



# JUDICIAL COUNCIL OF CALIFORNIA

## SAN FRANCISCO FIRST DISTRICT COURT OF APPEAL CLERK'S OFFICE IMPROVEMENTS

EARL WARREN BUILDING AT THE RONALD M. GEORGE STATE OFFICE COMPLEX  
 350 McALLISTER STREET  
 SAN FRANCISCO, CA 94102

STATE FIRE MARSHAL RESUBMISSION SET  
 MAY 22, 2024

STATE FIRE MARSHAL PROJECT NO. 23-6387

**REVIEWED FOR CODE COMPLIANCE**

These plans and documents have been reviewed and found to be in compliance with the applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.

**BUREAU VERITAS NORTH AMERICA, INC.**

SIGNATURE: BV

DATE: 6/24/2024

OFFICE OF THE STATE FIRE MARSHAL  
 APPROVED FIRE AND PANIC ONLY



Approval of this plan does not authorize or approve any omission or deviation from applicable regulations. Final approval is subject to field inspection. One set of approved plans shall be available on the project site at all times.



Architectural Resources Group

Pier 9, The Embarcadero Suite 107  
 San Francisco, California 94111  
 415.421.1680

PROJECT TEAM	DRAWING LIST	PROJECT SUMMARY	PROJECT LOCATION
<p><b>CLIENT</b></p> <p>JUDICIAL COUNCIL OF CALIFORNIA ("JCC")            455 GOLDEN GATE AVE            SAN FRANCISCO, CA 94102- 3688</p> <p>ALISHA DUTTA            alisha.dutta@jud.ca.gov            (916) 643-6947</p> <p><b>ARCHITECT</b></p> <p>ARCHITECTURAL RESOURCES GROUP            PIER 9, THE EMBARCADERO, SUITE 107            SAN FRANCISCO, CA 94111</p> <p>ALICE VALANIA            a.valania@argcreate.com            (916) 917-4059</p> <p>KIMBRO FRUTIGER            k.frutiger@argcreate.com            (626) 583-1401 ext.114</p> <p>JAKE GIANNI            j.gianni@argcreate.com            (415) 421-1680 ext.261</p> <p><b>MECHANICAL ENGINEER</b></p> <p>EDESIGNC, INC.            582 MARKET STREET, SUITE 400            SAN FRANCISCO, CA 94104</p> <p>BRUCE DOUGLAS            bruce@edesignc.com            (415) 963-4303 ext.205</p>	<p><b>SHEET COUNT: 17</b></p> <p><b>TITLE</b></p> <p>G1.00 COVER SHEET            G1.01 ABBREVIATIONS, NOTES, PROJECT DATA, SYMBOLS            G1.02 EXISTING CONDITION PHOTOS            G2.00 ACCESSIBILITY REQUIREMENTS            G3.00 LIFE SAFETY &amp; ACCESSIBILITY PLAN</p> <p><b>ARCHITECTURAL</b></p> <p>AD1.01 DEMO PLAN            A1.01 FLOOR PLAN &amp; RCP            A5.00 COUNTER PLAN &amp; ELEVATIONS            A5.01 COUNTER DIMENSION PLAN &amp; VISUALIZATION            A5.10 STAFF ENTRANCE PLAN, ELEVATION &amp; SECTION            A9.00 COUNTER SECTIONS            A9.01 COUNTER DETAILS 1            A9.02 COUNTER DETAILS 2            A9.03 COUNTER DETAILS 3            A9.04 TRANSFER BOX DETAILS            A9.10 DOOR &amp; SIDELIGHT DETAILS</p> <p><b>MECHANICAL</b></p> <p>M1.01 MECHANICAL FLOOR PLAN &amp; REMOVALS PLAN</p>	<p>COUNTER SECURITY SCREEN AND UPGRADED STAFF ENTRANCE FOR THE EXISTING FIRST DISTRICT COURT OF APPEAL CLERK PUBLIC COUNTER AND ASSOCIATED STAFF-SIDE AREA AT THE EARL WARREN BUILDING, RONALD M. GEORGE STATE OFFICE COMPLEX.</p> <p>PRIMARY SCOPE IS:</p> <ul style="list-style-type: none"> <li>NEW GLAZED SECURITY SCREEN INCORPORATING SPEAK-THROUGHS AND PASS-THROUGHS AT (E) COUNTER</li> <li>NEW DOCUMENT TRANSFER BOX AT (E) COUNTER</li> <li>NEW GLAZING AT (E) STAFF ENTRANCE SIDELIGHTS AND TRANSOM</li> <li>NEW WOOD AND GLASS INFILL AT (E) STAFF ENTRANCE DOORS</li> <li>NEW ELECTRONIC SECURITY AT (E) STAFF ENTRANCE DOORS</li> <li>RELOCATED HVAC DIFFUSERS AT (E) FASCIA</li> </ul> <p>SCOPE DOES <b>NOT</b> INCLUDE ALTERATIONS TO:</p> <ul style="list-style-type: none"> <li>(E) LIGHTING AND SWITCHING</li> <li>(E) LIFE-SAFETY AND SPRINKLER CONFIGURATION</li> <li>(E) HVAC CONFIGURATION, OTHER THAN NOTED ABOVE</li> <li>(E) SECURITY SYSTEMS AND DEVICES, OTHER THAN NOTED ABOVE</li> <li>(E) ELECTRICAL, OTHER THAN INCIDENTAL TO SECURITY SCOPE</li> </ul>	<p>PROJECT LOCATION</p> <p>VICINITY MAP</p>
	<p><b>HISTORICAL STATUS</b></p> <p>350 McALLISTER STREET IS A CONTRIBUTING ELEMENT OF THE SAN FRANCISCO CIVIC CENTER HISTORIC DISTRICT, WHICH IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES AND IS A DESIGNATED NATIONAL HISTORIC LANDMARK.</p> <p>Listed in the National Register of Historic Places, 1978, as #78000757            Designated National Historic Landmark, 1987</p> <p>THE BEAUX ARTS-STYLE STRUCTURE WAS ORIGINALLY NAMED "THE CALIFORNIA STATE BUILDING" AND, DESPITE BEING A STATE PROPERTY, IT WAS DELIBERATELY DESIGNED TO FIT INTO THE CITY'S CIVIC CENTER LAYOUT. THE ARCHITECTURAL FIRM OF BLISS &amp; FAVILLE WON THE PROJECT IN A 1915 COMPETITION AND MOST CONSTRUCTION WAS DONE 1921-22, ALTHOUGH SOME WORK EXTENDED TO 1926. THE CALIFORNIA SUPREME COURT MOVED TO QUARTERS IN THE BUILDING IN 1923.</p> <p>350 McALLISTER STREET WAS RESTORED AFTER SUFFERING DAMAGE IN THE 1989 LOMA PRIETA EARTHQUAKE. THE CONTIGUOUS STATE OFFICE BUILDING TO THE NORTH WAS DESIGNED BY SKIDMORE, OWINGS &amp; MERRILL AND COMPLETED IN 1998.</p> <p><b>THE SCOPE SHOWN IN THESE DRAWINGS IS LOCATED IN A NON-CONTRIBUTING SPACE FORMED FROM AN INTERIOR COURTYARD THAT WAS ENCLOSED AS PART OF THE 1990s RESTORATION/ADDITION. THE WORK DOES NOT ALTER, REMOVE, OR OTHERWISE AFFECT ANY PRE-1990 BUILDING FABRIC, NOR IS IT VISIBLE FROM ANY EXTERIOR PUBLIC WAY.</b></p>	<p><b>JCC WORK NOTES</b></p> <ol style="list-style-type: none"> <li>CONTRACTOR TO SUBMIT REQUESTS FOR INFORMATION (RFI'S) IF PROJECT SCOPE OF WORK IS UNCLEAR. SEE PROJECT SPECIFICATIONS FOR PROCEDURES.</li> <li>CONTRACTOR TO PROVIDE SUBMITTALS AS INDICATED AND PER PROCEDURES DESCRIBED IN PROJECT SPECIFICATIONS.</li> <li>CONTRACTOR TO PROVIDE CLOSE-OUT MATERIALS AS INDICATED AND PER PROCEDURES DESCRIBED IN PROJECT SPECIFICATIONS.</li> <li>CONTRACTOR TO PROVIDE ALL EQUIPMENT, LABOR, AND MATERIALS TO COMPLETE THE SCOPE OF WORK U.O.I.</li> <li>CONTRACTOR TO PROPOSE DUST MITIGATION PROCEDURES FOR JCC REVIEW AND APPROVAL. CONTRACTOR TO PERFORM APPROVED PROCEDURES. IN THE EVENT APPROVED PROCEDURES AS ENACTED ARE NOT SUFFICIENT TO ALLOW OWNER'S FULL USE OF THE COURT BUILDING, CONTRACTOR TO REASSESS FOR FURTHER JCC REVIEW AND APPROVAL.</li> <li>CONTRACTOR SHALL HAUL OFF AND DISPOSE OF DEMOLITION AND CONSTRUCTION DEBRIS PER PROCEDURES DESCRIBED IN PROJECT SPECIFICATIONS.</li> <li>CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CLEAN AND ORDERLY CONSTRUCTION SITE THROUGHOUT THE DURATION OF THE WORK. SEE PROJECT SPECIFICATIONS.</li> <li>CONTRACTOR IS RESPONSIBLE FOR FINAL CLEANING PRIOR TO HANDING OVER ANY WORK AREA TO THE OWNER. SEE PROJECT SPECIFICATIONS.</li> <li>CONTRACTOR SHALL PARTICIPATE IN AN IN-PERSON PUNCH-WALK WITH THE JCC AND COURT REPRESENTATIVE(S) PRIOR TO PROJECT CLOSE-OUT. SEE PROJECT SPECIFICATIONS.</li> <li>CONTRACTOR SHALL PROVIDE AND INSTALL FLOOR PROTECTION AT INTERIOR PATH OF TRAVEL FROM CONSTRUCTION ENTRANCE TO WORKS AREAS. PROTECTION SHEET TO BE 45 MIL MIN, FIXED FIRMLY WITHOUT DAMAGE TO ANY FINISH SURFACES.</li> <li>CONTRACTOR SHALL PROVIDE OWN RESTROOM FACILITIES ON SITE THROUGHOUT THE DURATION OF THE WORK. CONTRACTOR'S PERSONNEL, SUBCONTRACTORS, VENDORS, AND CONSULTANTS MAY NOT USE THE BUILDING'S RESTROOM FACILITIES.</li> <li>CONTRACTOR SHALL PROVIDE ANY HEALTH AND HYGIENE FACILITIES REQUIRED BY LAW AND/OR AT THE OWNER'S DISCRETION, INCLUDING BUT NOT LIMITED TO COVID-19 RELATED FACILITIES.</li> <li>CONTRACTOR IS RESPONSIBLE FOR ALL CONTRACTOR'S PERSONNEL, SUBCONTRACTORS, VENDORS, AND CONSULTANTS' COMPLIANCE WITH COVID-19-RELATED MEASURES, INCLUDING BOTH LEGAL REQUIREMENTS AND MEASURES INSTITUTED AT THE OWNER'S DISCRETION.</li> <li>REFER TO 10/4/2023 PMP ENVIRONMENTAL CONSULTING REPORT FOR HAZARDOUS MATERIALS TESTING RESULTS.</li> <li>CONTRACTOR SHALL NOTIFY THE JUDICIAL COUNCIL PRIOR TO START OF CONSTRUCTION OF ANY ADDITIONAL AREAS AND/OR MATERIALS THAT WILL BE AFFECTED BY PROJECT SCOPE AND REQUIRE HAZARDOUS MATERIALS TESTING. TESTING RESULTS MUST BE ISSUED PRIOR TO START OF CONSTRUCTION.</li> </ol>	<p>PROJECT LOCATION</p>

NO.	DESCRIPTION	DATE
REVISIONS		

### SAN FRANCISCO FIRST DISTRICT COURT OF APPEAL

CLERK'S OFFICE IMPROVEMENTS

350 McALLISTER ST  
 SAN FRANCISCO, CA 94102

SHEET TITLE

COVER SHEET

ISSUANCE  
 SFM RESUBMISSION

5/22/2024

PROJ. NO.  
 180218.08

DRAWN  
 JG/KF

CHECKED  
 AV



DRAWING NO.

**G1.00** V2

**ABBREVIATIONS**

&	AND	FA	FIRE ALARM	OA	OVERALL	T	TREAD
L	ANGLE	FB	FUSE BOX	OBS	OBSCURE	TB	TOWEL BAR
@	AT	FBR BD	FIBER BOARD	OC	ON CENTER	TBD	TO BE DECIDED
	CENTERLINE	FBRGL	FIBERGLASS	OCC	OCCUPANCY OR	TCA	TILE COUNCIL OF AMERICA
O	DIAMETER/ ROUND	FD	FLOOR DRAIN		OCCUPANT(S)		TELEPHONE
#	POUND OR NUMBER	FDN	FOUNDATION	OD	OUTSIDE DIA	TEL	TERRAZZO
		FE	FIRE EXTINGUISHER	OFCI	OWNER	TER	TONGUE & GROOVE
ACOUS	ACOUSTICAL	FEC	FE CABINET		FURNISHED,	T&G	THICK
ACT	ACOUSTIC CEILING TILE	FHC	FIRE HOSE CABINET		CONTRACTOR		TO
AD	AREA DRAIN	FIN	FINISH		INSTALLED	THK	TOP OF
ADJ	ADJUSTABLE/ADJACENT	FLR	FLOOR	OFOI	OWNER	TO	TOP OF CURB
AFF	ABOVE FINISHED FLOOR	FLASH	FLASHING		FURNISHED,	TOC	TOP OF PAVING
AL	ALUMINUM	FLUOR	FLUORESCENT		OWNER	TOP	TOP OF WALL
APPROX	APPROXIMATE	FND	FOUNDATION		INSTALLED	TOW	TOILET PAPER
ARCH	ARCHITECTURAL	FO	FACE OF	OFF	OFFICE	TPD	DISPENSER
ASB	ASBESTOS	FOC	FACE OF CONCRETE	OPNG	OPENING		TRASH
ASPH	ASPHALT	FOF	FACE OF FINISH	OPP	OPPOSITE	TR	RECEPTACLE
ATT	ATTACH	FOM	FACE OF MASONRY	OSB	ORIENTED STRAND BOARD	TRD	TREAD
		FOS	FACE OF STUD			TRD	TELEVISION
BD	BOARD	FOW	FACE OF WALL			TV	TYPICAL
BITUM	BITUMINOUS	FP	FABRIC PANEL	PARA	PARALLEL	TYP	
BLDG	BUILDING	FPRF	FIREPROOF	PERP	PERPENDICULAR		
BLK	BLOCK	FRP	FIBERGLASS	PL	PLATE	UNF	UNFINISHED
BM	BEAM	FRP	REINFORCEDPANEL	PLAM	PLASTIC LAMINATE	UON	UNLESS OTHERWISE NOTED
BOT	BOTTOM	FS	FULL SIZE	PLAS	PLASTER		
BUR	BUILT-UP ROOFING	FT	FOOT OR FEET	PLYWD	PLYWOOD		
		FTG	FOOTING	PR	PAIR	UR	URINAL
CAB	CABINET	FURR	FURRING	PRCST	PRECAST		
CB	CATCH BASIN	FUT	FUTURE	PT	PAINT	VCT	VINYL COMPOSITION TILE
CEM	CEMENT			PTD	PAPER TOWEL DISPENSER		VERTICAL VESTIBULE
CER	CERAMIC	GA	GAUGE	PTD/R	COMBINATION PAPER TOWEL DISPENSER/	VERT	VERIFY IN FIELD
CG	CORNER GUARD	GALV	GALVANIZED			VEST	VEHICLE PLASTER
CJ	CAST IRON	GB	GRAB BAR			VIF	VENT THROUGH ROOF
CJ	CONTROL JOINT	GL	GLASS			VIF	VINYL WALLCOVERING
CLG	CEILING	GLB	GLUE LAM BEAM			VP	
CLKG	CAULKING	GND	GROUND	PTN	PARTITION	VTR	
CLO	CLOSET	GR	GRADE	PTR	PAPER TOWEL RECEPTACLE	VW	
CLR	CLEAR	GSM	GALVANIZED SHEET METAL				
CMU	CONCRETE MASONRY UNIT	GYP	GYP SUM	QT	QUARRY TILE		
CNTR	COUNTER					W	WEST
CO	CLEANOUT	HB	HOSE BIB	R	RISER	W/	WITH
COL	COLUMN	HC	HOLLOW CORE	(R)	REMOVE	WC	WATER CLOSET
COMP	COMPOSITION	HDR	HEADER	RAD	RADIUS	WCV	WALLCOVERING
CONC	CONCRETE	HDWD	HARDWOOD	RB	RUBBER BASE	WD	WOOD
COND	CONDITION	HDWE	HARDWARE	RD	ROOF DRAIN	WO	WHERE OCCURS
CONN	CONNECTION	HGT	HEIGHT	REC	RECESSED	W/O	WITHOUT
CONSTR	CONSTRUCTION	HM	HOLLOW METAL	REF	REFERENCE	WP	WATERPROOF
CONT	CONTINUOUS	HORIZ	HORIZONTAL	REFG	REFRIGERATOR	WSCT	WAINSCOT
CONTR	CONTRACTOR	HR	HOUR	REHAB	REHABILITATE	WT	WEIGHT
CORR	CORRIDOR	HGT	HEIGHT	REINF	REINFORCED		
CPT	CARPET			REP	REPAIR		
CT	CERAMIC TILE	ID	INSIDE DIAMETER	REQ	REQUIRED		
CTG	CENTER	INSUL	INSULATION	RESIL	RESILIENT		
CTSK	COUNTERSINK	INT	INTERIOR	RES	RESTORE		
				RF	REFINISH		
DBL	DOUBLE	JAN	JANITOR	RGTR	REGISTER		
DEMO	DEMOLITION	JC	JANITOR CLOSET	FL	ROOF LEADER		
DEPT	DEPARTMENT	JT	JOINT	RM	ROOM		
DET	DETAIL			RO	ROUGH OPENING		
DETER	DETERIORATED	KIT	KITCHEN	RWD	REDWOOD		
DF	DRINKING FOUNTAIN			RWL	RAIN WATER LEADER		
DIA	DIAMETER	LAB	LABORATORY				
DIM	DIMENSION	LAM	LAMINATE	S	SOUTH		
DISP	DISPENSER	LAV	LAVATORY	SALV	SALVAGE		
DN	DOWN	LB	POUND	SC	SOLID CORE		
DO	DOOR OPENING	LKR	LOCKER	SCD	SEAT COVER		
DR	DOOR	LN	LINOLEUM				
DS	DOWNSPOUT	LT	LIGHT				
DSP	DRY STANDPIPE			SCHED	SCHEDULE		
DTL	DETAIL	MAX	MAXIMUM	SD	SOAP DISPENSER		
DWG	DRAWING	MB	MACHINE BOLT	SECT	SECTION		
DWR	DRAWER	MC	MEDICINE CABINET	SFSD	SEE FOOD SERVICE DRAWINGS		
		MDF	MEDIUM DENSITY FIBERBOARD				
E	EAST	MDO	MEDIUM DENSITY OVERLAY	SH	SHelf		
(E)	EXISTING			SHR	SHOWER		
EA	EACH			SHT	SHEET		
EJ	EXPANSION JOINT	MECH	MECHANICAL	SHTHG	SHEATHING		
EL	ELEVATION	MEMB	MEMBRANE	SIM	SIMILAR		
ELEC	ELECTRICAL	MET	METAL	SLD	SEE LANDSCAPE DRAWINGS		
ELEV	ELEVATOR	MFR	MANUFACTURER	SLR	SEALER		
EMER	EMERGENCY	MH	MANHOLE	SMD	SEE MECHANICAL DRAWINGS		
ENCL	ENCLOSURE	MIN	MINIMUM	SND	SANITARY NAPKIN DISPENSER		
EP	ELECTRICALPANEL	MIR	MIRROR	SNR	SANITARY NAPKIN RECEPTACLE		
EQ	EQUAL	MISC	MISCELLANEOUS				
EQPT	EQUIPMENT	MO	MASONRY OPENING				
EWC	ELECTRICAL WATER COOLER	MTD	MOUNTED				
		MUL	MULLION				
EXIST	EXISTING	N	NORTH	SPEC	SPECIFICATION		
EXP	EXPANSION	(N)	NEW	SQ	SQUARE		
EXPO	EXPOSED	NIC	NOT IN CONTRACT	SSD	SEE STRUCTURAL DRAWINGS		
EXT	EXTERIOR	NOM	NOMINAL	SSK	SERVICE SINK		
		NTS	NOT TO SCALE	SST	STAINLESS STEEL		
				STA	STATION		
				STD	STANDARD		
				STL	STEEL		
				STOR	STORAGE		
				STRUC	STRUCTURAL		
				SUSP	SUSPENDED		
				SV	SHEET VINYL		
				SYM	SYMMETRICAL		

