size Refrigerator		1x
Keurig		1x

Professional Café



RECOMMENDED ADD-ONS

- A | Vented Lockers (pg. 48)
- B | Wardrobe / Cupboard Tower (pg. 48)
- C | Folding Chairs (pg. 47)
- D | Manager's Chairs (pg. 47)



Basic Café





PLANNING PACKAGE

Handling and adjusting large blueprints and other project planning documents can be a challenge at the jobsite. Our package gives you the furnishings and storage space you need to be organized and productive.

PLANNING

PACKAGE

	PLANNING
Drafting Table	1x
Rolling Blueprint Rack	1x
Drafting Stool	1x

RECOMMENDED ADD-ONS



- A | 4 Drawer Lateral File Cabinet (pg. 48)
- B | 3 Drawer Pedestal File Cabinet (pg. 48)
- C | 4 High Bookcase (pg. 48)
- D | Wardrobe / Cupboard Tower (pg. 48)



Adjustable drafting stool swivels 360°



Oversized drafting table provides extra workspace to accommodate larger documents.



LUNCH ROOM PACKAGES

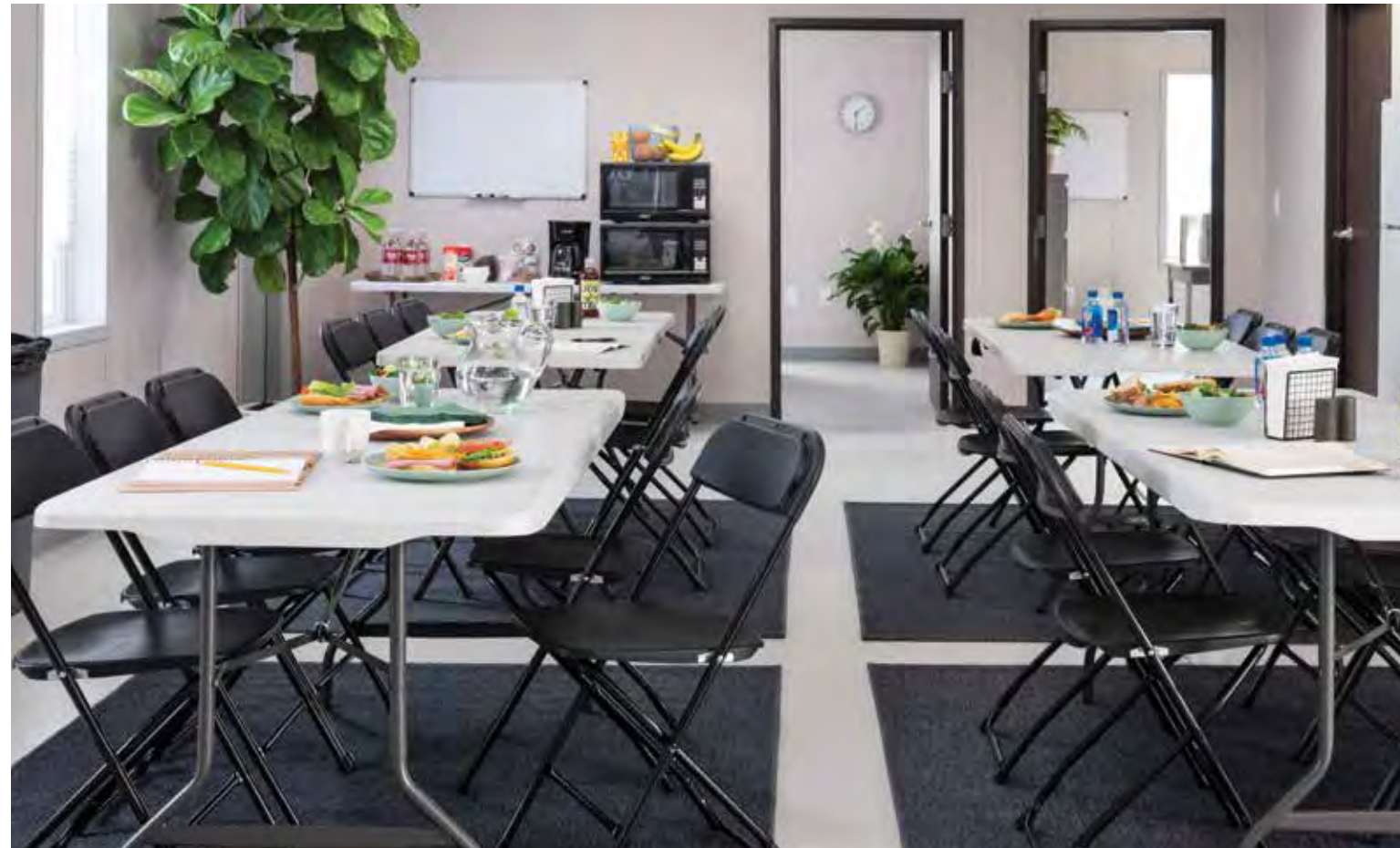
A well-appointed lunch area finishes out your workspace and promotes morale and teamwork like no other feature. Our packages provide tables and seating, as well as refrigerator, microwave, and coffee station so your people can refuel, refresh and refocus before going back to work.