**GENERAL NOTES**

- CONTRACTOR SHALL VERIFY THAT (E) CONDITIONS ARE AS INDICATED ON THE DRAWINGS. NOTIFY THE ARCHITECT IMMEDIATELY OF VARIATIONS OR DISCREPANCIES. DO NOT PROCEED WITH AFFECTED WORK UNTIL THE VARIATIONS OR DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- ALL CONSTRUCTION AND INSTALLATION WORK SHOWN ON DRAWINGS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. USE METHODS AS REQUIRED TO COMPLETE WORK WITHIN LIMITATIONS OF ALL PREVAILING LAWS AND CODES.
- DO NOT SCALE DRAWINGS: USE DIMENSIONS SHOWN. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. DIMENSIONS SHOWN AT (E) CONDITIONS ARE TO FACE OF (E) FINISH, U.O.N. DIMENSIONS AT NEW WORK ARE TO FACE OF FRAMING, U.O.N. DIMENSIONS OF (E) CONDITIONS ARE FOR REFERENCE ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. WHERE NO DIMENSION IS PROVIDED CONSULT WITH THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH AFFECTED WORK.
- SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONDITIONS AT THE JOB SITE, INCLUDING SAFETY OF PEOPLE AND PROPERTY. ARCHITECT SITE VISITS ARE NOT INTENDED TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- INSTALL MANUFACTURED MATERIALS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, UNLESS OTHERWISE INSTRUCTED.
- ALL WASTE AND REFUSE CAUSED IN CONNECTION WITH THE WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR. THE PREMISES SHALL BE LEFT CLEAR AND CLEAN TO THE SATISFACTION OF THE ARCHITECT.
- APPLICATION OF FINISH: SURFACES PREVIOUSLY PREPARED OR INSTALLED BY ANOTHER TRADE SHALL BE INSPECTED CAREFULLY BY THE CONTRACTOR BEFORE APPLYING SUBSEQUENT MATERIALS OR FINISHES. IF SURFACES ARE NOT ACCEPTABLE, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN ORDER THAT CORRECTIONS MAY BE MADE. APPLICATIONS OF FINISHES WILL BE CONSTRUED AS ACCEPTANCE OF RESPONSIBILITY BY THE SUBCONTRACTOR FOR THE BASE UPON WHICH IT IS APPLIED.
- INSTALL ALL WORK PLUMB, LEVEL AND STRAIGHT, OR AS REQUIRED TO ALIGN WITH (E) ADJACENT SURFACES.
- CONTRACTOR SHALL DESIGN AND INSTALL SHORING AS REQUIRED TO PERFORM WORK. RESPONSIBILITY FOR ENGINEERING, CONSTRUCTION AND SAFETY OF THE SHORING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLEMENTARY. SEE NOTE 12.
- CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, SPECIFICATIONS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH WORK.
- DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT.
- THE CONTRACTOR MUST SUBMIT IN WRITING ANY REQUESTS FOR MODIFICATIONS TO THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SUBMITTED TO THE ARCHITECT FOR REVIEW DO NOT CONSTITUTE "IN WRITING" UNLESS IT IS CLEARLY NOTED ON THE SUBMITTAL THAT SPECIFIC CHANGES ARE BEING REQUESTED WITH THE PHRASE "REQUESTED CHANGE".
- FINAL AS BUILT RECORD DOCUMENTS SHOWING ALL REVISIONS INCORPORATED DURING CONSTRUCTION, SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO PROJECT CLOSE-OUT.
- THROUGHOUT THE CONSTRUCTION DOCUMENTS, ITEMS THAT ARE EXISTING ARE INDICATED AS "EXISTING" OR "(E)", ITEMS WITHOUT THIS INDICATION ARE NEW CONSTRUCTION. WHERE REQUIRED FOR PURPOSES OF CLARITY, SOME ITEMS MAY BE INDICATED AS "NEW OR "(N)".

**HAZARDOUS MATERIALS**

- ARCHITECTURAL RESOURCES GROUP ASSUMES NO RESPONSIBILITY FOR THE MANAGEMENT OF HAZARDOUS MATERIALS THAT MAY BE ON THIS SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT PERSONNEL WITHIN THE WORK AREA ARE PROTECTED FROM EXPOSURE TO ANY HAZARDOUS MATERIALS ENCOUNTERED. IF MATERIALS ARE DISCOVERED THAT MAY BE HAZARDOUS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND CEASE WORK UNTIL CONDITIONS CAN BE MAINTAINED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
- SEE ALSO JCC GENERAL NOTES ON G1.00.

**REVIEWED FOR CODE COMPLIANCE**  
 These plans and documents have been reviewed and found to be in compliance with the applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional or record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.  
**BUREAU VERITAS NORTH AMERICA, INC.**  
 SIGNATURE: BV  
 DATE: 6/24/2024

**PROJECT DATA**

ADDRESS	350 McALLISTER STREET "EARL WARREN BUILDING" SAN FRANCISCO, CA 94102
	THE BUILDING DATA BELOW REFLECT THE FACT THAT THIS STRUCTURE AND THE CONTIGUOUS STRUCTURE AT 455 GOLDEN GATE AVENUE ("HIRAM W. JOHNSON STATE OFFICE BUILDING") HAVE BEEN ADMINISTRATIVELY CONSIDERED AS ONE BUILDING ("RONALD M. GEORGE STATE OFFICE COMPLEX") FOR CODE PURPOSES SINCE THE CONSTRUCTION OF THE LATTER STRUCTURE.
	THE CURRENT SCOPE WILL NOT ALTER ANY OF THE DATA BELOW
BLOCK	0765
LOT	002 / 003 (350 McALLISTER / 455 GOLDEN GATE)
ZONING	P - PUBLIC
PLANNING AREA	CIVIC CENTER
LANDMARK DISTRICT	CIVIC CENTER HISTORIC DISTRICT
OCCUPANCY	A-3 / B
CONSTRUCTION TYPE	TYPE IA
BLDG HEIGHT / STORIES	203'-9" / 14 FLOORS + BASEMENT
BUILDING AREA	1,079,100 SF
ELEVATOR	YES
FIRE SPRINKLERS	FULLY SPRINKLERED
FIRE ALARM	YES
SMOKE CTRL SYSTEM	YES
PARKING	NO PUBLIC PARKING

**APPLICABLE BUILDING CODES**

THE PERMIT FOR THE WORK DESCRIBED HEREIN WILL BE ISSUED THROUGH THE JUDICIAL COUNCIL OF CALIFORNIA.

ALL WORK SHALL COMPLY WITH CURRENT CALIFORNIA BUILDING CODE, THE AMERICANS WITH DISABILITIES ACT INCLUDING TITLE II, UNIFORM BUILDING CODE, STATE FIRE MARSHAL REGULATIONS, LOCAL ZONING AND BUILDING CODES AND ORDINANCES, AND ALL OTHER APPLICABLE CODES AND REGULATIONS.

- CALIFORNIA CODE OF REGULATIONS TITLE 24, 2022 CALIFORNIA BUILDING CODE, INCLUDING:
- PART 2 CALIFORNIA BUILDING CODE, VOLUMES 1 & 2
  - PART 3 CALIFORNIA ELECTRICAL CODE
  - PART 4 CALIFORNIA MECHANICAL CODE
  - PART 5 CALIFORNIA PLUMBING CODE
  - PART 6 CALIFORNIA ENERGY CODE
  - PART 7 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE
  - PART 8 CALIFORNIA HISTORICAL BUILDING CODE
  - PART 9 CALIFORNIA FIRE CODE
  - PART 10 CALIFORNIA EXISTING BUILDING CODE

ACCESSIBILITY REQUIREMENTS ARE GOVERNED BY:  
 CALIFORNIA BUILDING CODE, CHAPTER 11B  
 AMERICANS WITH DISABILITIES ACT AND ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES

NATIONAL FIRE PROTECTION ASSOCIATION, "NFPA 13, AUTOMATIC SPRINKLER SYSTEMS HANDBOOK, 2016 EDITION."

**SYMBOL LEGEND**

	NEW CONSTRUCTION		EXISTING CONSTRUCTION TO BE REMOVED		EXISTING CONSTRUCTION TO REMAIN		DOOR NUMBER		WINDOW NUMBER		KEY NOTE		WALL TYPE		REVISION SYMBOL		ALIGN SURFACES		ROOM NAME		ROOM NUMBER		GRID LINE		NORTH DIRECTION		INTERIOR ELEVATION OR PHOTO LOCATION		SECTION SYMBOL		VIEW NAME		VIEW TITLE		LEVEL ELEVATION		DETAIL SYMBOL
--	------------------	--	-------------------------------------	--	---------------------------------	--	-------------	--	---------------	--	----------	--	-----------	--	-----------------	--	----------------	--	-----------	--	-------------	--	-----------	--	-----------------	--	--------------------------------------	--	----------------	--	-----------	--	------------	--	-----------------	--	---------------

**DETAIL NUMBERING**

THE NUMBERING SYSTEM USED FOR DETAILS ON THE DRAWINGS IS AS SHOWN IN THE FOLLOWING DIAGRAM.

12	9	6	3
11	8	5	2
10	7	4	1

WHEN MORE THAN ONE BLOCK IS USED FOR A SINGLE DETAIL, THE NUMBER OF THE BOTTOM LEFT NUMBERED BLOCK IS USED, THUS NUMBERS ARE ALWAYS IN THE SAME LOCATION ON THE SHEET.



Pier 9, The Embarcadero Suite 107  
 San Francisco, California 94111  
 415.421.1680

NO.	DESCRIPTION	DATE
REVISIONS		

**SAN FRANCISCO  
 FIRST DISTRICT  
 COURT OF APPEAL**

CLERK'S OFFICE IMPROVEMENTS

350 McALLISTER ST  
 SAN FRANCISCO, CA 94102

**SHEET TITLE  
 ABBREVIATIONS,  
 NOTES, PROJECT  
 DATA, SYMBOLS**

ISSUANCE  
 SFM RESUBMISSION

5/22/2024

PROJ. NO.  
 180218.08

DRAWN  
 JG/KF

CHECKED  
 AV

DRAWING NO.

**G1.01** **V2**

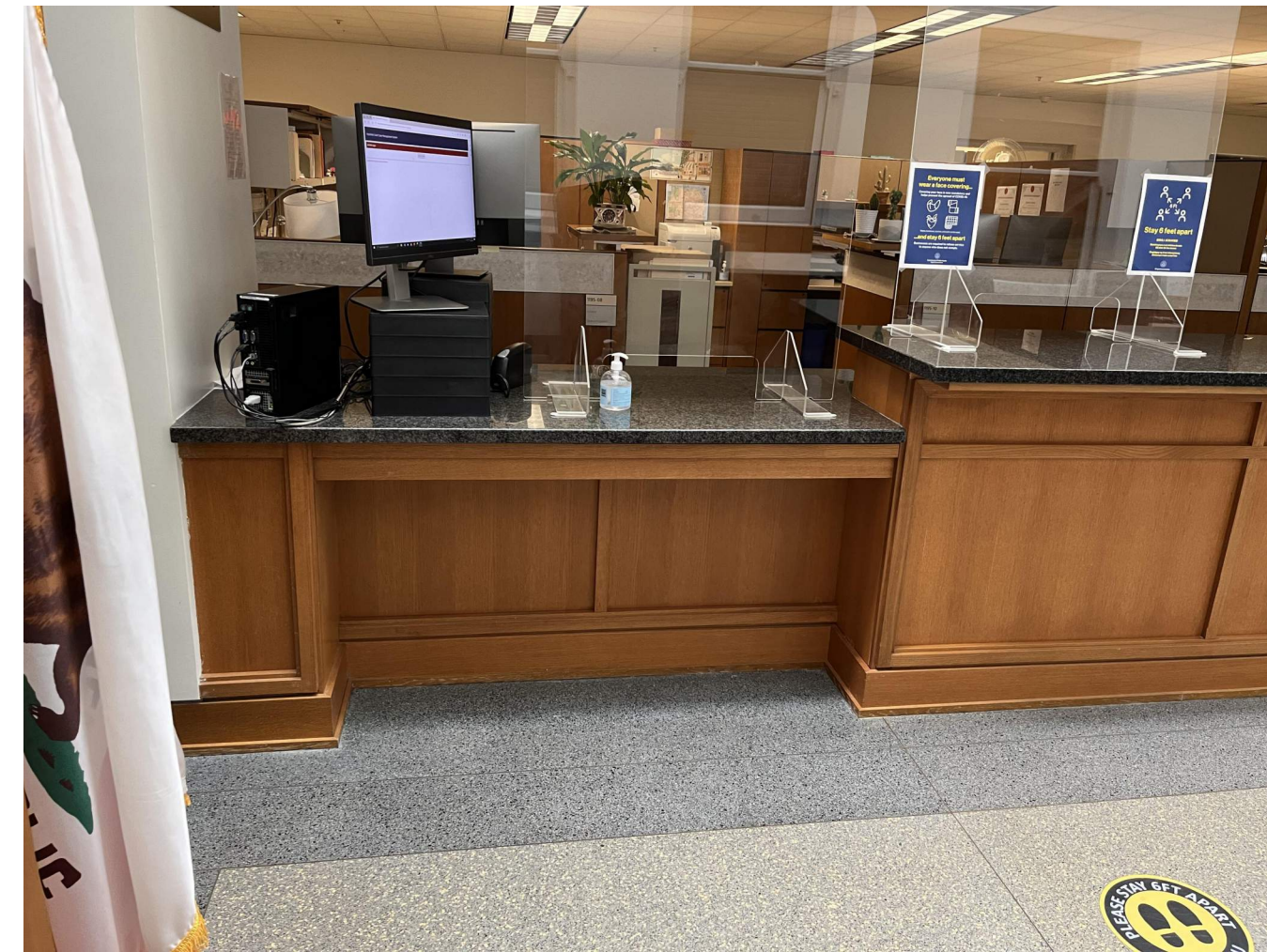




10  
G1.02 VESTIBULE DOORS | WEST



7  
G1.02 EAST COUNTER AREA | SERVICE SIDE



4  
G1.02 WEST COUNTER ACCESSIBLE AREA



2  
G1.02 EAST COUNTER | COPIER

OFFICE OF THE STATE FIRE MARSHAL  
 APPROVED FIRE AND PANIC ONLY



Approval of this plan does not authorize or approve any omission or deviation from applicable regulations. Final approval is subject to field inspection. One set of approved plans shall be available on the project site at all times.



Architectural Resources Group

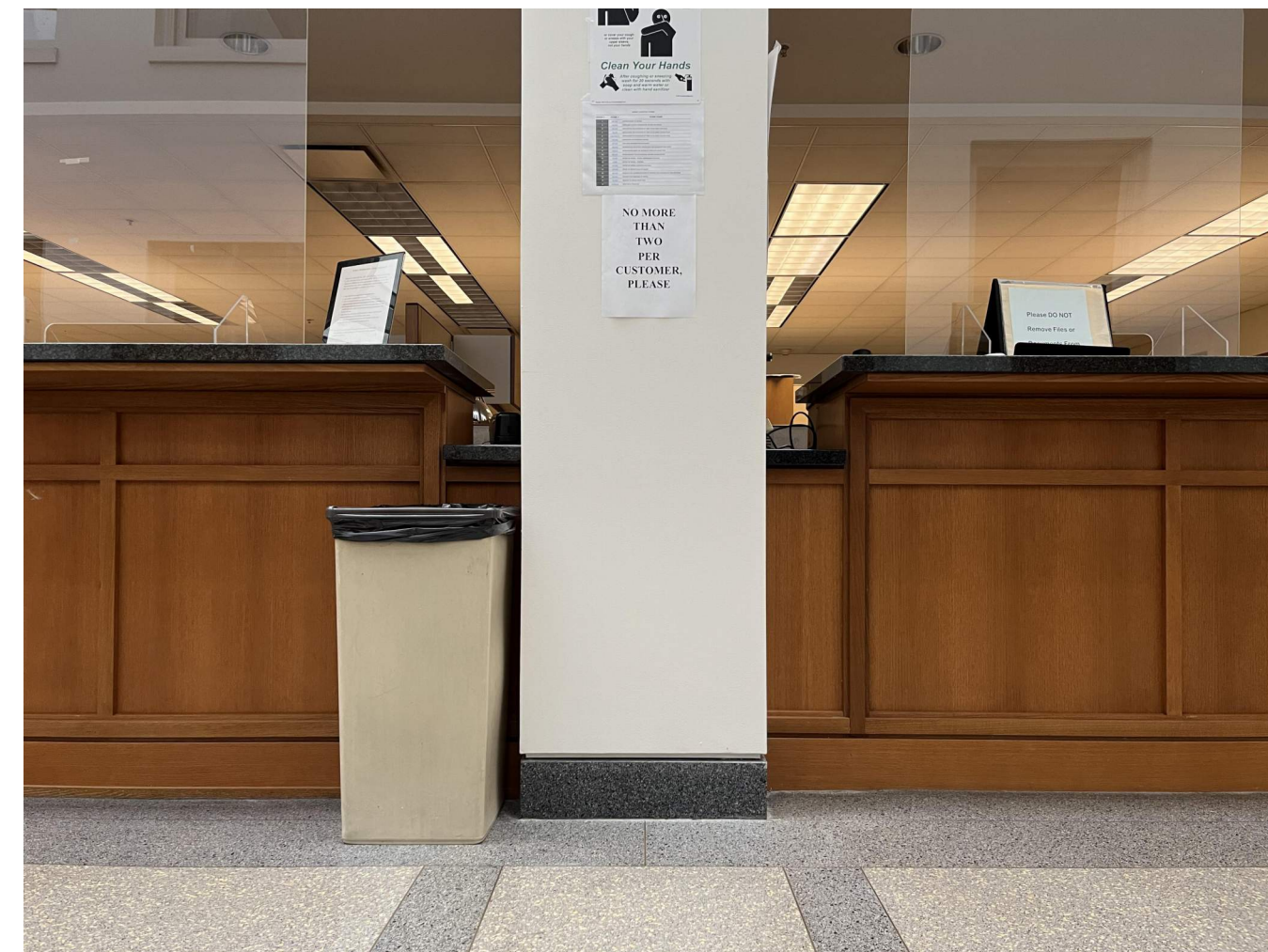
Pier 9, The Embarcadero Suite 107  
 San Francisco, California 94111  
 415.421.1680



9  
G1.02 WEST COUNTER ACCESSIBLE AREA | SERVICE SIDE



6  
G1.02 WEST COUNTER AREA | SERVICE SIDE



3  
G1.02 CLERK COUNTER DIVIDING COLUMN



1  
G1.02 CLERK ROOM PUBLIC AREA

NO. DESCRIPTION DATE  
 REVISIONS

SAN FRANCISCO  
 FIRST DISTRICT  
 COURT OF APPEAL

CLERK'S OFFICE IMPROVEMENTS

350 McALLISTER ST  
 SAN FRANCISCO, CA 94102

SHEET TITLE  
 EXISTING CONDITION  
 PHOTOS

ISSUANCE  
 SFM RESUBMISSION

5/22/2024

PROJ. NO.  
 180218.08

DRAWN  
 JG/KF

CHECKED  
 AV



stamped 05-22-24

DRAWING NO.