LUNCH ROOM

PACKAGE LEVELS

	BASIC	PROFESSIONAL
Folding Table	2x	4x
Folding Chair	10x	20x
Large Trash Can	1x	2x
Folding Café Table		1x
Large White Board		1x
Full Size Refrigerator		1x
Coffee Pot		1x
Microwave		2x
Convenience Starter Kit		2x

Professional Lunch Room



Basic Lunch Room



A



B



C

RECOMMENDED ADD-ONS

A | 50" Flat Screen (pg. 50)

B | Vented Lockers (pg. 48)

C | Wardrobe / Cupboard Tower (pg. 48)



ENTRANCE PACKAGES

When your mobile office arrives, make sure your people can get into it right away. Our OSHA-compliant packages provide safe, solid, high-grip walking surfaces that you can depend on in any weather, including adjustable steps and treaded platform.

ENTRANCE

PACKAGE LEVELS

	BASIC	PROFESSIONAL
Stair System	1x	1x
Platform	1x	1x
Boot Scraper	1x	1x
Entrance Mat	1x	1x
Canopy System		1x



We have a full range of ADA/IBC compliant step and ramp solutions to meet the needs of your site.



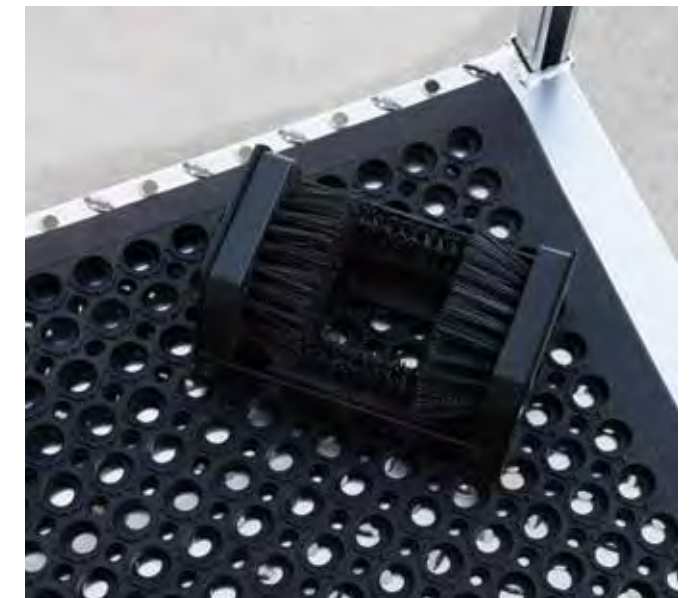
Professional Entrance

An entrance mat and boot scraper ensures the office stays clean.

Everything we offer is OSHA compliant and set up completely onsite by WillScot.



Basic Entrance



DATA PACKAGE

Wiring your workspace yourself can cost thousands, create delays and damage the unit. Choosing to have your unit pre-wired saves you money, time and hassle.



Ethernet Port



Fully Powered Data Switch

RECOMMENDED ADD-ONS

- A | 50" Flat Screen (pg. 50)
- B | HDMI Cable (pg. 50)
- C | Surge Protector (pg. 52)
- D | TV Wall Bracket (pg. 50)



A



B



C



D

Eliminate downtime by getting your unit wired before delivery.

- + VOIP-supported data ports in every office and common area
- + Single external hook up point for your ISP gets you online faster
- + Port placements are fully customizable to your needs

PORTABLE STORAGE UNITS

Get the portable storage and accessories you need to keep your operation organized and efficient. Our durable, code-compliant units arrive clean and ready, at the same time as your other temporary space. Add locks, pipe racks, shelf brackets and more to save precious time and money.



We also offer locks, pipe racks, shelf brackets and more.



40 ft. x 8 ft.



20 ft. x 8 ft.

One source. One call. One convenient bill, and you've got it all.

INSURANCE & WAIVERS PACKAGE

We make it easy to get the coverage you need for your building. You gain peace of mind and the freedom to focus on other priorities.



Get the coverage without the hassle and high cost deductible.

Damage Waiver

Even if your company has its own property insurance policy, it makes good business sense to add the WillScot Damage Waiver. Here's why:

- + The Waiver covers all WillScot owned equipment and is effective immediately upon delivery.*
- + The Waiver protects against any cost increase or negative rating to your company's current policy in the event of a claim.
- + Our waiver deductible is likely much lower than your company's standard insurance deductible.
- + Provides protection and piece-of-mind for a very low monthly out-of-pocket cost on one bill.