G1.02

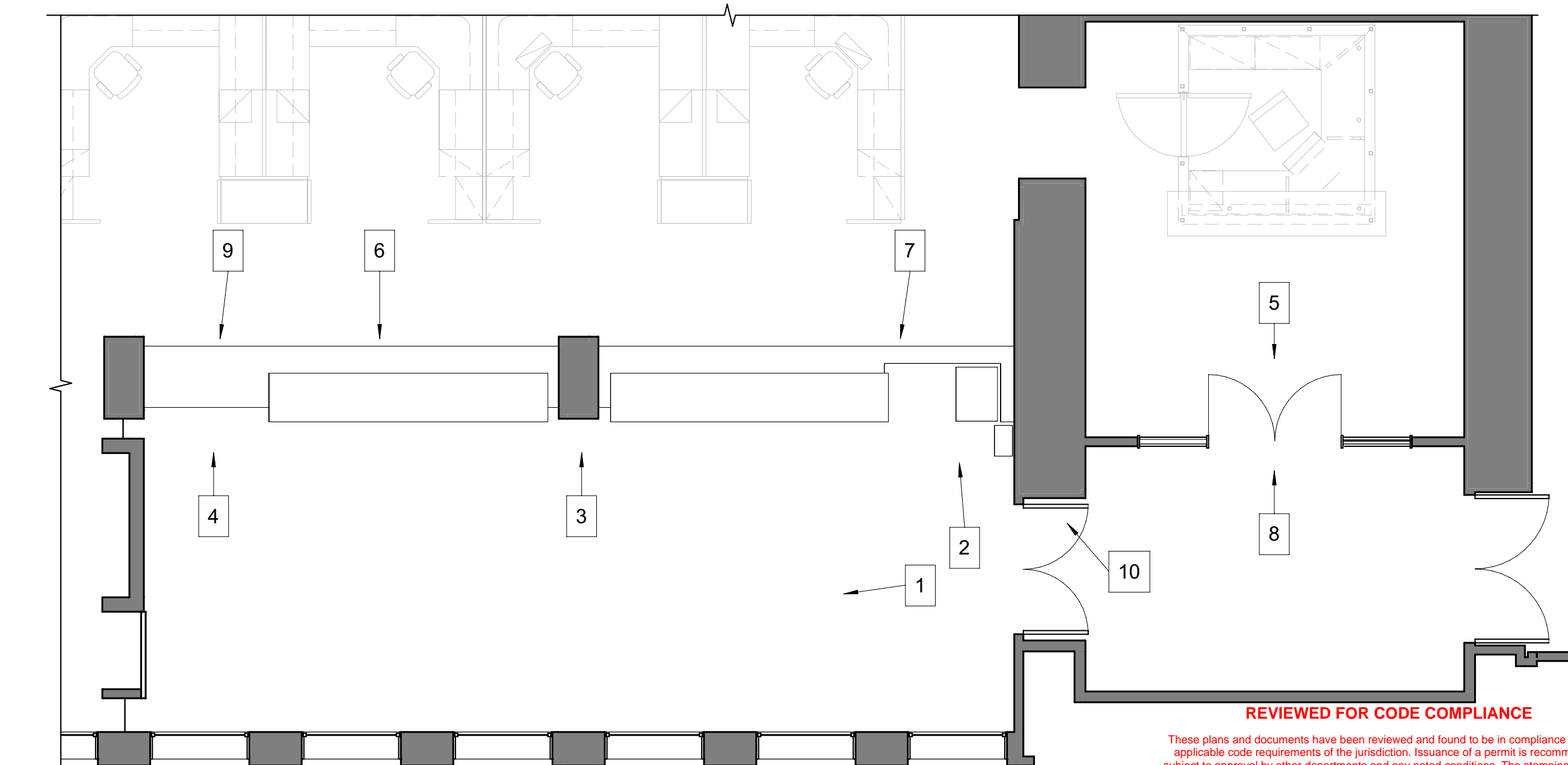
V2



8  
G1.02 RECEPTION DOORS | FRONT



5  
G1.02 RECEPTION DOORS | BACK



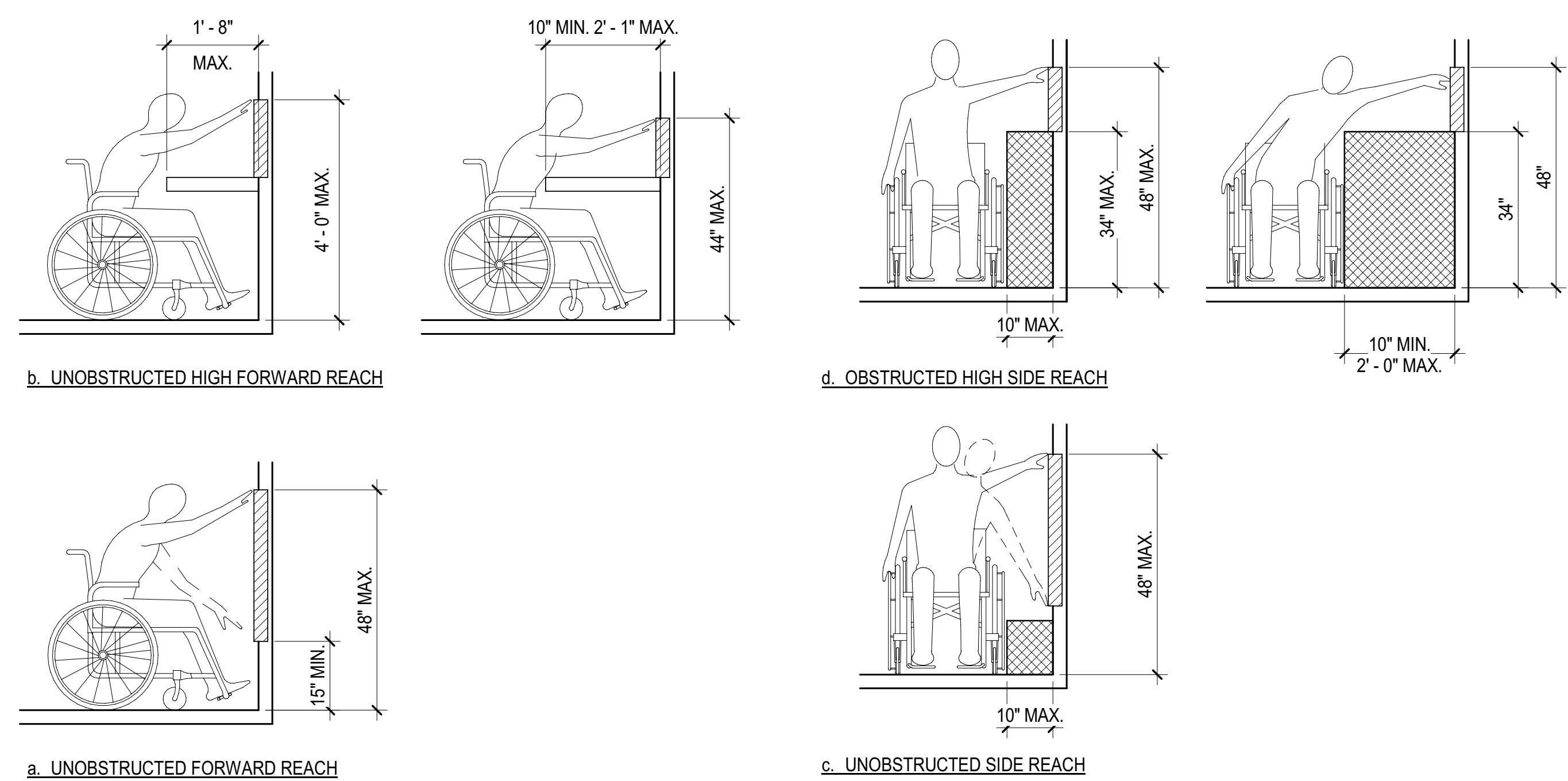
1  
G1.02 FIRST FLOOR PLAN  
 3/16" = 1'-0"

REVIEWED FOR CODE COMPLIANCE  
 These plans and documents have been reviewed and found to be in compliance with the applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.

BUREAU VERITAS NORTH AMERICA, INC.

SIGNATURE: BV

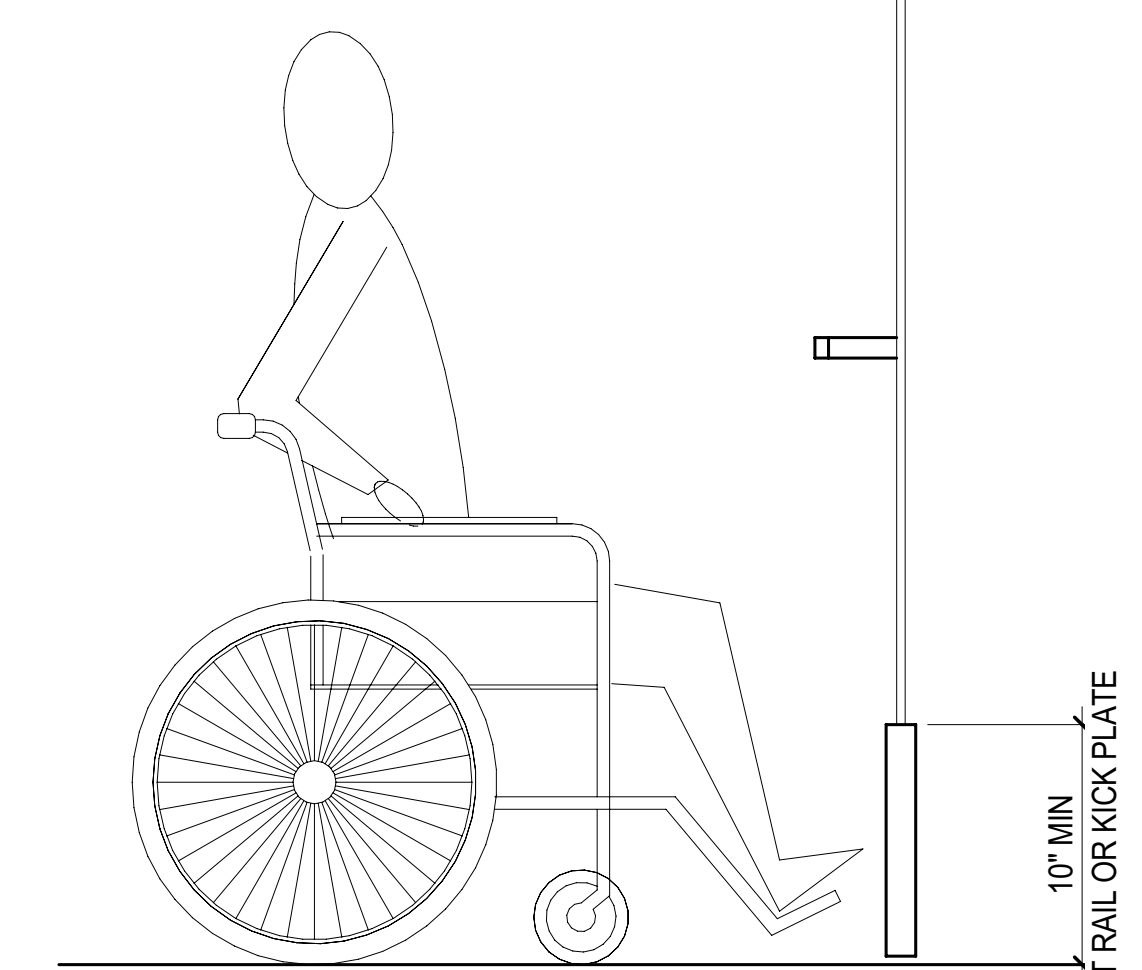
DATE: 6/24/2024



9 REACH RANGES  
 G2.00 1/2" = 1'-0"

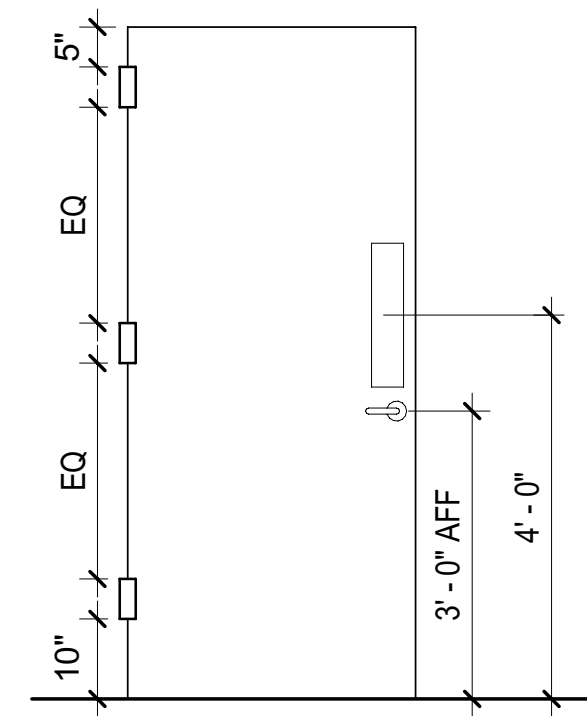
3 ACCESSIBLE KNEE/TOE CLEARANCE  
 G2.00 1/2" = 1'-0"

HARDWARE: OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. OPENABLE BY SINGLE EFFORT LEVER-TYPE DEVICE NOT REQUIRING GRASPING. MOUNTING HEIGHT 30"-44" A.F.F. MAXIMUM 5 LBS. EFFORT TO OPERATE EXTERIOR DOORS, 5 LBS. FOR INTERIOR DOORS.

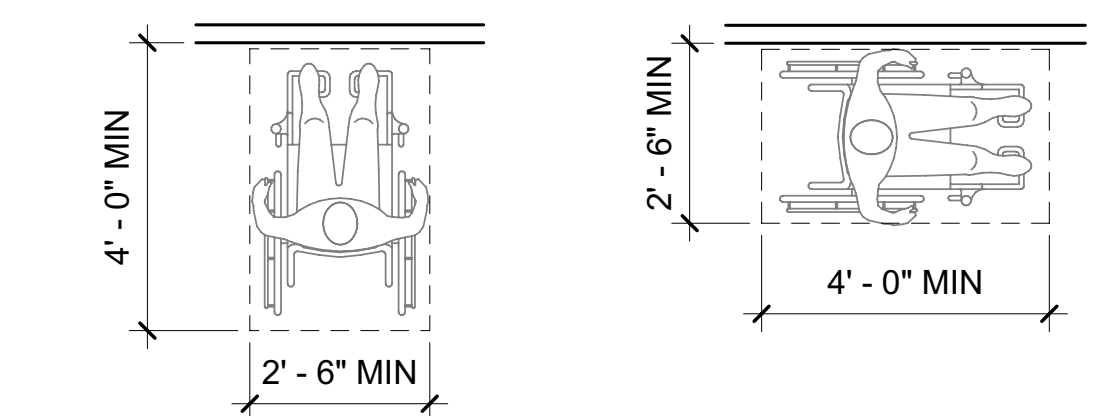
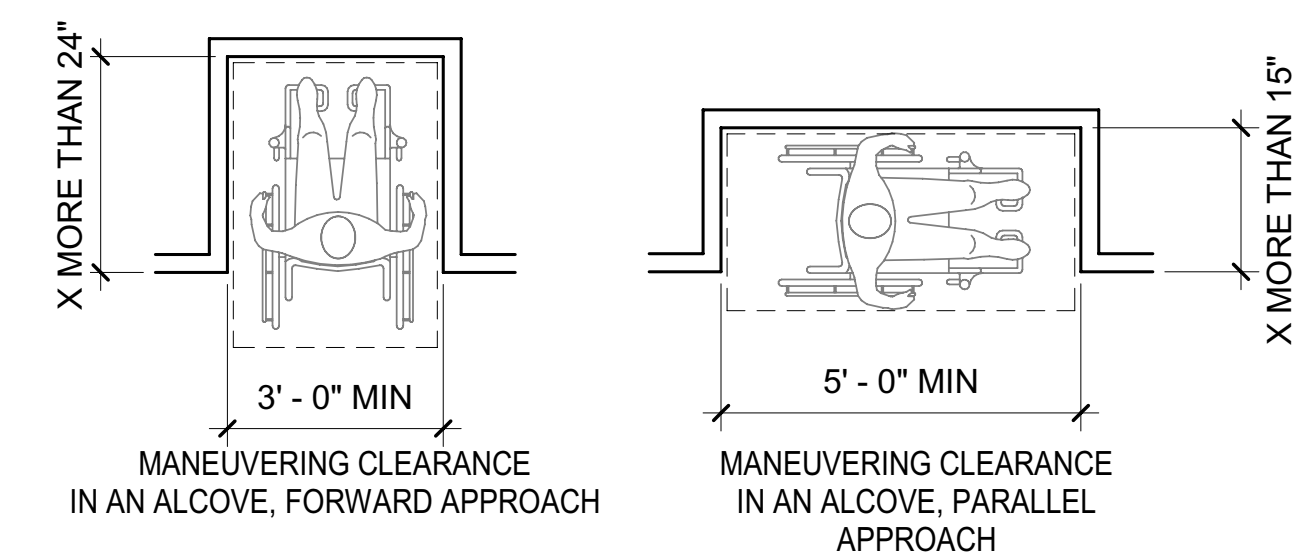


DOOR TYPE: MINIMUM 10" HEIGHT SMOOTH SURFACE AT DOOR BOTTOM. EITHER ATTACHED PANEL OF BOTTOM RAIL. EVERY DOORWAY WHICH IS LOCATED WITHIN AN ACCESSIBLE PATH OF TRAVEL SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 3' IN WIDTH AND NOT LESS THAN 6'-8" IN HEIGHT. WHEN INSTALLED EXIT DOORS SHALL BE CAPABLE OF OPENING SO THAT THE CLEAR WIDTH OF THE EXIT IS NOT LESS THAN 32", MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP. WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.

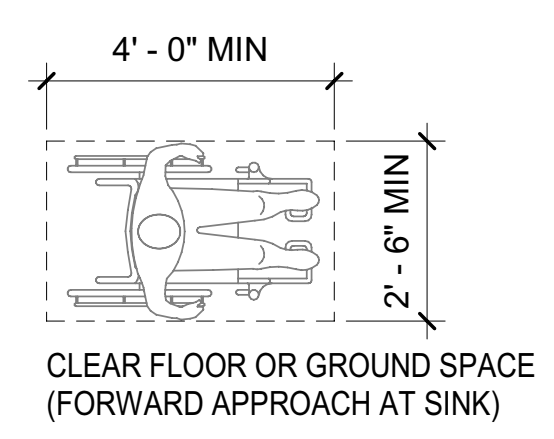
2 DOOR REQUIREMENTS  
 G2.00 1 1/2" = 1'-0"



- NOTES:
- HINGE LOCATIONS INDICATED ARE FOR DOORS SCHEDULED WITH THESE HINGES. LOCATE TOP AND BOTTOM HINGES AS SHOWN. WITH THE INTERMEDIATE HINGE EQUALLY SPACED BETWEEN THE TWO.
  - WHERE SCHEDULED, LOCATE PUSH PLATE AS INDICATED. WHERE DEADLOCKS WITH PUSH-PULL PLATES ARE SCHEDULED, MOUNT AT 48" AFF. TO CENTERLINE.
  - KICK, MOP AND ARMOR PLATES: 10" HIGH X DOOR WIDTH (NOMINAL), TYP. U.O.N. OR AS SCHEDULED. UNDERSIZE PLATE BY 1/4" OFF THE BOTTOM AND TWO SIDES OF THE DOOR OR AS REQ. FOR DOOR TO FUNCTION PROPERLY
  - ON SINGLE DOOR FRAMES, PLACE SILENCER OPP. HINGES.
  - FINISH FLOOR IS TOP SURFACE OF SCHEDULED FINISH FLOORING MATERIAL, TYP. U.O.N.



(a) FORWARD POSITION OF CLEAR FLOOR OR GROUND SPACE

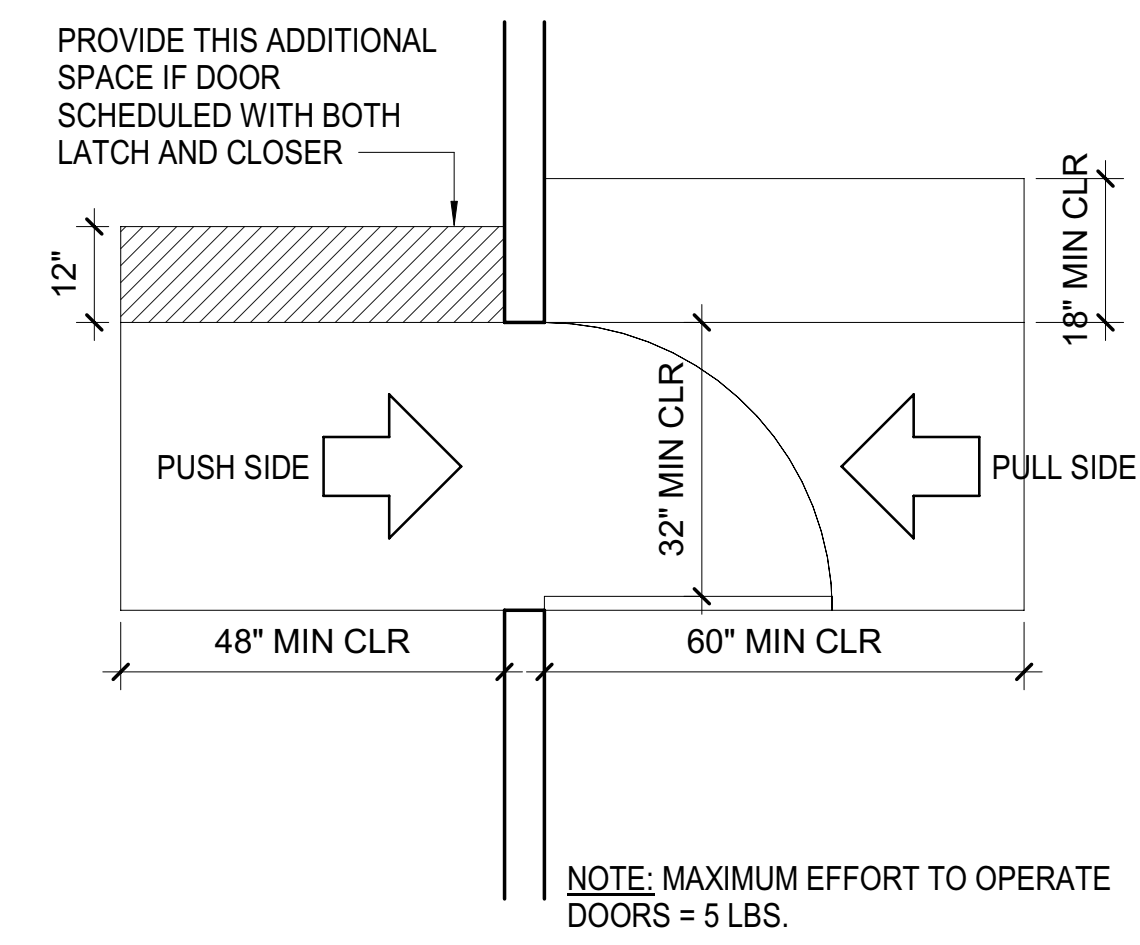


CLEAR FLOOR OR GROUND SPACE (FORWARD APPROACH AT SINK)

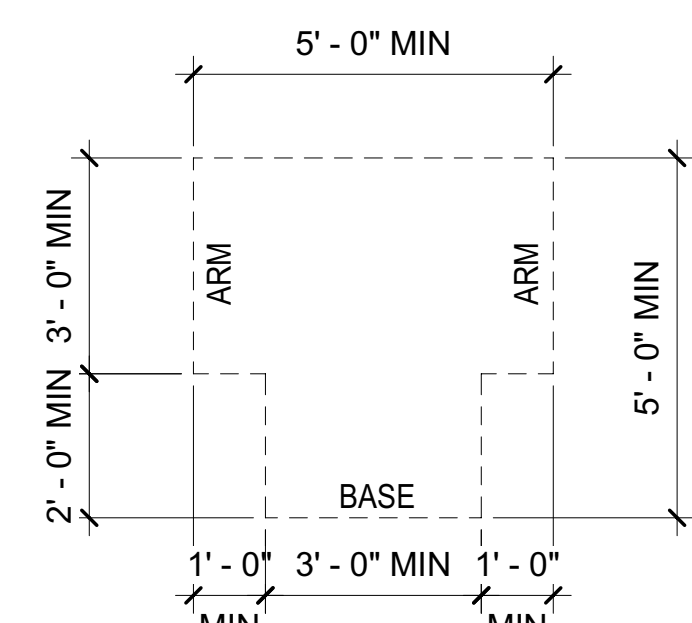
CLEAR FLOOR OR GROUND SPACE

REVIEWED FOR CODE COMPLIANCE  
 These plans and documents have been reviewed and found to be in compliance with the applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.

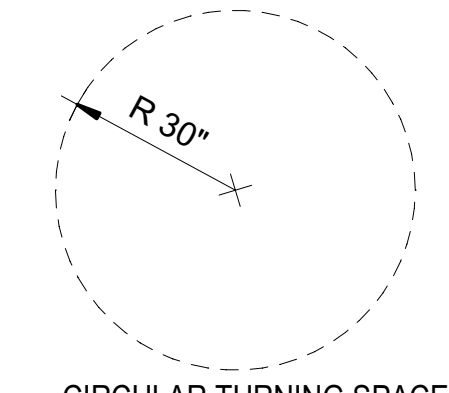
BUREAU VERITAS NORTH AMERICA, INC.  
 SIGNATURE: BV  
 DATE: 6/24/2024



10 LEVEL MANEUVERING CLEARANCE AT DOORS  
 G2.00 1/2" = 1'-0"



T-SHAPED TURNING SPACE



CIRCULAR TURNING SPACE

TURNING SPACE

3/8" = 1'-0"

7 CLEARANCE LIMITS\_WHEELCHAIR  
 G2.00 3/8" = 1'-0"



Pier 9, The Embarcadero Suite 107  
 San Francisco, California 94111  
 415.421.1680

NO.	DESCRIPTION	DATE
REVISIONS		

SAN FRANCISCO  
 FIRST DISTRICT  
 COURT OF APPEAL

CLERK'S OFFICE IMPROVEMENTS

350 McALLISTER ST  
 SAN FRANCISCO, CA 94102

SHEET TITLE  
 ACCESSIBILITY  
 REQUIREMENTS

ISSUANCE  
 SFM RESUBMISSION

5/22/2024

PROJ. NO.  
 180218.08

DRAWN  
 JG/KF

CHECKED  
 AV

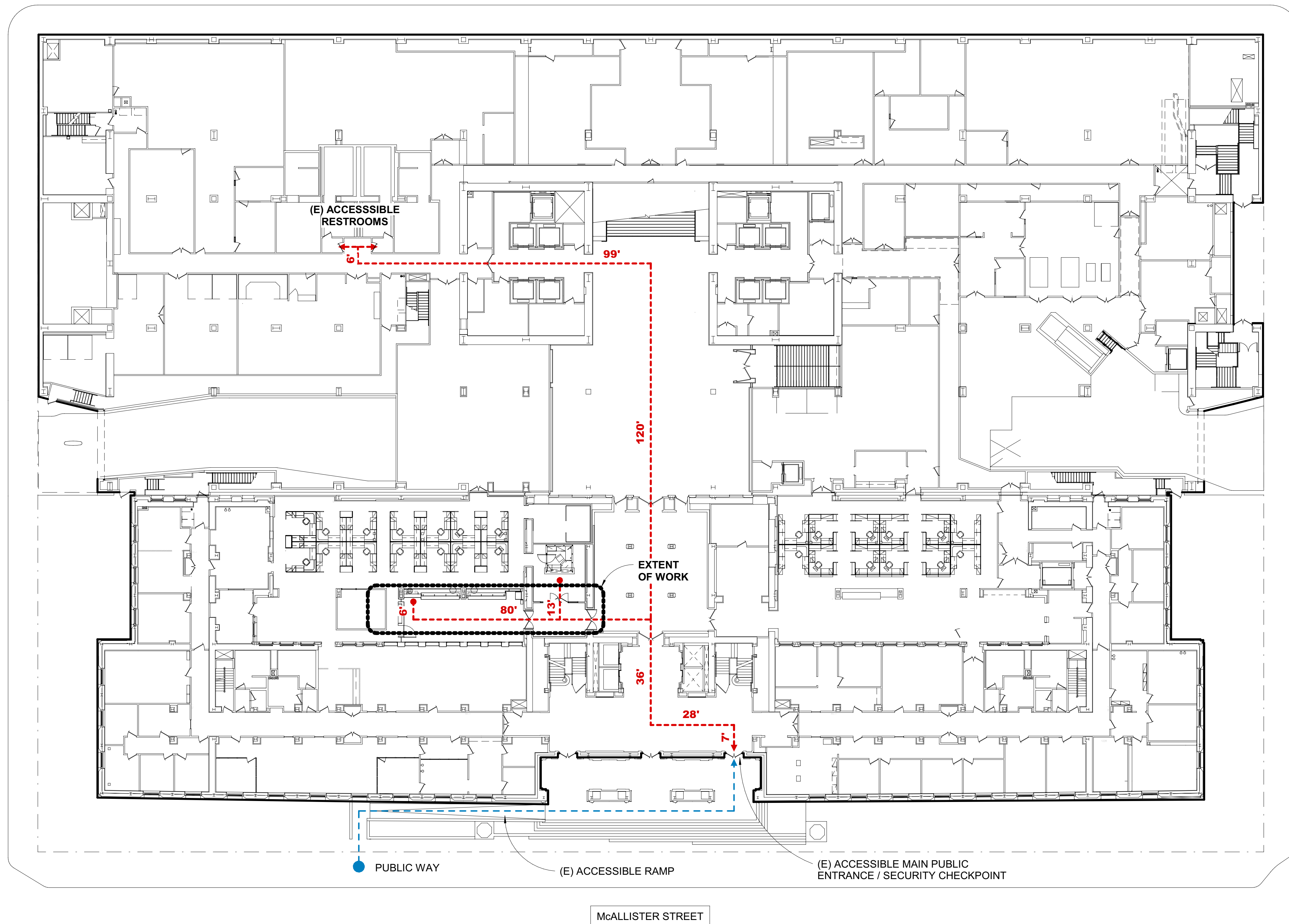


DRAWING NO.

G2.00 V2

1 DOOR HARDWARE LOCATIONS  
 G2.00 1/2" = 1'-0"

GOLDEN GATE AVENUE



**Architectural Resources Group**  
 Pier 9, The Embarcadero Suite 107  
 San Francisco, California 94111  
 415.421.1680

NO.	DESCRIPTION	DATE
REVISIONS		

**SAN FRANCISCO  
 FIRST DISTRICT  
 COURT OF APPEAL**

CLERK'S OFFICE IMPROVEMENTS  
 350 McALLISTER ST  
 SAN FRANCISCO, CA 94102

**LIFE SAFETY &  
 ACCESSIBILITY PLAN**

ISSUANCE  
 SFM RESUBMISSION  
**5/22/2024**

PROJ. NO.  
 180218.08  
 DRAWN  
 JG/KF  
 CHECKED  
 AV  
 stamped 05-22-24

DRAWING NO.  
**G3.00** V2

**1 LIFE SAFETY AND ACCESSIBILITY PLAN**  
 1" = 20'-0"

**GENERAL BUILDING NOTES**

- BUILDING DOES NOT HAVE PUBLIC PARKING

**LIFE SAFETY NOTES**

- "B" AND "A-3" OCCUPANCIES ARE EXISTING TO REMAIN AND ARE FIGURED AS "NONSEPARATED" PER CBC 508.3.

**EGRESS NOTES**

- OCCUPANCY LOAD FACTOR FOR BUSINESS AREAS (OFFICE) IS 150SF GROSS PER CBC TABLE 1004.5.
- PER CBC TABLE 1006.2.1, "B" OCCUPANCY SPACES WITH AN OCCUPANT LOAD OF NO GREATER THAN 49 PERSONS MAY HAVE ONE EXIT ACCESS. **LAYOUT SHOWN COMPLIES.**
- PER CBC TABLE 1017.2, MAXIMUM EXIT ACCESS TRAVEL DISTANCE FOR "B" OCCUPANCY IN A FULLY SPRINKLERED BUILDING IS 300'. **LAYOUT SHOWN COMPLIES.**
- PER CBC TABLE 1006.2.1, MAXIMUM COMMON PATH OF EGRESS TRAVEL FOR "B" OCCUPANCY IN A FULLY SPRINKLERED BUILDING IS 100'. **LAYOUT SHOWN COMPLIES.**

**FIRE SAFETY PLAN NOTES**

- OWNER'S RESPONSIBILITY FOR FIRE PROTECTION INCLUDES SITE SAFETY PLAN AS DESCRIBED IN 2022 CA FIRE CODE:  
  
**3303.1 PROGRAM DEVELOPMENT AND MAINTENANCE.** THE OWNER OR OWNER'S AUTHORIZED AGENT SHALL BE RESPONSIBLE FOR THE DEVELOPMENT, IMPLEMENTATION AND MAINTENANCE OF AN APPROVED, WRITTEN SITE SAFETY PLAN ESTABLISHING A FIRE PREVENTION PROGRAM AT THE PROJECT SITE APPLICABLE THROUGH ALL PHASES OF CONSTRUCTION, REPAIR, ALTERATION OR DEMOLITION WORK. THE PLAN SHALL ADDRESS THE REQUIREMENTS OF THIS CHAPTER AND OTHER APPLICABLE PORTIONS OF THIS CODE, THE DUTIES OF STAFF AND STAFF TRAINING REQUIREMENTS. THE PLAN SHALL BE SUBMITTED AND APPROVED BEFORE A BUILDING PERMIT IS ISSUED. ANY CHANGED TO THE PLAN SHALL BE SUBMITTED FOR APPROVAL.  
  
**3303.1.1 COMPONENTS OF SITE SAFETY PLANS.** SITE SAFETY PLANS SHALL INCLUDE THE FOLLOWING AS APPLICABLE:

- NAME AND CONTACT INFORMATION OF SITE SAFETY DIRECTOR.
- DOCUMENTATION OF THE TRAINING OF THE SITE SAFETY DIRECTOR AND FIRE WATCH PERSONNEL.
- PROCEDURES FOR REPORTING EMERGENCIES.
- FIRE DEPARTMENT VEHICLE ACCESS ROUTES.
- LOCATION OF FIRE PROTECTION EQUIPMENT, INCLUDING PORTABLE FIRE EXTINGUISHERS, STANDPIPES, FIRE DEPARTMENT CONNECTIONS, AND FIRE HYDRANTS.
- SMOKING AND COOKING POLICIES, DESIGNATED AREAS TO BE USED WHERE APPROVED, AND SIGNAGE LOCATIONS IN ACCORDANCE WITH SECTION 3305.8.
- LOCATION AND SAFETY CONSIDERATIONS FOR TEMPORARY HEATING EQUIPMENT.
- HOT WORK PERMIT PLAN.
- PLANS FOR CONTROL OF COMBUSTIBLE WASTE MATERIAL.
- LOCATIONS AND METHODS FOR STORAGE AND USE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS AND OTHER HAZARDOUS MATERIALS.
- PROVISIONS FOR SITE SECURITY.
- CHANGES THAT AFFECT THIS PLAN.
- OTHER SITE-SPECIFIC INFORMATION REQUIRED BY THE FIRE CODE OFFICIAL.

**LIFE SAFETY PLAN LEGEND**

- - - - (E) INTERIOR ACCESSIBLE EGRESS ROUTE SERVING SCOPE AREA
- - - - (E) EXTERIOR ACCESSIBLE ROUTE

**REVIEWED FOR CODE COMPLIANCE**  
 These plans and documents have been reviewed and found to be in compliance with the applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.

**BUREAU VERITAS NORTH AMERICA, INC.**  
 SIGNATURE: BV  
 DATE: 6/24/2024

**DEMO GENERAL NOTES**

1. CONTRACTOR SHALL ENCLOSE THE WORK AREA TO ALLOW FOR CONTINUED USE OF LOBBY AND ADJACENT COURT FUNCTIONS TO THE GREATEST PRACTICABLE DEGREE, INCLUDING BUT NOT LIMITED TO PROVISIONS FOR:
  - A. NOISE DURING COURT WORK HOURS
  - B. DUST AND OTHER PARTICULATE MATTER
  - C. REMOVAL OF DEMOLISHED MATERIAL FROM THE SITE
  - D. COURT SECURITY PROCEDURES
  - E. SEE ALSO REQUIREMENTS IN PROJECT SPECIFICATIONS
2. COURT IS RESPONSIBLE FOR REMOVING ALL LOOSE EQUIPMENT AND OTHER ITEMS FROM THE PUBLIC SERVICE COUNTER PRIOR TO START OF WORK.
3. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING MATERIALS AND COMPONENTS TO REMAIN. IN THE EVENT OF DAMAGE, AFFECTED ITEMS SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY CONTRACTOR AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE ARCHITECT AND COURT.
4. SUBMIT PROTECTION METHODS AND PROCEDURES FOR REVIEW PRIOR TO COMMENCEMENT OF WORK AS REQUIRED IN SPECIFICATIONS. PROTECTION SHOULD BE COMPLETE PRIOR TO COMMENCEMENT OF DEMOLITION OR NEW CONSTRUCTION.
5. PROTECTION SHALL REMAIN IN PLACE FOR THE PROJECT DURATION UNLESS DIRECTED OTHERWISE BY THE COURT OR CONSTRUCTION MANAGER.
6. SECURE PROTECTION TO MAINTAIN A SAFE ENVIRONMENT FOR WORKERS AND THE PUBLIC THROUGHOUT THE PROJECT DURATION.
7. CONTRACTOR TO PROTECT (E) FINISH FLOORING; DAMAGE TO (E) FLOORING TO BE REMEDIATED BY CONTRACTOR TO THE SATISFACTION OF THE COURT.

OFFICE OF THE STATE FIRE MARSHAL  
 APPROVED FIRE AND PANIC ONLY



Approval of this plan does not authorize or approve any omission or deviation from applicable regulations. Final approval is subject to field inspection. One set of approved plans shall be available on the project site at all times.



Architectural Resources Group

Pier 9, The Embarcadero Suite 107  
 San Francisco, California 94111  
 415.421.1680

NO.	DESCRIPTION	DATE
REVISIONS		

**SAN FRANCISCO  
 FIRST DISTRICT  
 COURT OF APPEAL**

CLERK'S OFFICE IMPROVEMENTS

350 McALLISTER ST  
 SAN FRANCISCO, CA 94102

SHEET TITLE

**DEMO PLAN**

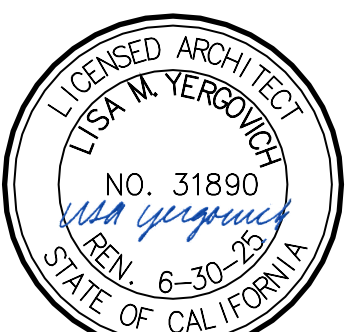
ISSUANCE  
 SFM RESUBMISSION

**5/22/2024**

PROJ. NO.  
 180218.08

DRAWN  
 JG/KF

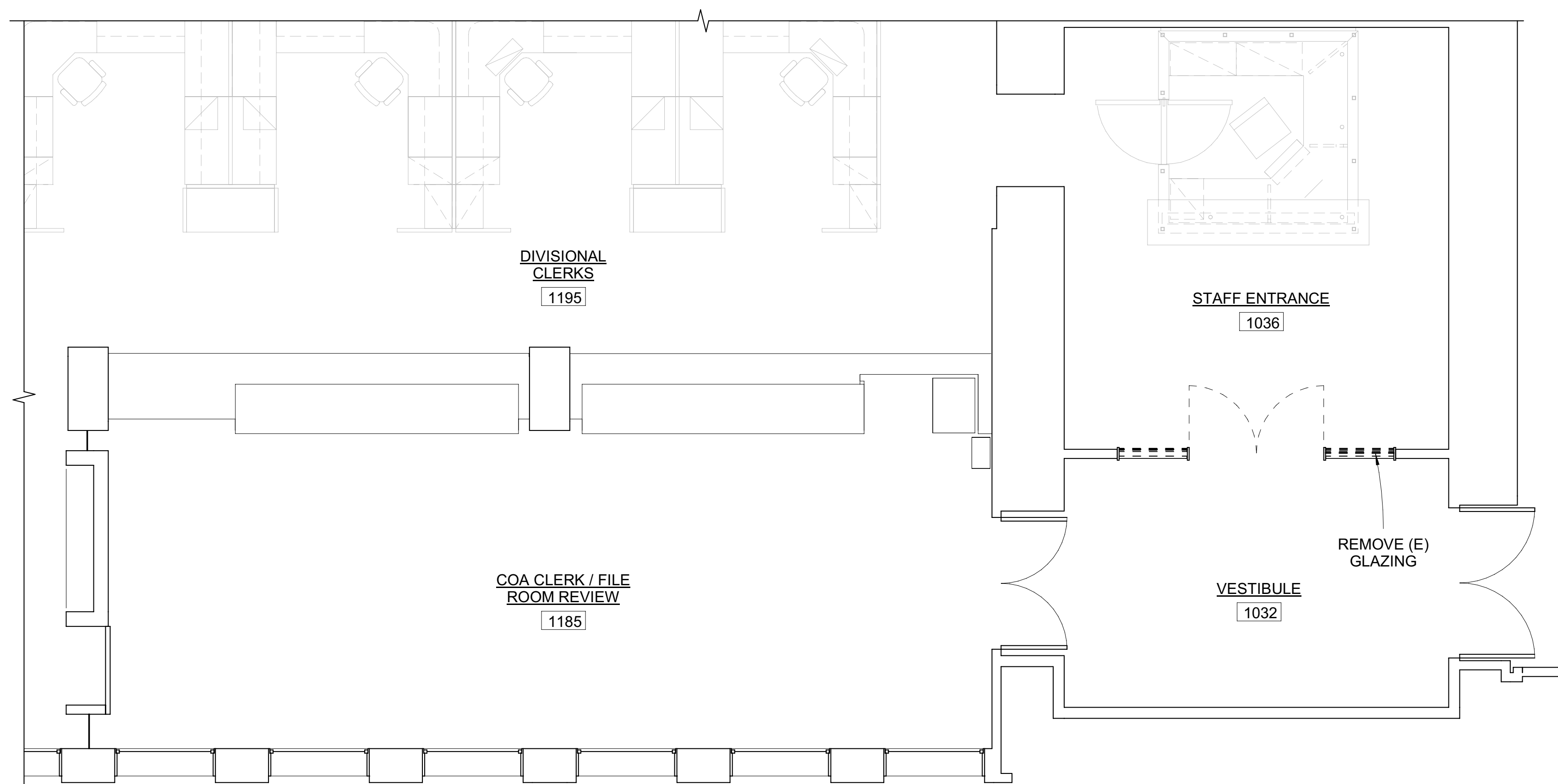
CHECKED  
 AV



stamped 05-22-24

DRAWING NO.