**The waiver does not cover damages due to negligence.*

General Liability

We've partnered with Allen Insurance Group to offer you a General Liability program that's an easy, turn-key option that meets the requirements of the lease.

- + **Hassle-Free:** No need to contact your insurance company; worry about expiring certificates, or being cancelled.
- + **Convenient:** Easy monthly payments will be invoiced with your lease.
- + **Timely:** No coordination between agencies required; coverage begins after the unit is set and occupied and automatically ends upon the termination of your lease.
- + **Superior Service:** 24/7 claims reporting to a toll-free number means there's always someone available when you need them.



À LA CARTE ITEMS

Many of these items are included in our packages, but say you need more desks or chairs or a very specific item to finish out your space. We've got you covered.

À LA CARTE

DESKS AND TABLES



Folding Table

Steel frame with dent, scratch, and rust-resistant surface top. Meets and/or exceeds ANSI/BIFMA performance standards.

72" L x 30" W x 29" H



Standard Desk / Table

Modern design with steel frame and high pressure laminate top for durability. Rear grommet cutout for effective wire management.

60" L x 30" W x 29.5" H



Premium "L" Desk

Modern design with steel frame and high pressure laminate top for durability. Rear grommet cutout for effective wire management.

90" L x 30" W x 29.5" H



Compact Desk

Smaller size is ideal for space constrained environments. Standard desk offering for FLEX product line.

48" L x 30" W



Standing Desk

Separate keyboard tray and work surface for better organization and efficiency. Dual-lever height mechanism for quick adjustments.

35" W x 4.75" – 6.5" H (adjustable height)



Conference Table

Modern design with steel frame and high pressure laminate top for durability. Center grommet cutout for effective wire management.

72" L x 42" W x 29.5" H

ACCESSORIES



Privacy Shields

Frosted panels offer privacy while allowing light into the workspace. Multiple configurations to meet any workspace need.

Fit WS desks



Modesty Panels

Covers front of desks for added privacy and workspace comfort. Can be installed on any WS desk before or after delivery.

Fit WS desks



Privacy Shields and Modesty Panels assembled.

À LA CARTE

SEATING



Folding Chair

Metal frame holds up to 400 lbs. Folds closed for compact storage and space flexibility.

38.2" H x 17.5" W x 2.5" D Closed



Stackable Side Chair

Stacks up to 12 high. Chrome finish. Wood capped arms in walnut finish.

33" H x 22" W x 20.8" D



Manager's Chair

Lumbar support and waterfall seat cushion. Pneumatic seat adjustment.

40.25" H x 25.25" W x 29.5" D



Luxhide Executive Chair

Black synthetic leather upholstery with chrome arms. Pneumatic seat adjustment with tilt lock.

40" H x 22.5" W x 24.5" D



Drafting Stool

360° swivel with one-touch seat height adjustment. Foot rest and locking casters.

55.3" H x 19.25" W x 29.2" D

À LA CARTE

STORAGE AND SHELVING



3 Drawer Pedestal File Cabinet

Two storage drawers and one file drawer.
Four casters with wheel locks.

19.75" D x 15.5" W x 23.75" H



4 High Bookcase

Three heavy-duty shelves adjustable at 1/2" increments. Double wall construction for durability.

51.5" H x 36" W x 14" D



5 ft. Open Shelf

For use with WillScot cubicles only, this open shelf is a simple and effective solution to organize books, binders and personal items.

60" W x 13" D



2 Drawer Lateral File Cabinet

Locking casters for mobility and space flexibility. Safety interlock system to allow only one drawer to be open at a time.

29.5" H x 30" W x 18" D



4 Drawer Lateral File Cabinet

Safety interlock system to allow only one drawer to be open at a time. Steel ball-bearing drawers with counterweight to prevent tip over.

51.5" H x 36" W x 18" D



Vented Lockers

Lift-up handle accepts pad locks. Vents for visibility and maximum airflow.

15" W x 18" D (multiple configurations available)



Wardrobe / Cupboard Tower

Double wall construction with adjustable side shelves. Side to side coat rod in main compartment.

51.5" x 24" W x 24" D
(multiple configurations available)

À LA CARTE

APPLIANCES



Mini Refrigerator

Flat zero clearance back and reversible door to fit in a wide variety of spaces. Mechanical temperature control.

2.5 cubic ft. interior



Full Size Refrigerator

Upfront temperature controls, incandescent interior lighting and sealed drawers that keep food fresh longer.

14.6 cubic ft. interior



Microwave

Digital interface with 6 automatic cooking menus. Non-stick interior for easy clean-up.

1.1 cubic ft.



Coffee Pot

Electric slow drip brewing with auto shutoff feature. Non-stick warmer plate.

12-cup



Keurig

3 cup sizes with 48 oz. reservoir to make up to 8 cups between refilling. Auto shutoff feature turns brewer off after 2 hours of non-use.

13.3" H x 9.5" W x 11.4" D



À LA CARTE

COLLABORATIVE



Small White Board

Ideal for offices and tight spaces. Ledge for marker storage.

48" L x 36" H



Large White Board

Perfect for conference rooms and common areas. Ledge for marker storage.

72" L x 48" H



Cork Bulletin Board

Prevents damage from hanging materials directly on walls. Natural cork is durable and great for frequent use. Oak finish.

Multiple sizes available.



50" Flat Screen

1080P screen resolution for stunning HD images. Smart TV with built-in access to streaming services.

44.4" L x 26.1" H x 3.3" D



Drafting Table

Durable frame with adjustable height and desk angle. Full length pencil catch.

60" W



Rolling Blueprint Rack

Adjustable length and height to accommodate various document sizes. Heavy gauge steel construction holds up to 240 lbs.

46" L x 27" W x 66" H

ACCESSORIES



HDMI Cable

30AWG high speed HDMI with Ethernet. Supports 4K video resolutions.

20 ft. cord length



TV Wall Bracket

Designed for 37"-70" displays and tilts from 0°-10°. Steel construction supports up to 165 lbs.

33.4" L x 1.9" D x 17.3" H



Blueprint Rack Clamps (6 qty)

Sturdy aluminum with solid steal wing knobs accommodate up to 100 sheets or 20 lbs. Transparent label holders included.

Available in 18"-42" L

À LA CARTE

ENTRANCE



OSHA Steps

Fully OSHA compliant. Durable aluminum construction with built-in treads for secure footing in all weather.

Size varies based on unit.



ADA/IBC Compliant Steps

Fully ADA/IBC compliant and customizable to whatever your site demands. Durable aluminum construction with built-in treads for secure footing in all weather.

Size varies based on unit.



Canopy System

Can be added to any WillScot step or ramp system. Covers entire entrance platform and is rated for 100 PSF snow load.

Size varies based on unit.



ADA/IBC Compliant Ramps

Straight run or switchback systems available. Durable aluminum construction with built-in treads for secure footing in all weather.

Size varies based on unit.

All entrance systems are completely installed onsite by WillScot.

SECURITY



Door Bar

Solid steel bar reinforces entryway and helps protect against intruders. Helps limit access points in larger units.

Size varies base on unit.



Security Screen

Helps protect window from direct impacts. Prevents unwanted entry through unit windows.

Size varies based on window.



OUR PARTNERS SAVE YOU MORE

Working with WillScot gives you access to valuable added benefits. We've partnered with Office Depot and Wesco to help you save time and money through a wide range of products, services and offers.

Office DEPOT

Any time you need office supplies, this is the place to save. Register through WillScot and unlock the following benefits:

- + Additional 10% discount from web pricing
- + Free, next-business day delivery applies to qualifying orders of \$50 or more within our local delivery areas (see our Terms and Conditions for details)
- + Convenient credit card payment with options to include single account billing or consolidated billing for multiple locations
- + Wide variety of products and services available

Register here:

<https://business.officedepot.com/willscot>

Registered users login here:

<https://business.officedepot.com>



Through our partnership with this industry-leading supply chain solutions company, you can benefit multiple ways:

- + 10% discount from standard retail pricing
- + Free standard shipping with expedited services available
- + Access to a wide range of products including:
 - Networking Equipment
 - Tech Products: Speakers, cameras, and security systems
 - Safety Products: PPE, spill kits, first aid kits, fall protection
 - Internet Connectivity Services
- + Pre-arranged account utilizing your purchasing card (no stored information)
- + Ability to create your own account for a more customized experience

Access these benefits here:

<https://www.wescofastec.com/willscot>



800.782.1500 | WILLSCOT.COM

WILLSCOT, INC. CORPORATE HEADQUARTERS
901 S Bond Street Suite 600 • Baltimore, MD • 21231

**Products may vary from those shown, and are subject to in-stock availability.*





The easiest company to do business with just got easier. From storages to mobile offices, fencing to furniture, power generators and everything in between, WillScot | Mobile Mini, the most trusted name in modular space and portable storage, is now your go-to for the full range of on-site rental services.

Storage Container & Ground-Level Office



Combo Storage/Office

Office Trailer & FLEX™



FLEX™

Combo Storage/Office

Portable Sales Office & Modular Complex



Modular Complex

Furniture



The Essentials

We've developed furniture packages for office, common space, break room and outside areas that can make your workspace a productive one.