**AD1.01** v2



**REVIEWED FOR CODE COMPLIANCE**  
 These plans and documents have been reviewed and found to be in compliance with the applicable code requirements of the jurisdiction. Issuance of a permit is recommended, subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.

**BUREAU VERITAS NORTH AMERICA, INC.**

SIGNATURE: BV

DATE: 6/24/2024

**DEMO PLAN LEGEND**

- (E) TO REMAIN
- REMOVE PORTION OF (E) WALL. COORDINATE DEMOLITION WITH SCOPE OF NEW WORK, AS DEFINED IN DOCUMENTS, DOOR SCHEDULE, ETC.
- SALVAGE (E) DOOR, FRAME, AND HARDWARE. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.



FLOOR PLAN GENERAL NOTES

- SEE GENERAL PROJECT NOTES ON T1.10.
- PATCH WALL AND CEILING SURFACES OPENED FOR INSTALLATION OF STRUCTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL WORK. REPAIR AND REINSTALL WOOD BASE AND TRIM REMOVED FOR CONSTRUCTION.
- PATCH FLOORS AND WALL AND CEILING SURFACES AND INFILL WOOD TRIM WHERE WALLS REMOVED OR MODIFIED TO PROVIDE CONTINUOUS SURFACE.
- NEW OPENINGS TO BE CASED IN TRIM TO MATCH ADJACENT.
- COURT IS RESPONSIBLE FOR 1) REMOVING ALL LOOSE EQUIPMENT AND OTHER ITEMS FROM THE PUBLIC SERVICE COUNTER PRIOR TO START OF WORK, AND 2) REINSTATING AND SETTING UP LOOSE EQUIPMENT AT SUBSTANTIAL COMPLETION OF WORK.
- CONTRACTOR TO PROTECT (E) FINISH FLOORING; DAMAGE TO (E) FLOORING TO BE REMEDIATED BY CONTRACTOR TO THE SATISFACTION OF THE COURT.

OFFICE OF THE STATE FIRE MARSHAL  
 APPROVED FIRE AND PANIC ONLY



Approval of this plan does not authorize or approve any omission or deviation from applicable regulations. Final approval is subject to field inspection. One set of approved plans shall be available on the project site at all times.



Pier 9, The Embarcadero Suite 107  
 San Francisco, California 94111  
 415.421.1680

NO.	DESCRIPTION	DATE
REVISIONS		

SAN FRANCISCO  
 FIRST DISTRICT  
 COURT OF APPEAL

CLERK'S OFFICE IMPROVEMENTS

350 McALLISTER ST  
 SAN FRANCISCO, CA 94102

SHEET TITLE

FLOOR PLAN & RCP

ISSUANCE  
 SFM RESUBMISSION

5/22/2024

PROJ. NO.  
 180218.08

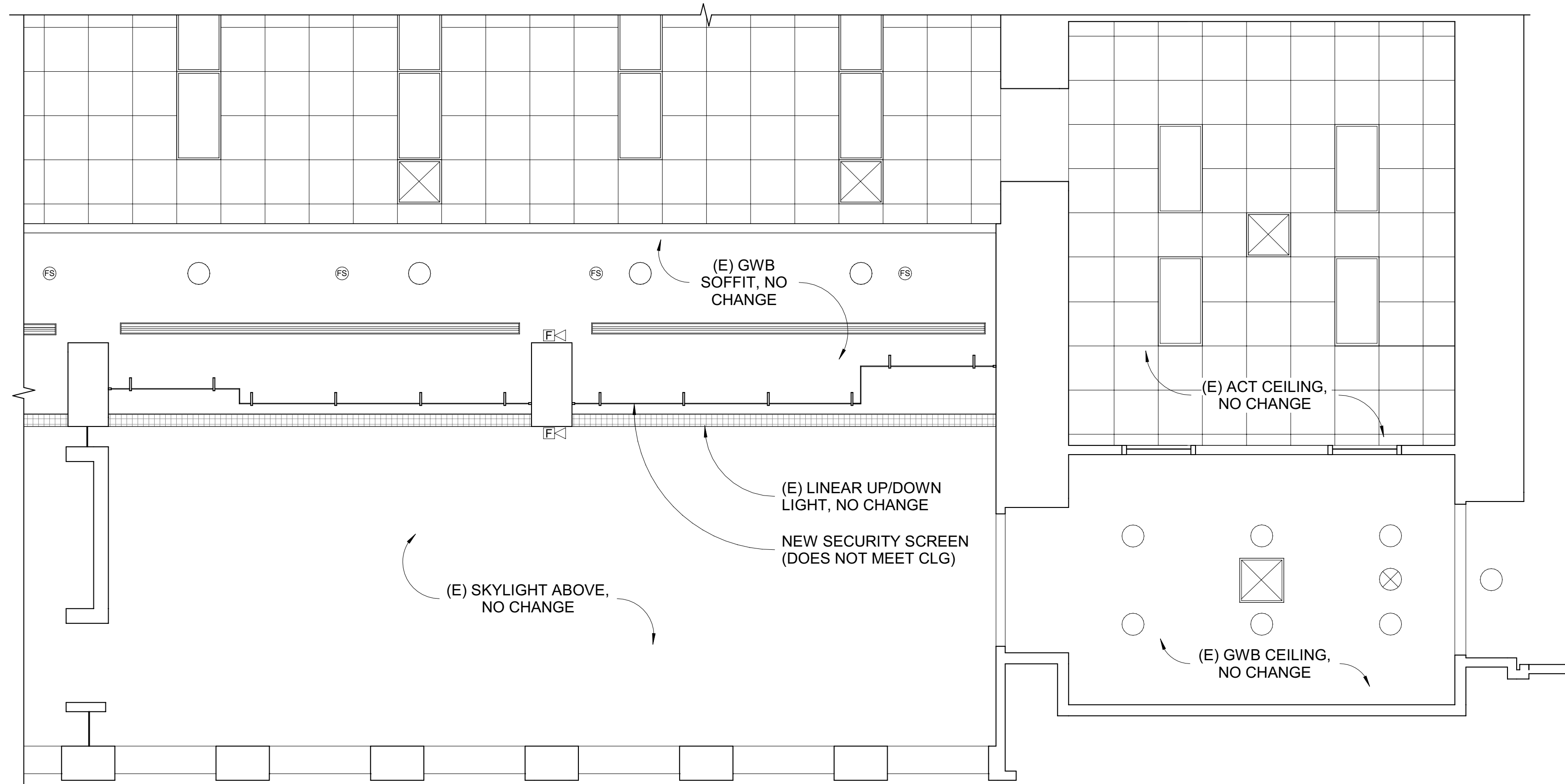
DRAWN  
 JG/KF

CHECKED  
 AV

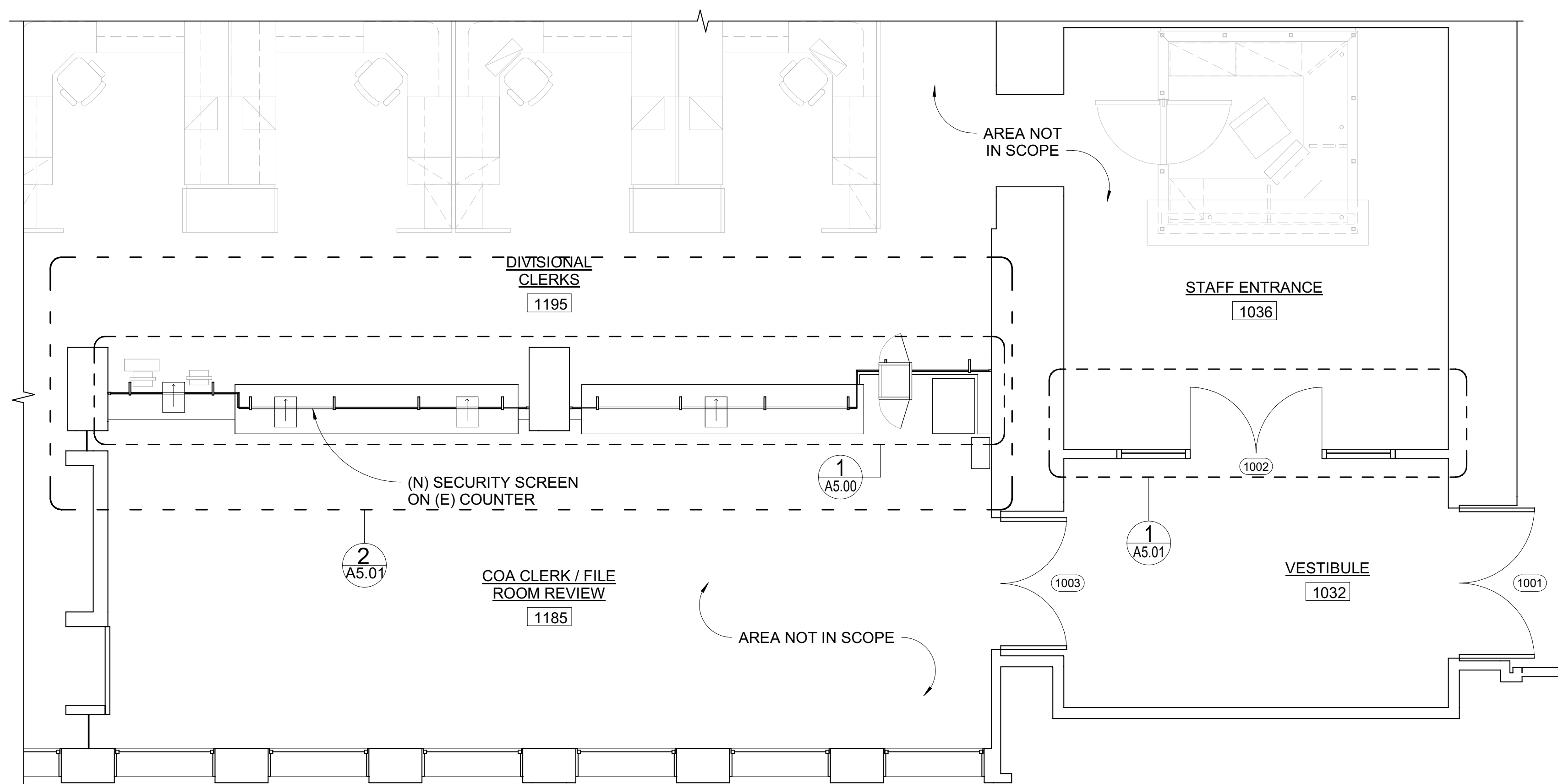


DRAWING NO.

A1.01 V2



2 REFLECTED CEILING PLAN  
 A1.01 1/4" = 1'-0"



1 FLOOR PLAN  
 A1.01 1/4" = 1'-0"

RCP LEGEND

- SWITCH
- DUPLEX - WALL MOUNT
- SURFACE MOUNT / PENDANT
- AIR EXHAUST
- LINEAR DIFFUSER
- 2x4 LIGHT FIXTURE
- DOWNLIGHT
- EXIT SIGN
- EXIT SIGN W/ DIRECTIONAL ARROW
- FIRE ALARM HORN / VISUAL STROBE
- SMOKE DETECTOR
- FIRE SPRINKLER

FLOOR PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- DOOR NUMBER

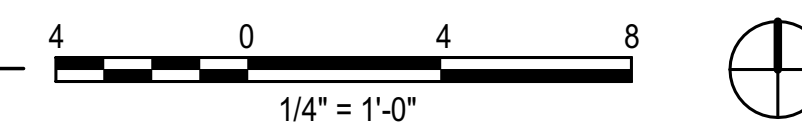
REVIEWED FOR CODE COMPLIANCE

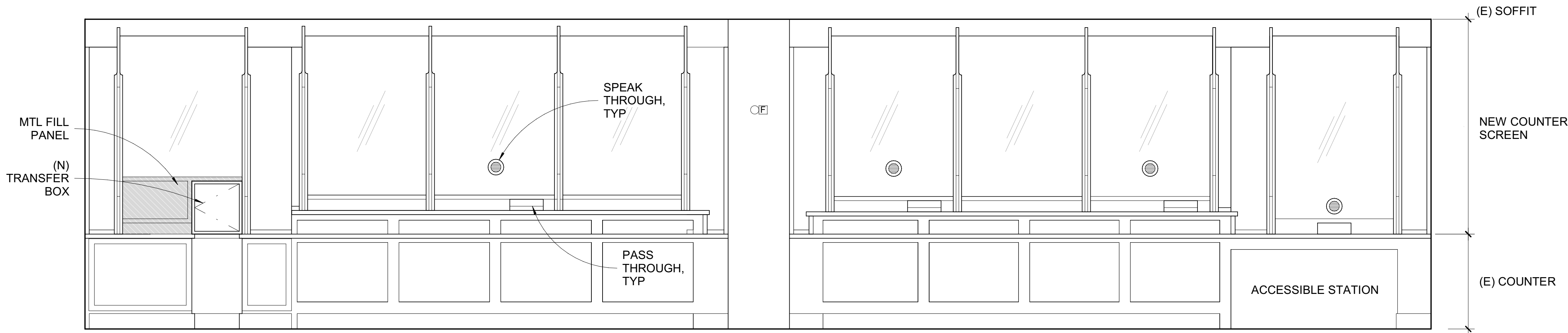
These plans and documents have been reviewed and found to be in compliance with the applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.

BUREAU VERITAS NORTH AMERICA, INC.

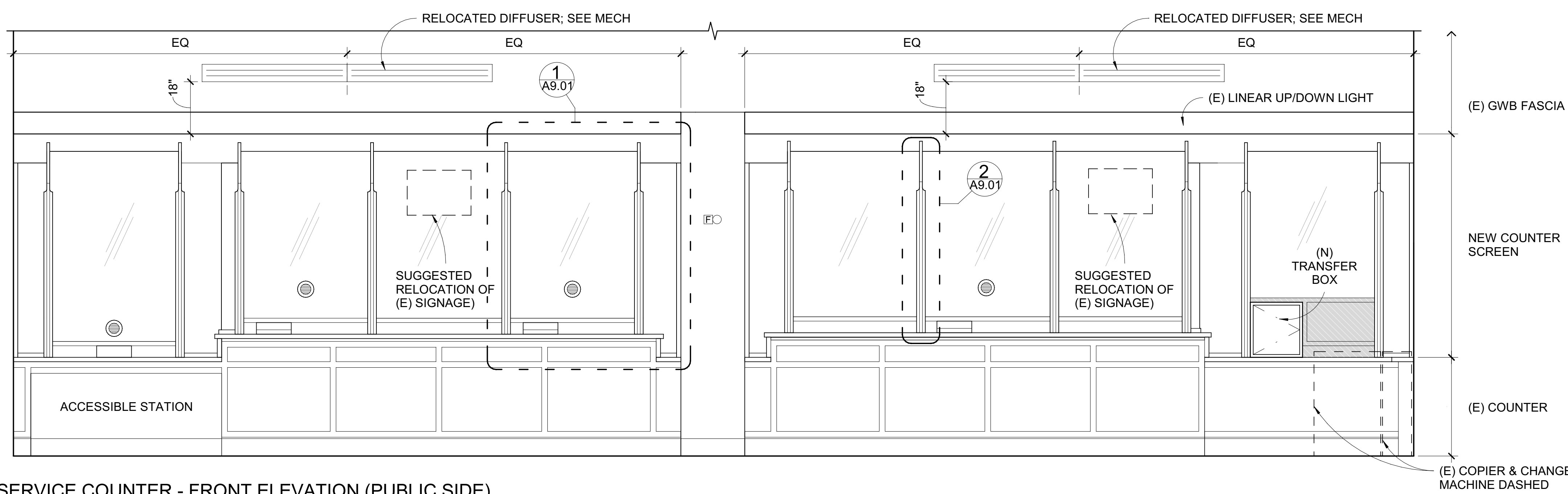
SIGNATURE: BV

DATE: 6/24/2024

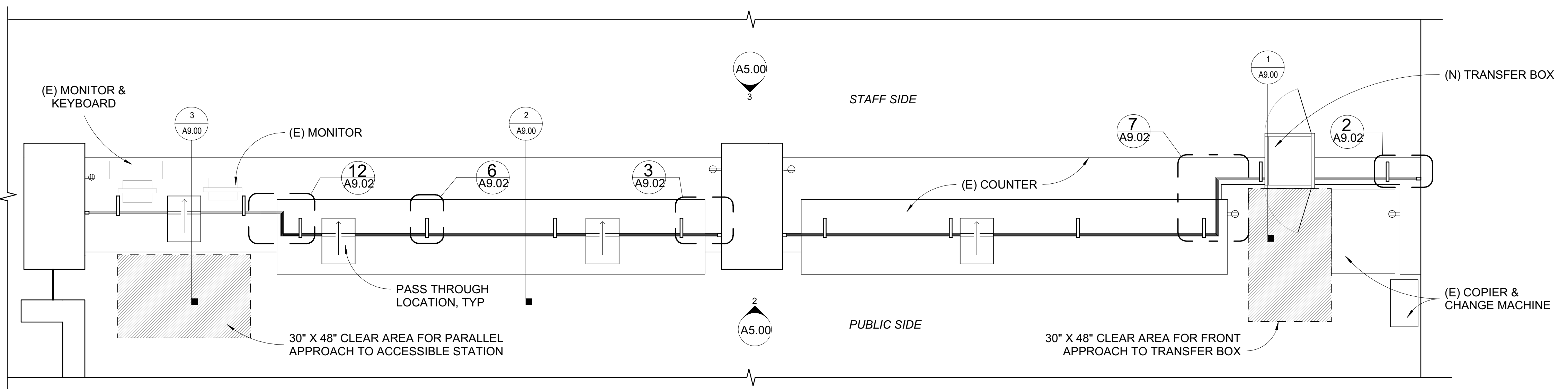




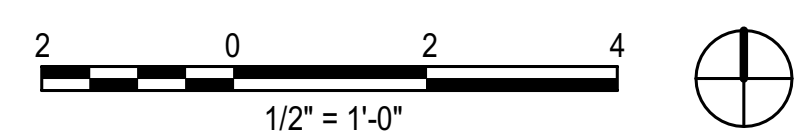
**3 SERVICE COUNTER - REAR ELEVATION (STAFF SIDE)**  
 A5.00 1/2" = 1'-0"



**2 SERVICE COUNTER - FRONT ELEVATION (PUBLIC SIDE)**  
 A5.00 1/2" = 1'-0"



**1 SERVICE COUNTER - ENLARGED PLAN**  
 A5.00 1/2" = 1'-0"



**INTERIOR ELEVATION AND ENLARGED PLAN  
 GENERAL NOTES**

1. REFER TO ACCESSIBILITY DETAILS SHEET FOR TYP MOUNTING HEIGHTS, DIMENSIONS, ABBREVIATIONS AND WALL TYPES.
2. DIMENSIONS ARE FROM FINISH FLOOR UON.
3. PROVIDE BLOCKING FOR ALL HANDRAILS AND SURFACE-MOUNTED ACCESSORIES.
4. ELECTRICAL SHOWN FOR REFERENCE ONLY; NOT IN SCOPE.