Core Temporary Site Solutions

Fencing

Keep your jobsite secure with 6'x8' and 8'x8' panels with privacy screens available.



Dumpsters

Roll-off and front-load dumpsters ranging between 10 yards - 40 yards.



Generator

Temporary electricity ranging between 2.9kw-199kw.



Restrooms

Options include ADA accessible, hand wash stations, hand sanitizer stations, holding tanks, water tanks, executive restroom trailers, and shower rooms with available handwashing station.



More Temporary Site Solutions

Handwashing & Sanitization Station

Rent temporary handwashing and sanitization stations to have on-site and spread out so guests or employees can wash/sanitize their hands when entering and exiting your location.



Mini Excavator & Trencher

Rent excavators with digging depths of up to 10.2'. Trenchers can dig up to 50" depths and cutting widths range from 6" to 12".



Refrigerated Trailer & Storage

Rent electric or diesel reefer trailers in 20', 48', 53'. Reefer storage comes in 20' and 40' options that offer you refrigerated storage space for perishable items.



Lifts

Warehouse forklifts available to help assist your jobsite. Aerial lifts that reach up to 180' and boom lift options that include 26-59', 60-95', and 96-185'.



Lighting

Illuminate your jobsite with electric or solar powered lights.



Shower & Laundry

Portable showers and laundry trailers that can be spread out for employee use.



Air Scrubber & Purification System

Portable air conditioners, air purifiers, spot coolers, dehumidification centers to provide clean, filtered air for the safety of your employees and vendors.



Security Camera

Security camera poles are available to rent for theft prevention. Deployed height up to 264" with 24/7 video recording.



Tents & More!

Portable tents, cones and caution tapes can help create one way entry and exit lines, or help create additional, seating in an outdoor area if applicable.





Williams Scotsman, Inc.
11811 Greenstone Avenue
Santa Fe Springs, CA 90670-4734

Your Williams Scotsman Representative
Trent French
Phone: (562)903-9200
Email: trent.french@willscot.com
Toll Free: 800-782-1500

Contract Number: 1443482
Revision: 2
Date: March 15, 2021

Lease Agreement

Lessee: Salas O'Brien Engineers 305 S. 11th St San Jose, California, 95112	Contact: Chris Markley 305 S. 11th St San Jose, CA, 95112 Phone: (408) 279-9169 E-mail: chris.markley@salasobrien.com	Ship To Address: SANTA ANA, CA, 92701
		Delivery Date(on or about): 1/3/2022

Rental Pricing Per Month	Quantity	Price	Extended
64x24 Modular (60x24 Box) Unit Number:	1	\$1,576.00	\$1,576.00
Bas. Entrance-Steps T2	1	\$68.00	\$68.00
Property Damage Waiver (11/12)	2	\$89.00	\$178.00
ADA/IBC Ramp -w/ switchback	1	\$346.00	\$346.00
Window/Door Security Bundle - 30	1	\$23.00	\$23.00
General Liability - Allen Insurance	1	\$22.00	\$22.00
Data Hub Rental T2	1	\$49.00	\$49.00
Prof. Office Package T2	2	\$77.00	\$154.00
Prof. Conference Package T2	1	\$150.00	\$150.00
Minimum Lease Term: 24 Months			
		Total Monthly Building Charges:	\$1,576.00
		Subtotal of Other Monthly Charges:	\$990.00
		Total Rental Charges Per Month:	\$2,566.00

Delivery & Installation	Quantity	Price	Extended
CA Transport Delivery Fee	2	\$100.00	\$200.00
Foundation / Tiedown Plans	1	\$562.50	\$562.50
Ramp - Delivery & Installation	1	\$1,618.57	\$1,618.57
Hitch removal	2	\$62.50	\$125.00
Tiedowns into asphalt	32	\$83.92	\$2,685.44
Block and Level	1	\$3,191.25	\$3,191.25
Delivery Freight	2	\$457.33	\$914.66
Wood skirting	168	\$18.00	\$3,024.00
		Total Delivery & Installation Charges:	\$12,321.42

Final Return Charges*	Quantity	Price	Extended
CA Transport Return Fee	2	\$100.00	\$200.00
Tiedown-Asphalt Removal	32	\$36.84	\$1,178.88
Skirting Removal - Wood LF	168	\$5.66	\$950.88
Ramp - Knockdown & Return	1	\$1,357.14	\$1,357.14
Hitch installation	2	\$62.50	\$125.00
Teardown	1	\$2,152.50	\$2,152.50
Return Freight	2	\$457.33	\$914.66

Due On Final Invoice*: \$6,879.06

Total Charges Including (24) Month Rental, Delivery, Installation & Return:** \$80,784.48