**GRAPHICS NOTES**

1. SALVAGE (E) SIGNAGE FOR POTENTIAL FUTURE REUSE
2. CONTRACTOR SHALL WORK WITH COURT TO RELOCATE OR PROVIDE (N) SIGNAGE.
3. TYPEFACE, SIZE AND DESIGN OF (N) SIGNAGE PER COURT'S DIRECTION OR, IF DIRECTED BY THE COURT, CONSULT W/ ARCHITECT. (N) SIGNAGE SHALL MATCH (E) SIGNAGE MATERIAL.
4. SIGNAGE IS TO MEET ALL APPLICABLE ACCESSIBILITY REQUIREMENTS.



Pier 9, The Embarcadero Suite 107  
 San Francisco, California 94111  
 415.421.1680

NO.	DESCRIPTION	DATE
REVISIONS		

**SAN FRANCISCO  
 FIRST DISTRICT  
 COURT OF APPEAL**

CLERK'S OFFICE IMPROVEMENTS

350 McALLISTER ST  
 SAN FRANCISCO, CA 94102

**SHEET TITLE  
 COUNTER PLAN &  
 ELEVATIONS**

ISSUANCE  
 SFM RESUBMISSION

**5/22/2024**

PROJ. NO.  
 180218.08

DRAWN  
 JG/KF

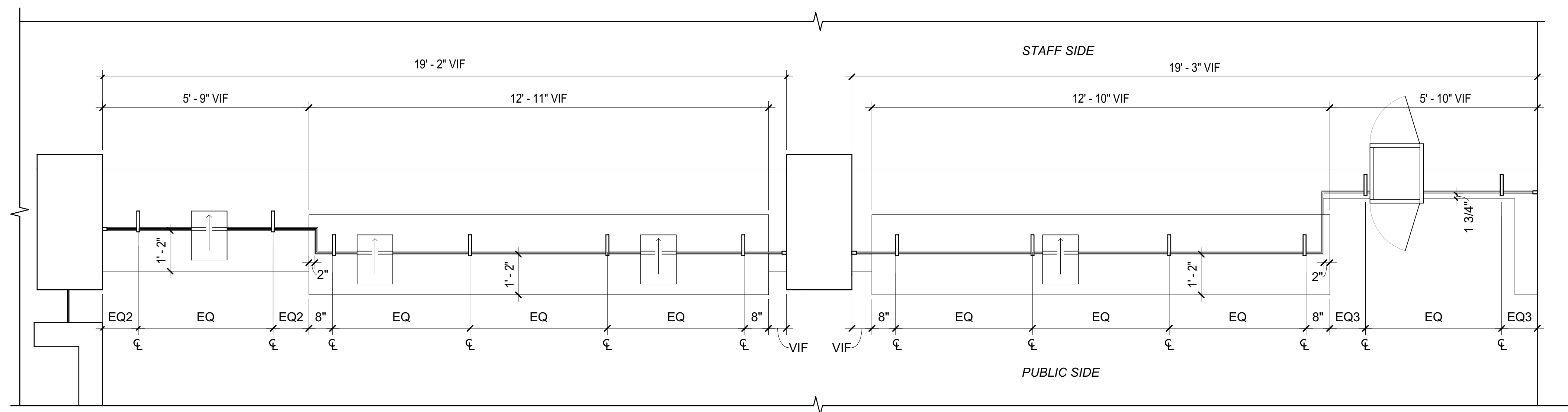
CHECKED  
 AV

DRAWING NO.

**A5.00**



**REVIEWED FOR CODE COMPLIANCE**  
 These plans and documents have been reviewed and found to be in compliance with the applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.  
**BUREAU VERITAS NORTH AMERICA, INC.**  
 SIGNATURE: BV  
 DATE: 6/24/2024



2 SERVICE COUNTER - DIMENSION PLAN  
 A5.01 1/2" = 1'-0"

OFFICE OF THE STATE FIRE MARSHAL  
 APPROVED FIRE AND PANIC ONLY  
 06/12/24  
 23-8387  
 CALIFORNIA DEPARTMENT OF FORESTRY & FIRE PROTECTION  
 FIRE SINCE 1850  
 Approval of this plan does not authorize or approve any omission or deviation from applicable regulations. Final approval is subject to field inspection. One set of approved plans shall be available on the project site at all times.

Architectural Resources Group  
 Pier 9, The Embarcadero Suite 107  
 San Francisco, California 94111  
 415.421.1680

NO.	DESCRIPTION	DATE
REVISIONS		

SAN FRANCISCO  
 FIRST DISTRICT  
 COURT OF APPEAL

CLERK'S OFFICE IMPROVEMENTS  
 350 McALLISTER ST  
 SAN FRANCISCO, CA 94102

SHEET TITLE  
 COUNTER  
 DIMENSION PLAN &  
 VISUALIZATION

ISSUANCE  
 SFM RESUBMISSION  
 5/22/2024

PROJ. NO.  
 180218.08  
 DRAWN  
 JG/KF  
 CHECKED  
 AV  
 LICENSED ARCHITECT  
 LISA M. YERGEN  
 NO. 31890  
 6-30-23  
 STATE OF CALIFORNIA  
 stamped 05-22-24



REVIEWED FOR CODE COMPLIANCE  
 These plans and documents have been reviewed and found to be in compliance with the applicable code requirements of the jurisdiction. Issuance of a permit is recommended, subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.  
 BUREAU VERITAS NORTH AMERICA, INC.  
 SIGNATURE: BV  
 DATE: 6/24/2024

1 COUNTER - VISUALIZATION  
 A5.01

FOR GENERAL REFERENCE ONLY

DRAWING NO.  
**A5.01** V2

Door Schedule

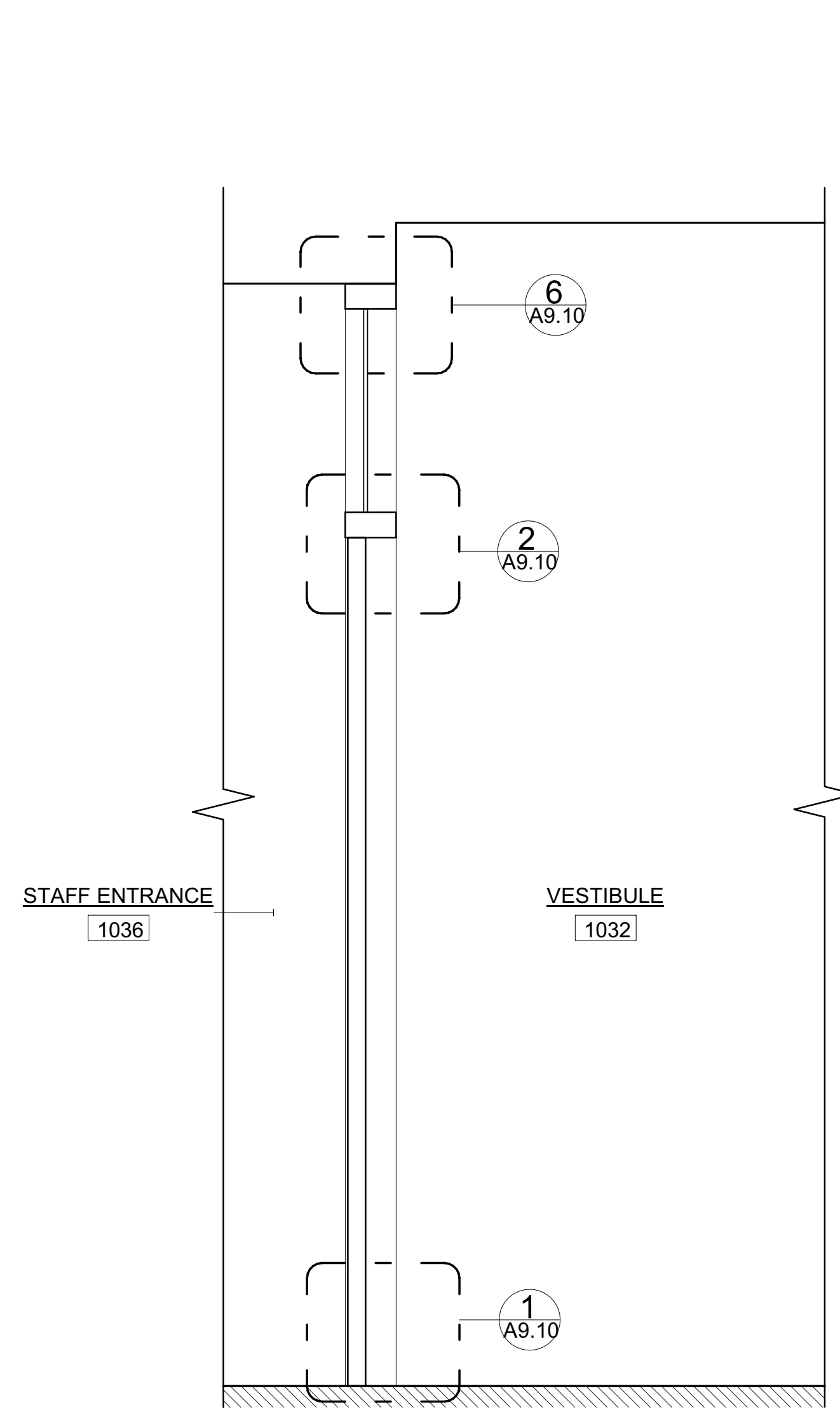
Number	Room	Scope	Action	Width	Height	Thickness	Bottom Rail	Material	Finish	Glazing	Hardware	Key Card	Notes
1001	Vestibule	(E) to remain, no work	Double	2x 3'-0"	7'-0"	1 3/4"	10"	WD	CLR	Y	(E)	-	(E) to remain, no work
1002	Staff Entrance	(E) to be adjusted	Double	2x 3'-0"	7'-0"	1 3/4"	10"	WD	CLR	Y	see A5.10/3	Y	see A5.10 & A9.10 for scope
1003	COA Clerk/File Room	(E) to remain, no work	Double	2x 3'-0"	7'-0"	1 3/4"	10"	WD	CLR	Y	(E)	-	(E) to remain, no work



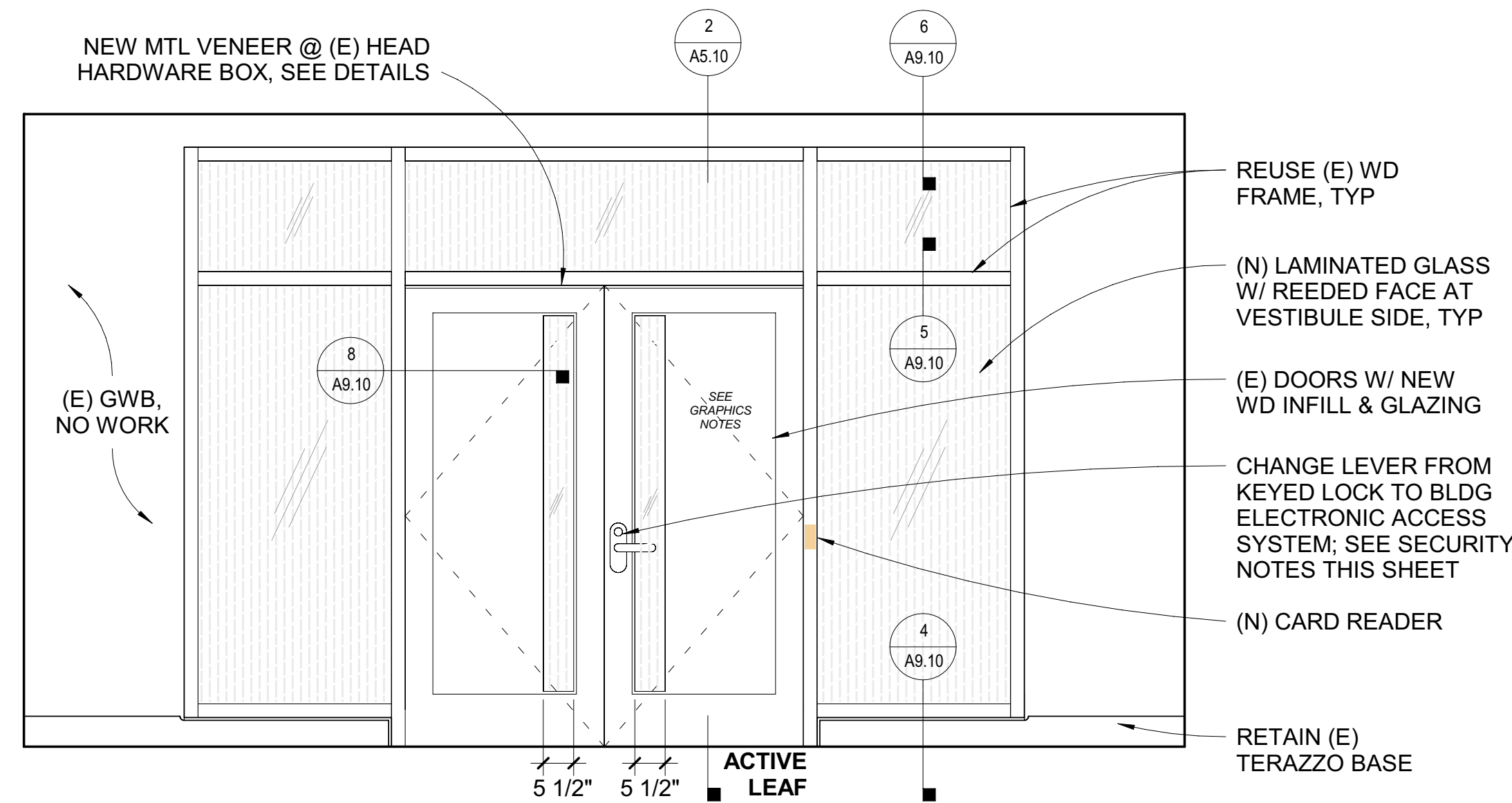
SEE "GRAPHICS NOTES" THIS SHEET FOR SIGNAGE

FOR GENERAL REFERENCE ONLY

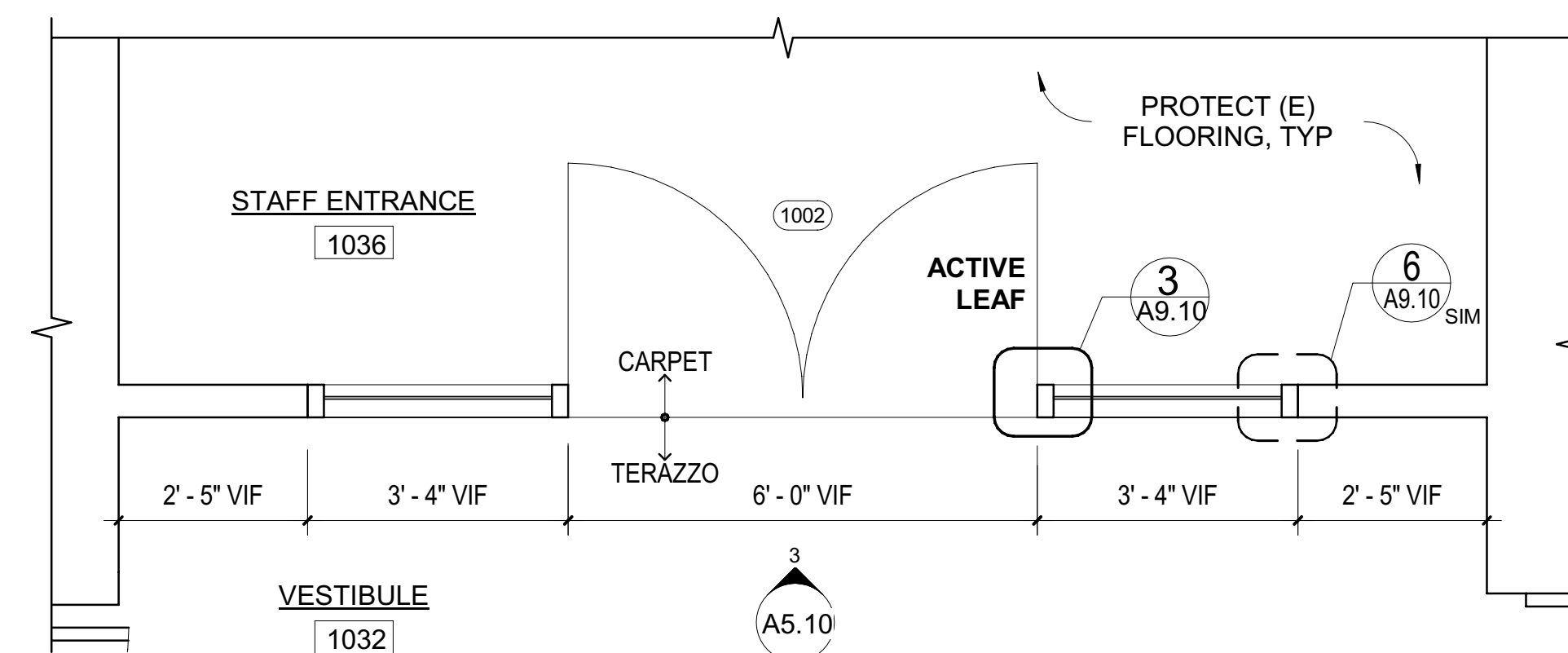
4 STAFF ENTRANCE - VISUALIZATION



2 STAFF ENTRANCE - SECTION  
 1" = 1'-0"



3 STAFF ENTRANCE - ELEVATION  
 1/2" = 1'-0"



1 STAFF ENTRANCE - ENLARGED PLAN  
 1/2" = 1'-0"

INTERIOR ELEVATION GENERAL NOTES

- REFER TO ACCESSIBILITY DETAILS SHEET FOR TYP MOUNTING HEIGHTS, DIMENSIONS, ABBREVIATIONS AND WALL TYPES.
- DIMENSIONS ARE FROM FINISH FLOOR UON.
- PROVIDE BLOCKING FOR ALL HANDRAILS AND SURFACE-MOUNTED ACCESSORIES.
- ELECTRICAL SHOWN FOR REFERENCE ONLY; NOT IN SCOPE.

SECURITY NOTES

- ADD NEW ELECTRONIC SECURITY AT ACTIVE LEAF, CONNECTED TO (E) BLDG SECURITY & POWER SYSTEMS.
- CONFIRM OR PROVIDE OPERABLE BOLT HARDWARE TO FIX INACTIVE LEAF IN PLACE.
- SEE SPECS FOR SYSTEM COMPONENTS.
- MOUNT CARD READER CENTERED ON FACE OF HINGE-SIDE JAMB OF ACTIVE LEAF; ALIGN ACTIVE AREA OF READER NO MORE THAN 42" AFF.
- RUN WIRING TO DOOR THROUGH (E) SURROUND FRAME AND NEW STOPS. (SEE DETAILS ON A9.10)
- NOTIFY ARCHITECT IF FRAME AND/OR DOOR PROFILES MUST BE ADJUSTED TO ACCOMMODATE WIRING AND/OR OTHER SYSTEM ELEMENTS.

GRAPHICS NOTES

- PROVIDE AND INSTALL (N) SIGNAGE AT ACTIVE LEAF
- SIGNAGE TO READ "COURT OF APPEAL FIRST APPELLATE DISTRICT"
- SIGNAGE TO BE INDIVIDUAL ADHESIVE WHITE VINYL LETTERS.
- TYPEFACE AND SIZE PER COURT'S DIRECTION, OR, IF DIRECTED BY THE COURT, CONSULT W/ ARCHITECT.
- LOCATE SIGNAGE CENTERED IN WOOD PANEL W/ BOTTOM OF TOP LINE @ 5'-3" AFF.
- PROVIDE DRAWING OF SIGNAGE AND PLACEMENT ON DOOR FOR COURT REVIEW PRIOR TO INSTALLATION.
- SIGNAGE IS TO MEET ALL APPLICABLE ACCESSIBILITY REQUIREMENTS.

OFFICE OF THE STATE FIRE MARSHAL  
 APPROVED FIRE AND PANIC ONLY



Approval of this plan does not authorize or approve any omission or deviation from applicable regulations. Final approval is subject to field inspection. One set of approved plans shall be available on the project site at all times.



Pier 9, The Embarcadero Suite 107  
 San Francisco, California 94111  
 415.421.1680

NO.	DESCRIPTION	DATE
REVISIONS		

SAN FRANCISCO  
 FIRST DISTRICT  
 COURT OF APPEAL

CLERK'S OFFICE IMPROVEMENTS

350 McALLISTER ST  
 SAN FRANCISCO, CA 94102

SHEET TITLE  
 STAFF ENTRANCE  
 PLAN, ELEVATION &  
 SECTION

ISSUANCE  
 SFM RESUBMISSION

5/22/2024

PROJ. NO.  
 180218.08

DRAWN  
 JG/KF

CHECKED  
 AV

DRAWING NO.

A5.10 V2

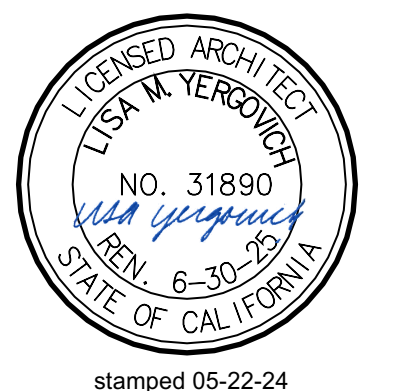
REVIEWED FOR CODE COMPLIANCE

These plans and documents have been reviewed and found to be in compliance with the applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.

BUREAU VERITAS NORTH AMERICA, INC.

SIGNATURE: BV

DATE: 6/24/2024



stamped 05-22-24

OFFICE OF THE STATE FIRE MARSHAL  
 APPROVED FIRE AND PANIC ONLY

06/12/24  
 23-8387  
 FIRE  
 SINCE 1858

Approval of this plan does not authorize or approve any omission or deviation from applicable regulations. Final approval is subject to field inspection. One set of approved plans shall be available on the project site at all times.

 Architectural Resources Group  
 Pier 9, The Embarcadero Suite 107  
 San Francisco, California 94111  
 415.421.1680

NO.	DESCRIPTION	DATE
REVISIONS		

**SAN FRANCISCO  
 FIRST DISTRICT  
 COURT OF APPEAL**

CLERK'S OFFICE IMPROVEMENTS  
 350 McALLISTER ST  
 SAN FRANCISCO, CA 94102

SHEET TITLE  
**COUNTER SECTIONS**

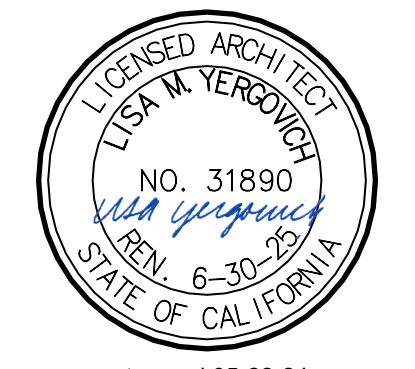
ISSUANCE  
 SFM RESUBMISSION  
**5/22/2024**

PROJ. NO.  
 180218.08

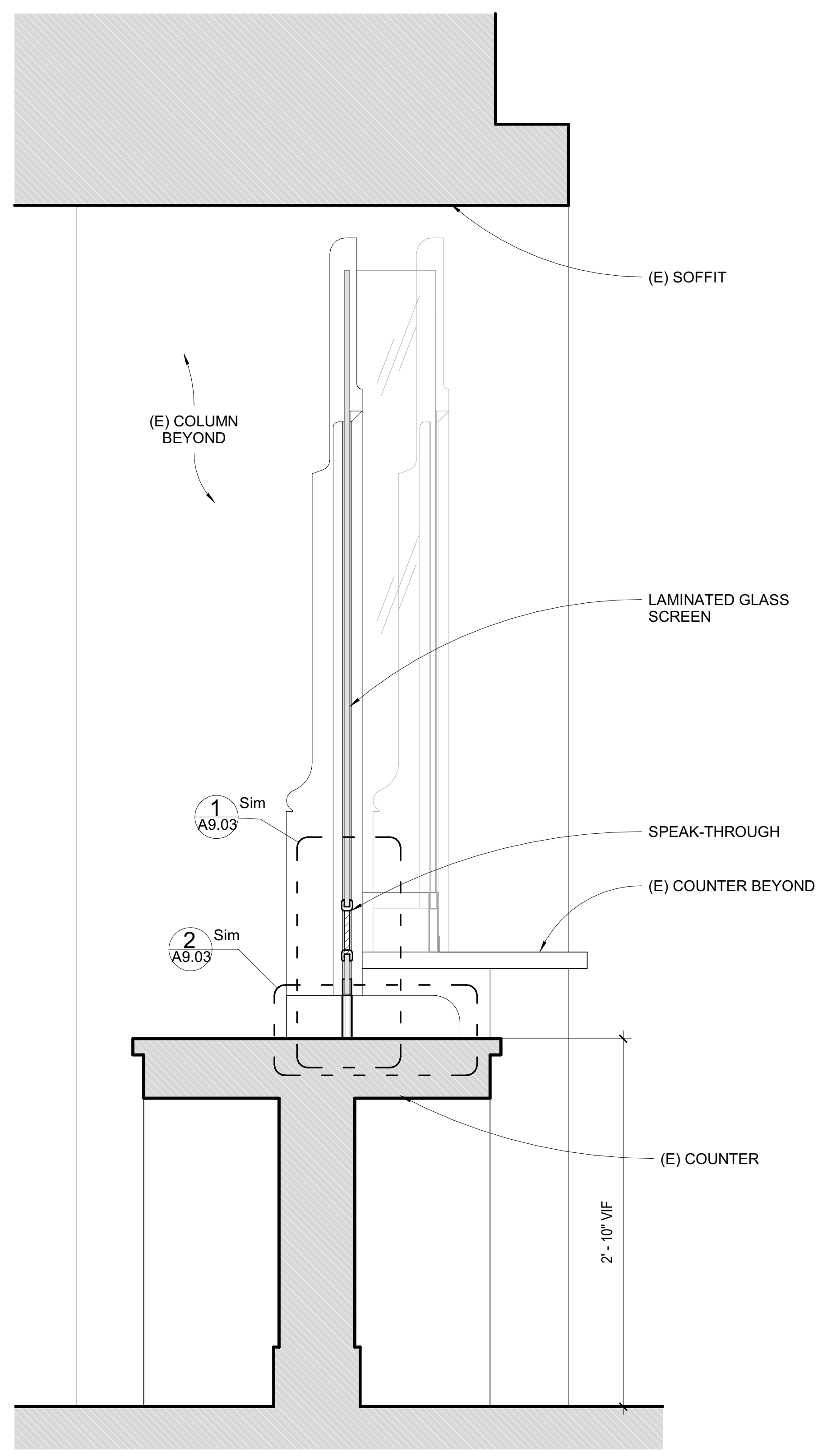
DRAWN  
 JG/KF

CHECKED  
 AV

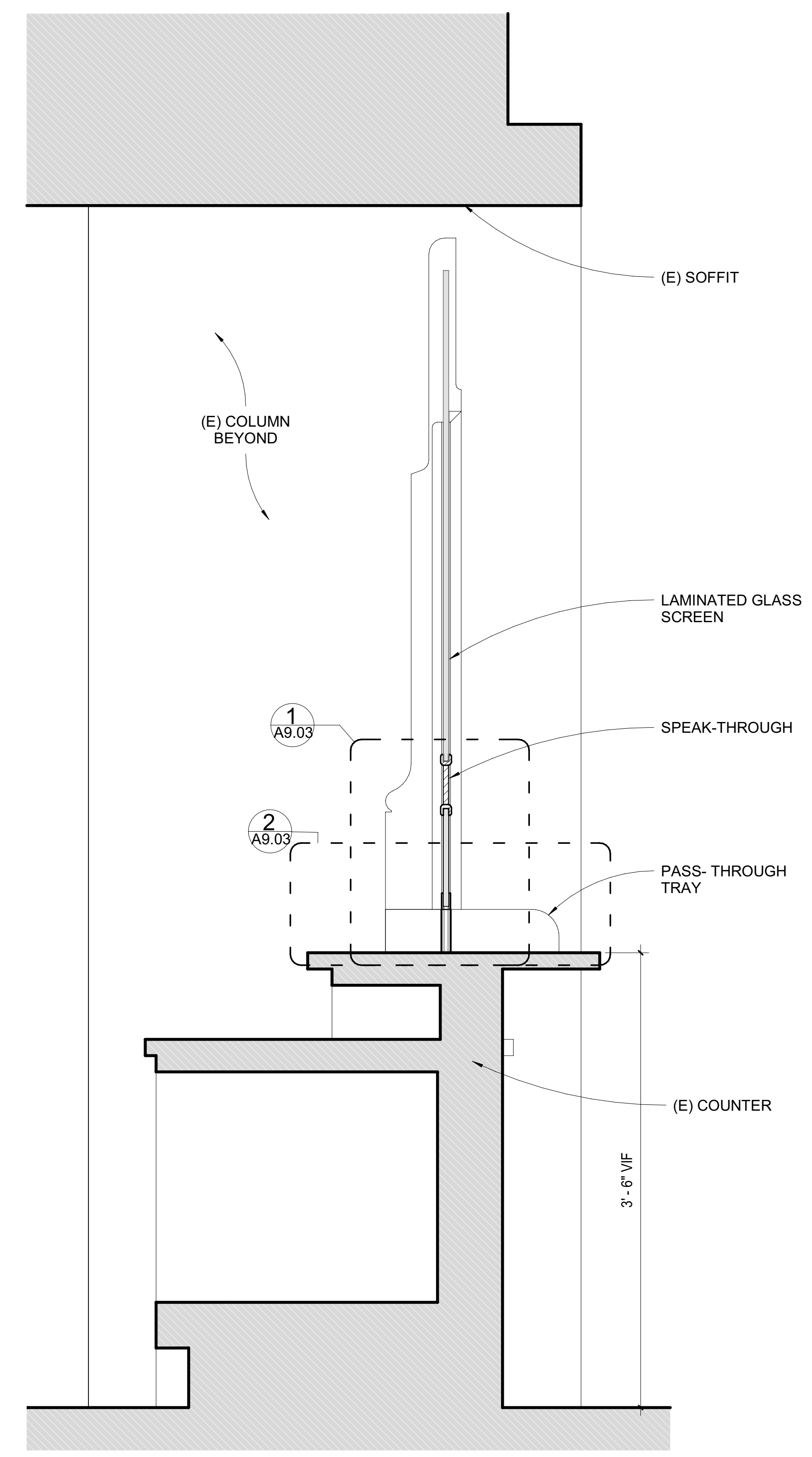
stamp 05-22-24



DRAWING NO.  
**A9.00** V2



**3 SECTION AT ACCESSIBLE COUNTER**  
 A9.00 1 1/2" = 1'-0"

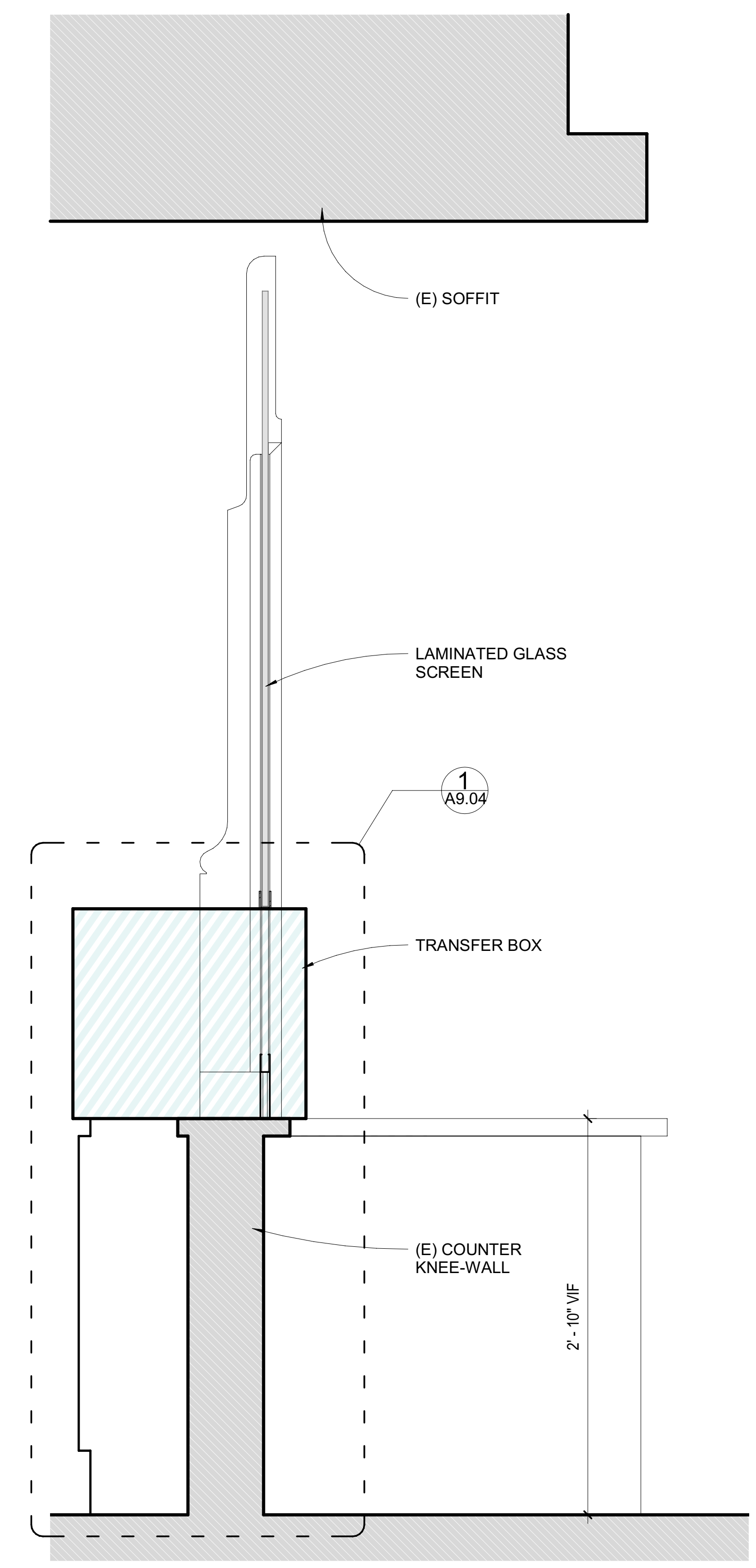


**2 TYP SECTION AT SERVICE COUNTER**  
 A9.00 1 1/2" = 1'-0"

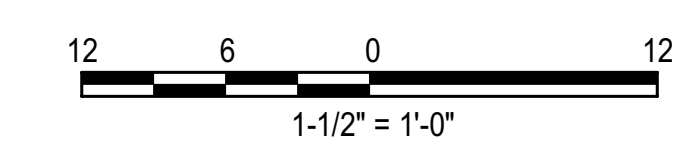
**REVIEWED FOR CODE COMPLIANCE**  
 These plans and documents have been reviewed and found to be in compliance with the applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.

**BUREAU VERITAS NORTH AMERICA, INC.**

SIGNATURE: BV  
 DATE: 6/24/2024



**1 SECTION AT TRANSFER BOX**  
 A9.00 1 1/2" = 1'-0"





**Architectural Resources Group**  
 Pier 9, The Embarcadero Suite 107  
 San Francisco, California 94111  
 415.421.1680