Summary of Charges

Model: SM6424	QUANTITY: 1	Total Charges for (1) Building(s): \$80,784.48
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Additional Services: For your convenience, we also recommend the following items (not included in this Agreement)

Recommended Items	Billing Frequency	Qty	Price	Extended
Modification to Unit M	Initial	1	\$1.43	\$1.43
Modification to Unit L	Initial	1	\$1.43	\$1.43
Delivery - Pilot Car	Initial	2	\$285.71	\$571.42
Return - Pilot Car	Final	2	\$285.71	\$571.42
Bas. Cubicle Package T1	Monthly	1	\$75.00	\$75.00



Williams Scotsman, Inc.
11811 Greenstone Avenue
Santa Fe Springs, CA 90670-4734

Your Williams Scotsman Representative
Trent French
Phone: (562)903-9200
Email: trent.french@willscot.com
Toll Free: 800-782-1500

Contract Number: 1443482
Revision: 2
Date: March 15, 2021

Prof. Cubicle Package T1	Monthly	1	\$132.00	\$132.00
Cubicle Knock Down	Final	1	\$64.50	\$64.50
Cubicle Install	Initial	1	\$64.50	\$64.50
Essentials Material Handling	Initial	2	\$457.33	\$914.66



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Contract Number: 1443482
Revision: 2
Date: March 15, 2021

Lease Agreement

Lessee:

Salas O'Brien Engineers
305 S. 11th St
San Jose, California, 95112

Contact:

Chris Markley
305 S. 11th St
San Jose, CA, 95112
Phone: (408) 279-9169
E-mail: chris.markley@salasobrien.com

Ship To Address:

SANTA ANA, CA, 92701

Delivery Date(on or about):

1/3/2022

Rental Pricing Per Month	Quantity	Price	Extended
64x36 Modular (60x36 Box) Unit Number:	1	\$2,364.00	\$2,364.00
Bas. Entrance-Steps T2	1	\$68.00	\$68.00
Property Damage Waiver (11/12)	3	\$89.00	\$267.00
ADA/IBC Ramp -w/ switchback	1	\$346.00	\$346.00
Window/Door Security Bundle - 30	1	\$23.00	\$23.00
General Liability - Allen Insurance	1	\$31.00	\$31.00
Data Hub Rental T2	2	\$49.00	\$98.00
Prof. Office Package T2	6	\$77.00	\$462.00
Prof. Conference Package T2	1	\$150.00	\$150.00
Minimum Lease Term: 24 Months			
		Total Monthly Building Charges:	\$2,364.00
		Subtotal of Other Monthly Charges:	\$1,445.00
		Total Rental Charges Per Month:	\$3,809.00

Delivery & Installation

CA Transport Delivery Fee	3	\$100.00	\$300.00
Foundation / Tiedown Plans	1	\$687.50	\$687.50
Ramp - Delivery & Installation	1	\$1,618.57	\$1,618.57
Hitch removal	3	\$62.50	\$187.50
Tiedowns into asphalt	42	\$83.92	\$3,524.64
Block and Level	1	\$5,909.33	\$5,909.33
Delivery Freight	3	\$457.33	\$1,371.99
Wood skirting	192	\$18.00	\$3,456.00
		Total Delivery & Installation Charges:	\$17,055.53

Final Return Charges*

CA Transport Return Fee	3	\$100.00	\$300.00
Tiedown-Asphalt Removal	42	\$36.84	\$1,547.28
Skirting Removal - Wood LF	192	\$5.66	\$1,086.72
Ramp - Knockdown & Return	1	\$1,357.14	\$1,357.14
Hitch installation	3	\$62.50	\$187.50
Teardown	1	\$3,982.50	\$3,982.50
Return Freight	3	\$457.33	\$1,371.99
		Due On Final Invoice*:	\$9,833.13

Total Charges Including (24) Month Rental, Delivery, Installation & Return:** \$118,304.66

Summary of Charges

Model: SM6436	QUANTITY: 1	Total Charges for (1) Building(s):	\$118,304.66
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Additional Services: For your convenience, we also recommend the following items (not included in this Agreement)

Recommended Items	Billing Frequency	Qty	Price	Extended
Modification to Unit M	Initial	1	\$1.43	\$1.43
Modification to Unit L	Initial	1	\$1.43	\$1.43
Delivery - Pilot Car	Initial	3	\$285.71	\$857.13
Return - Pilot Car	Final	3	\$285.71	\$857.13
Bas. Cubicle Package T1	Monthly	1	\$75.00	\$75.00



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Toll Free: 800-782-1500

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Prof. Cubicle Package T1	Monthly	1	\$132.00	\$132.00
Cubicle Knock Down	Final	1	\$64.50	\$64.50
Cubicle Install	Initial	1	\$64.50	\$64.50
Essentials Material Handling	Initial	3	\$457.33	\$1,371.99



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Toll Free: 800-782-1500

Contract Number: 1443482
Revision: 2
Date: March 15, 2021

Lease Agreement

Lessee: Salas O'Brien Engineers 305 S. 11th St San Jose, California, 95112	Contact: Chris Markley 305 S. 11th St San Jose, CA, 95112 Phone: (408) 279-9169 E-mail: chris.markley@salasobrien.com	Ship To Address: SANTA ANA, CA, 92701
		Delivery Date(on or about): 1/3/2022

Rental Pricing Per Month	Quantity	Price	Extended
64x48 Modular (60x48 Box) Unit Number:	1	\$3,152.00	\$3,152.00
Bas. Entrance-Steps T2	1	\$68.00	\$68.00
Property Damage Waiver (11/12)	4	\$89.00	\$356.00
ADA/IBC Ramp -w/ switchback	1	\$346.00	\$346.00
Window/Door Security Bundle - 30	1	\$23.00	\$23.00
General Liability - Allen Insurance	1	\$40.00	\$40.00
Data Hub Rental T2	2	\$49.00	\$98.00
Prof. Office Package T2	8	\$77.00	\$616.00
Prof. Conference Package T2	1	\$150.00	\$150.00
Minimum Lease Term: 24 Months	Total Monthly Building Charges:		\$3,152.00
	Subtotal of Other Monthly Charges:		\$1,697.00
	Total Rental Charges Per Month:		\$4,849.00

Delivery & Installation	Quantity	Price	Extended
CA Transport Delivery Fee	4	\$100.00	\$400.00
Foundation / Tiedown Plans	1	\$687.50	\$687.50
Ramp - Delivery & Installation	1	\$1,618.57	\$1,618.57
Hitch removal	4	\$50.00	\$200.00
Tiedowns into asphalt	52	\$83.92	\$4,363.84
Block and Level	1	\$8,627.42	\$8,627.42
Delivery Freight	4	\$457.33	\$1,829.32
Wood skirting	216	\$18.00	\$3,888.00
	Total Delivery & Installation Charges:		\$21,614.65

Final Return Charges*	Quantity	Price	Extended
CA Transport Return Fee	4	\$100.00	\$400.00
Tiedown-Asphalt Removal	52	\$36.84	\$1,915.68
Skirting Removal - Wood LF	216	\$5.66	\$1,222.56
Ramp - Knockdown & Return	1	\$1,357.14	\$1,357.14
Hitch installation	4	\$62.50	\$250.00
Teardown	1	\$5,812.50	\$5,812.50
Return Freight	4	\$457.33	\$1,829.32
	Due On Final Invoice*:		\$12,787.20
Total Charges Including (24) Month Rental, Delivery, Installation & Return**:			\$150,777.85

Summary of Charges			
Model: SM6448	QUANTITY: 1	Total Charges for (1) Building(s):	\$150,777.85

Additional Services: For your convenience, we also recommend the following items (not included in this Agreement)

Recommended Items	Billing Frequency	Qty	Price	Extended
Modification to Unit M	Initial	1	\$1.43	\$1.43
Modification to Unit L	Initial	1	\$1.43	\$1.43
Delivery - Pilot Car	Initial	4	\$285.71	\$1,142.84
Return - Pilot Car	Final	4	\$285.71	\$1,142.84
Bas. Cubicle Package T1	Monthly	1	\$75.00	\$75.00



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Toll Free: 800-782-1500

Contract Number: 1443482
Revision: 2
Date: March 15, 2021

Prof. Cubicle Package T1	Monthly	1	\$132.00	\$132.00
Cubicle Knock Down	Final	1	\$64.50	\$64.50
Cubicle Install	Initial	1	\$64.50	\$64.50
Essentials Material Handling	Initial	4	\$457.33	\$1,829.32



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Toll Free: 800-782-1500

Contract Number: 1443482
Revision: 2
Date: March 15, 2021

Lease Agreement

Lessee: Salas O'Brien Engineers 305 S. 11th St San Jose, California, 95112	Contact: Chris Markley 305 S. 11th St San Jose, CA, 95112 Phone: (408) 279-9169 E-mail: chris.markley@salasobrien.com	Ship To Address: SANTA ANA, CA, 92701
		Delivery Date(on or about): 1/3/2022

Rental Pricing Per Month	Quantity	Price	Extended
44x12 Toilet Unit (40x12 Box) Unit Number:	1	\$2,166.00	\$2,166.00
Property Damage Waiver (11/12)	1	\$89.00	\$89.00
ADA/IBC Ramp -w/ switchback	1	\$446.00	\$446.00
General Liability - Allen Insurance	1	\$22.00	\$22.00
Minimum Lease Term: 24 Months	Total Monthly Building Charges:		\$2,166.00
	Subtotal of Other Monthly Charges:		\$557.00
	Total Rental Charges Per Month:		\$2,723.00

Delivery & Installation			
CA Transport Delivery Fee	1	\$100.00	\$100.00
Foundation / Tiedown Plans	1	\$562.50	\$562.50
Ramp - Delivery & Installation	1	\$2,761.43	\$2,761.43
Hitch removal	1	\$62.50	\$62.50
Tiedowns into asphalt	14	\$83.92	\$1,174.88
Block and Level	1	\$145.50	\$145.50
Delivery Freight	1	\$457.33	\$457.33
Wood skirting	104	\$18.00	\$1,872.00
Total Delivery & Installation Charges:			\$7,136.14

Final Return Charges*			
CA Transport Return Fee	1	\$100.00	\$100.00
Tiedown-Asphalt Removal	14	\$36.84	\$515.76
Skirting Removal - Wood LF	104	\$5.66	\$588.64
Ramp - Knockdown & Return	1	\$1,928.57	\$1,928.57
Hitch installation	1	\$62.50	\$62.50
Teardown	1	\$124.62	\$124.62
Return Freight	1	\$457.33	\$457.33
Due On Final Invoice*:			\$3,777.42
Total Charges Including (24) Month Rental, Delivery, Installation & Return**:			\$76,265.56

Summary of Charges			
Model: TT4412	QUANTITY: 1	Total Charges for (1) Building(s):	\$76,265.56

Additional Services: For your convenience, we also recommend the following items (not included in this Agreement)

Recommended Items	Billing Frequency	Qty	Price	Extended
Essentials Material Handling	Initial	1	\$457.33	\$457.33



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INSURANCE REQUIREMENTS ADDENDUM

QTY	PRODUCT	EQUIPMENT VALUE/BUILDING	DEDUCTIBLE PER UNIT
1	SM6424	\$69043.00	\$4000.00
1	SM6436	\$107866.00	\$4000.00
1	SM6448	\$51934.00	\$4000.00
1	TT4412	\$55901.00	\$3000.00

Lessee: Salas O'Brien Engineers

Pursuant to the Williams Scotsman Lease Agreement and its Terms and Conditions ("Agreement"), a Lessee is obligated to provide insurance to Williams Scotsman, Inc. ("Lessor") with the following insurance coverage:

- Commercial General Liability Insurance:** policy of combined bodily injury and property damage insurance insuring Lessee and Lessor against any liability arising out of the use, maintenance, or possession of the Equipment. Such insurance shall be in an amount not less than \$1,000,000 per occurrence, naming the Lessor as Additional Insured and Loss Payee.
- Commercial Property Insurance:** covering all losses or damage, in an amount equal to 100% of the Equipment Value set forth in the Lease providing protection against perils included within the classification and special extended perils (all "risk" insurance), naming the Lessor as Additional Insured and Loss Payee.

By signing below, the Lessee agrees to the terms and conditions stated herein. All other general Terms and Conditions of the Agreement shall remain the same and in full force and effect. Each party is hereby authorized to accept and rely upon a facsimile or electronic signature of the other party on this Addendum. Any such signature shall be treated as an original signature for all purposes.

Commercial General Liability Insurance

Lessee elects to participate in the Commercial General Liability Insurance Program, whereby Lessee will receive insurance coverage through American Southern Insurance Company ("Insurer") and administered by Allen Insurance Group ("Agent"). The Lessee acknowledges and agrees that the policy issued by the Insurer is a third party liability policy that covers those amounts that Lessee is legally obligated to pay due to bodily insurance and property damage arising from the proper use and occupancy of Equipment leased from Williams Scotsman up to the policy limits. Coverage is subject to underwriting and specific terms and conditions set forth in the policy. An outline of cover is available upon request. By signing below, Lessee understands and agrees that the Lessor is not providing the insurance coverage and serves only as a billing agent for the Insurer and its Agent; and, accordingly, it assumes no liability therefore.

Signature of Lessee: _____ Print Name: _____ Date: _____

Damage Waiver Program

Lessee elects to participate in the Lessor's Damage Waiver Program. Lessee understands and agrees that under this program, the Lessor waives, for a fee, Lessee's obligation to carry Commercial Property Insurance and Lessee's liability to Lessor for repair or replacement of the modular units leased from Williams Scotsman resulting from loss or damage as specified in the Lease Agreement. Lessee remains liable to Williams Scotsman for the amount of the damage deductible per unit of equipment noted above. Please refer to the Agreement for specific details on coverage, exclusions and restrictions on coverage. The Property Damage Waiver is not and shall not constitute a contract for insurance.

Signature of Lessee: _____ Print Name: _____ Date: _____

Please return this signed document with the signed lease agreement