NO.	DESCRIPTION	DATE
REVISIONS		

**SAN FRANCISCO  
 FIRST DISTRICT  
 COURT OF APPEAL**

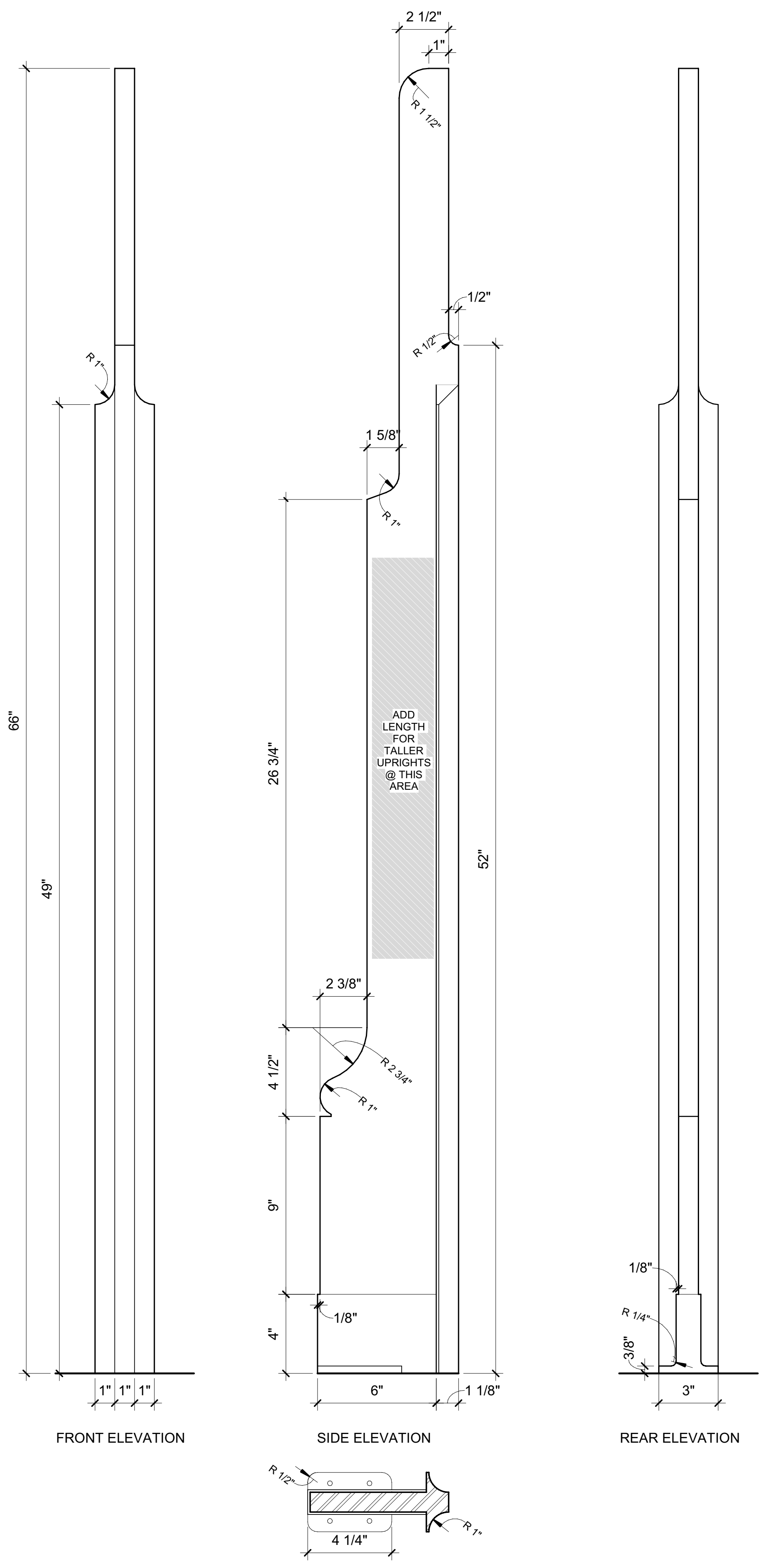
CLERK'S OFFICE IMPROVEMENTS  
 350 McALLISTER ST  
 SAN FRANCISCO, CA 94102

SHEET TITLE  
**COUNTER DETAILS 1**

ISSUANCE  
 SFM RESUBMISSION  
**5/22/2024**

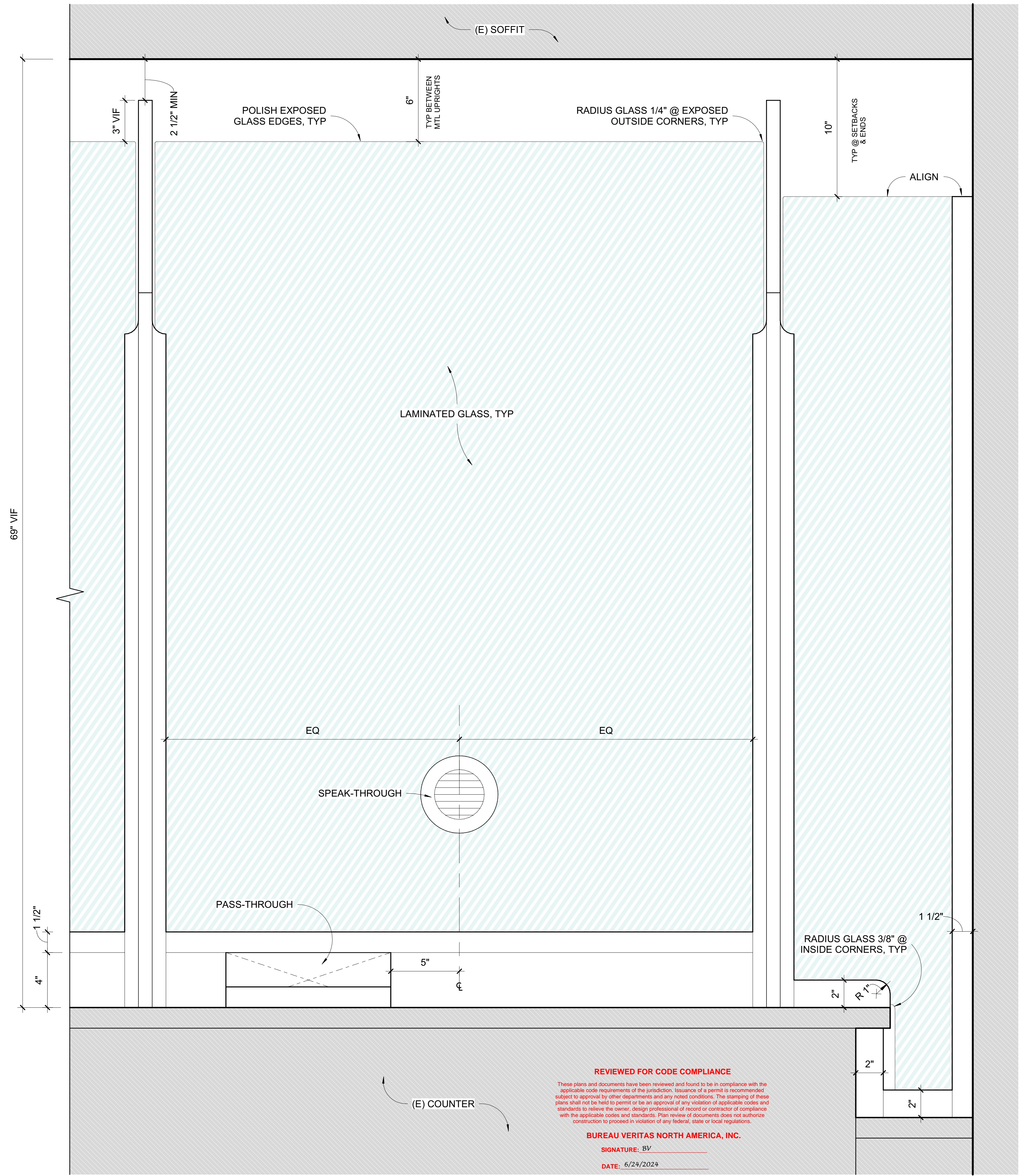
PROJ. NO.  
 180218.08  
 DRAWN  
 JF/KF  
 CHECKED  
 AV  
 LICENSED ARCHITECT  
 LISA M. YERGEN  
 NO. 31890  
 6-30-23  
 STATE OF CALIFORNIA  
 stamped 05-22-24

DRAWING NO.  
**A9.01** V2



THE FOUR UPRIGHTS @ LOWER COUNTER ARE ~ 8" TALLER (VIF) SO THEIR TOPS ALIGN W/ TYP UPRIGHTS; ADD LENGTH IN AREA INDICATED ABOVE

2 COUNTER UPRIGHT  
 A9.01 3" = 1'-0"



REVIEWED FOR CODE COMPLIANCE  
 These plans and documents have been reviewed and found to be in compliance with the applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.  
 BUREAU VERITAS NORTH AMERICA, INC.  
 SIGNATURE: BV  
 DATE: 6/24/2024

1 COUNTER SCREEN TYP CONDITIONS (PUBLIC-SIDE ELEVATION)  
 A9.01 3" = 1'-0"



**Architectural Resources Group**  
 Pier 9, The Embarcadero Suite 107  
 San Francisco, California 94111  
 415.421.1680

NO.	DESCRIPTION	DATE
REVISIONS		

**SAN FRANCISCO  
 FIRST DISTRICT  
 COURT OF APPEAL**

CLERK'S OFFICE IMPROVEMENTS  
 350 McALLISTER ST  
 SAN FRANCISCO, CA 94102

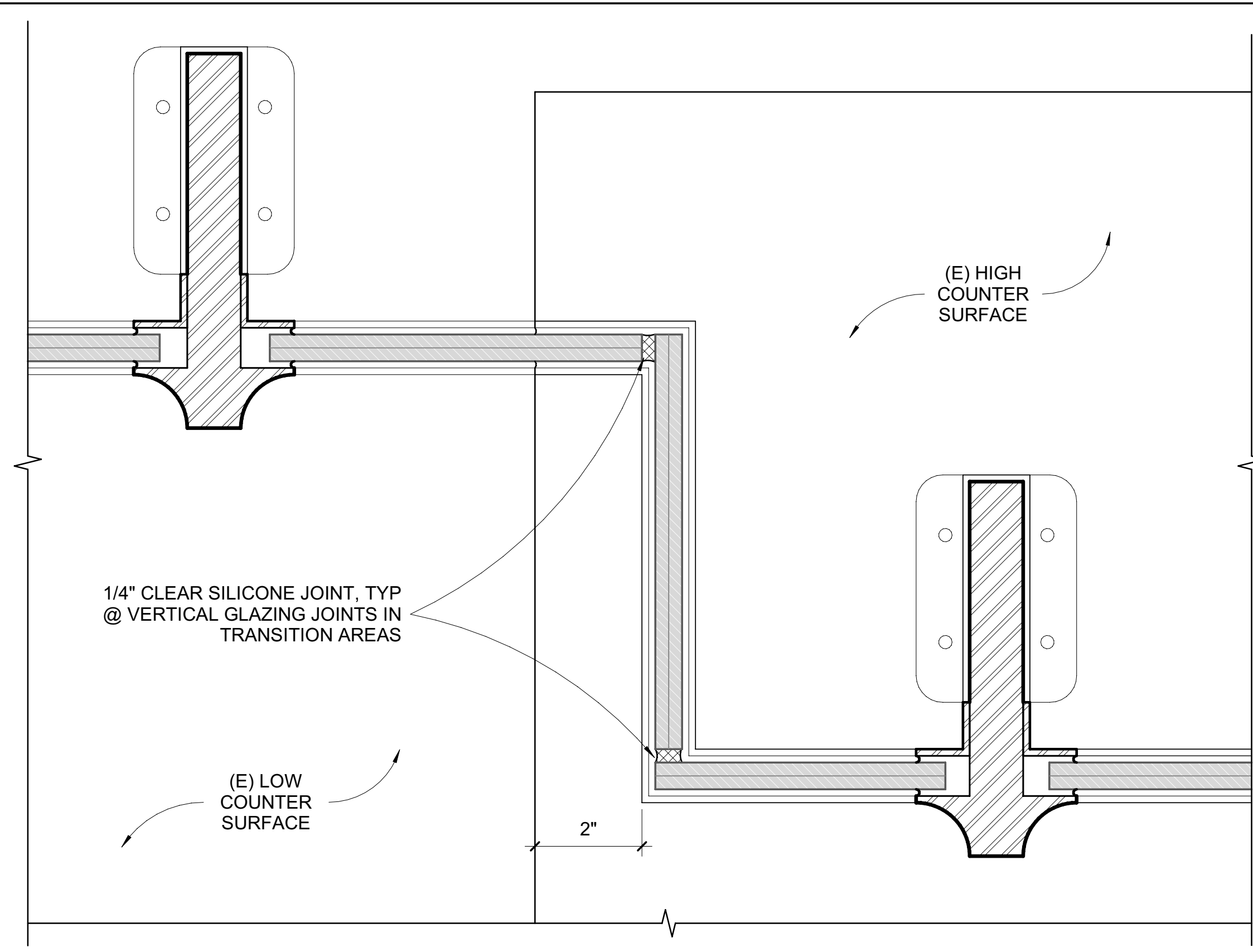
SHEET TITLE  
**COUNTER DETAILS 2**

ISSUANCE  
 SFM RESUBMISSION  
**5/22/2024**

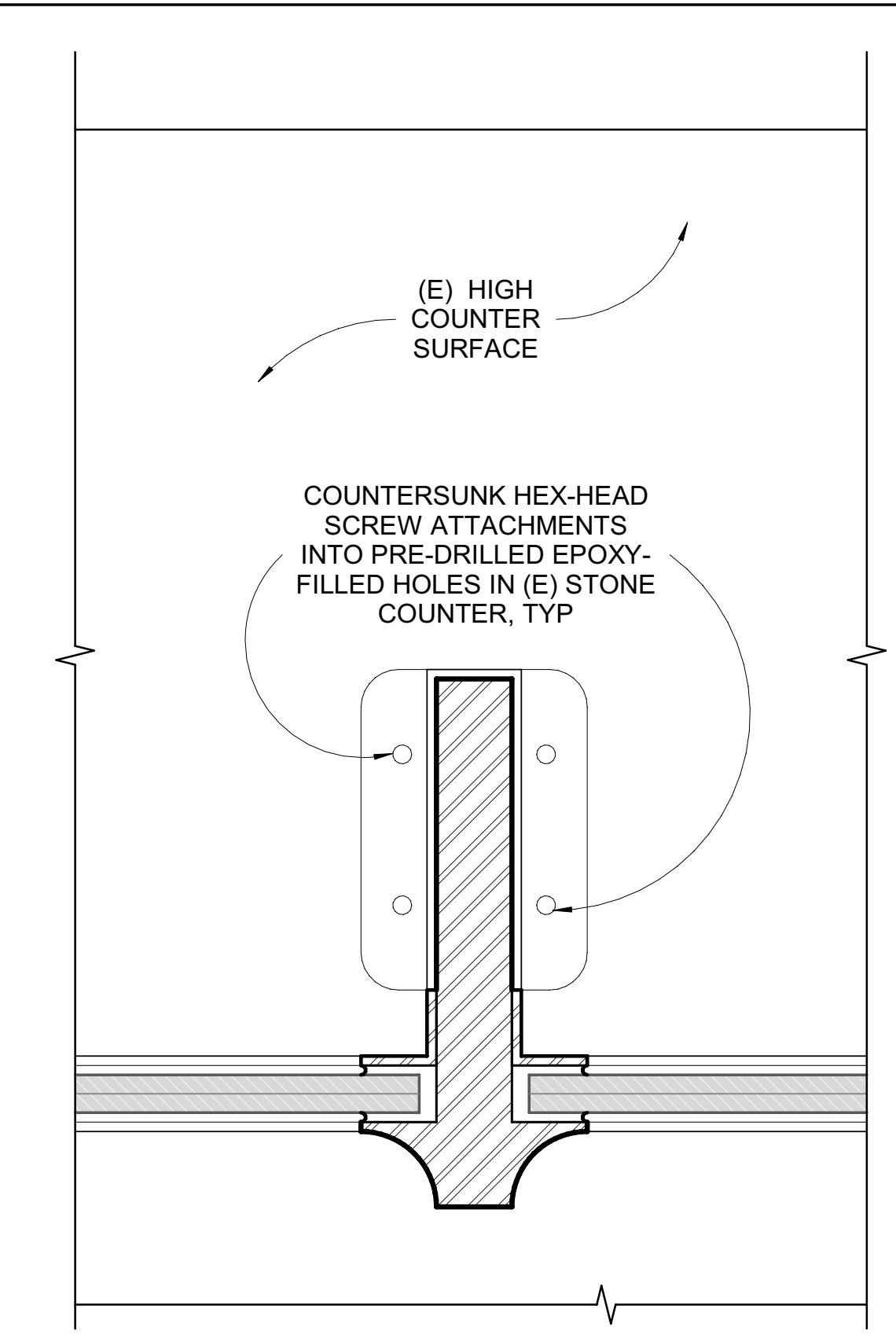
PROJ. NO.  
 180218.08  
 DRAWN  
 JG/KF  
 CHECKED  
 AV  
 stamped 05-22-24



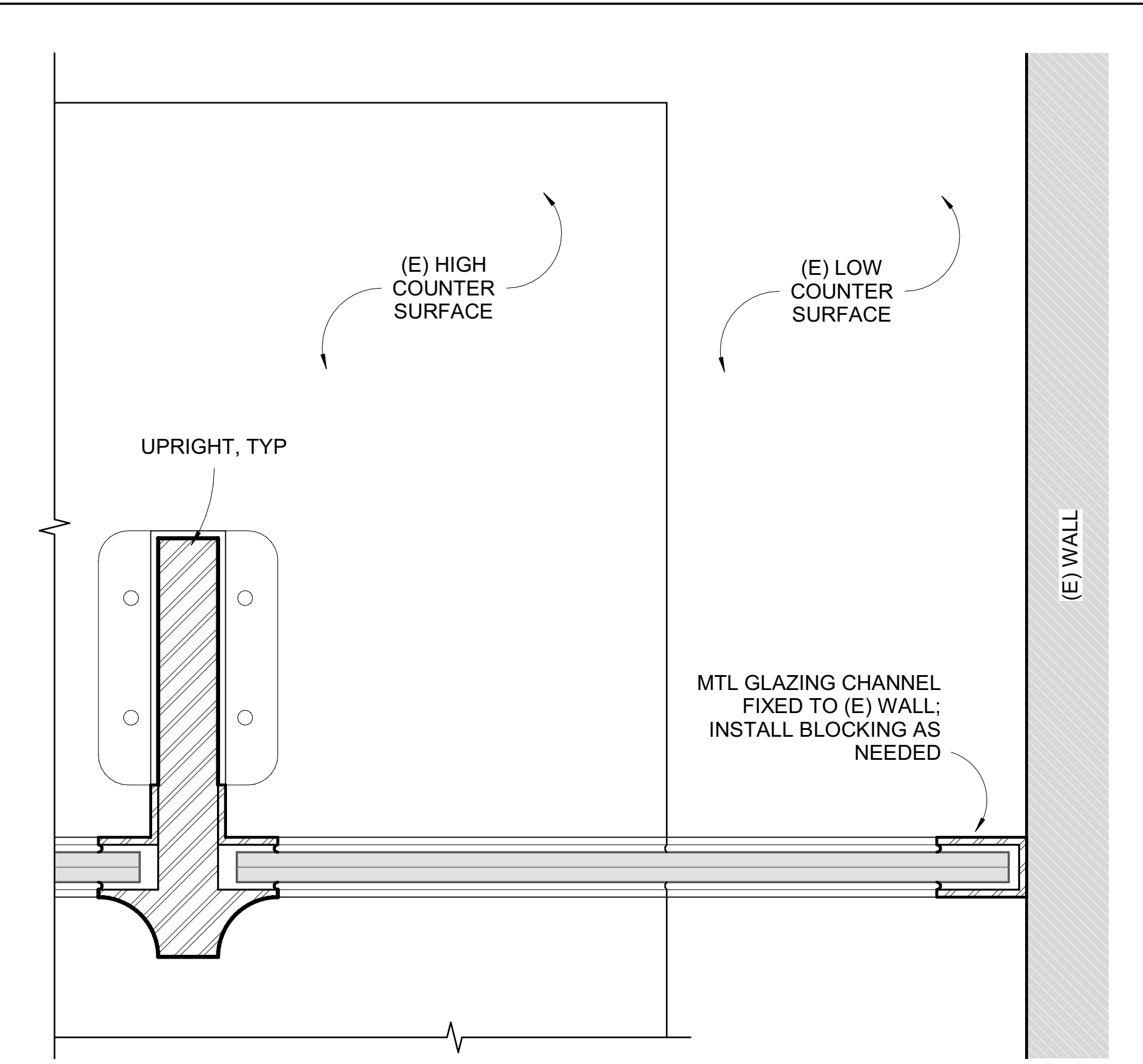
DRAWING NO.  
**A9.02** V2



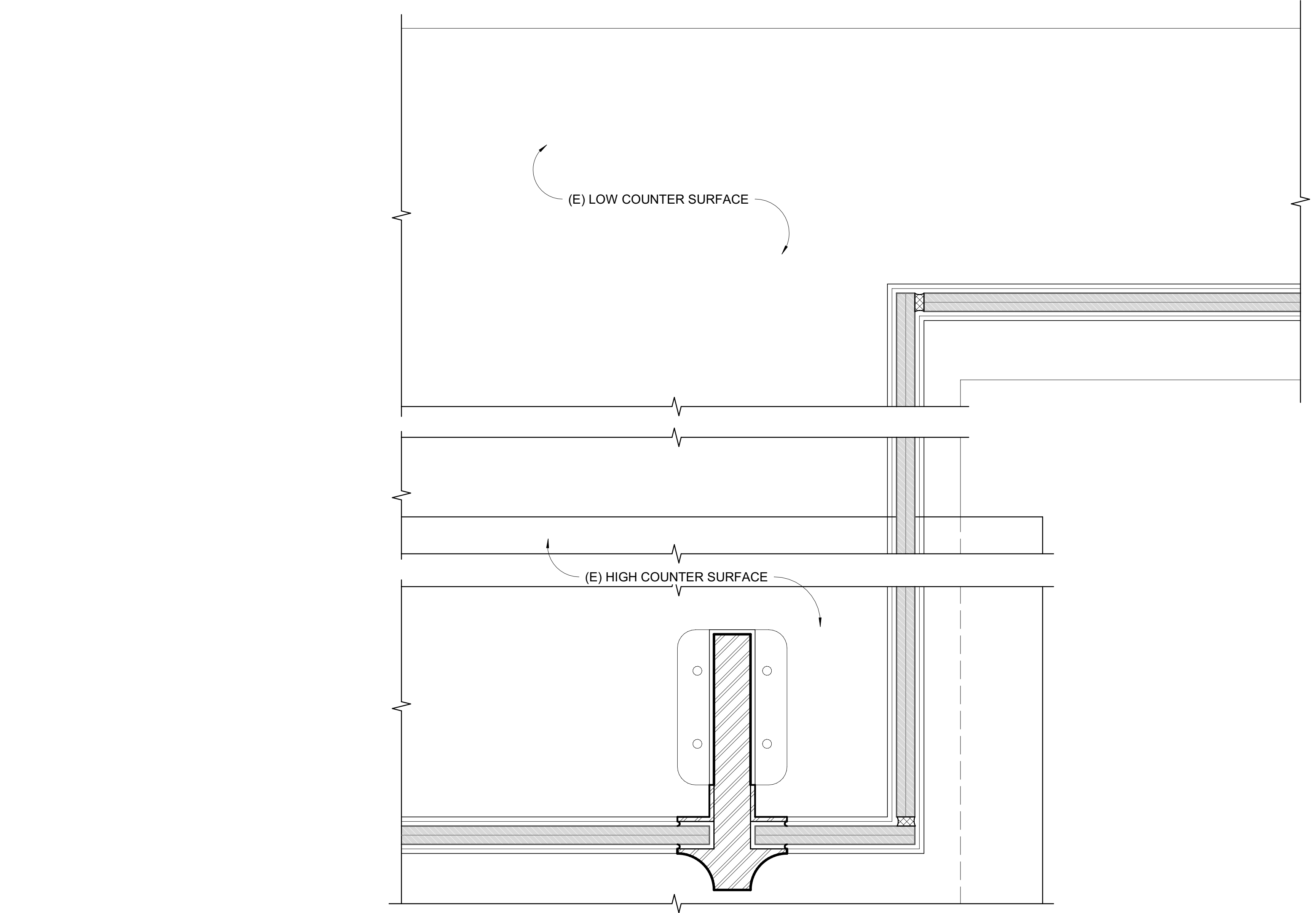
**12 SECURITY SCREEN TRANSITION AT WEST COUNTER**  
 A9.02 6" = 1'-0"



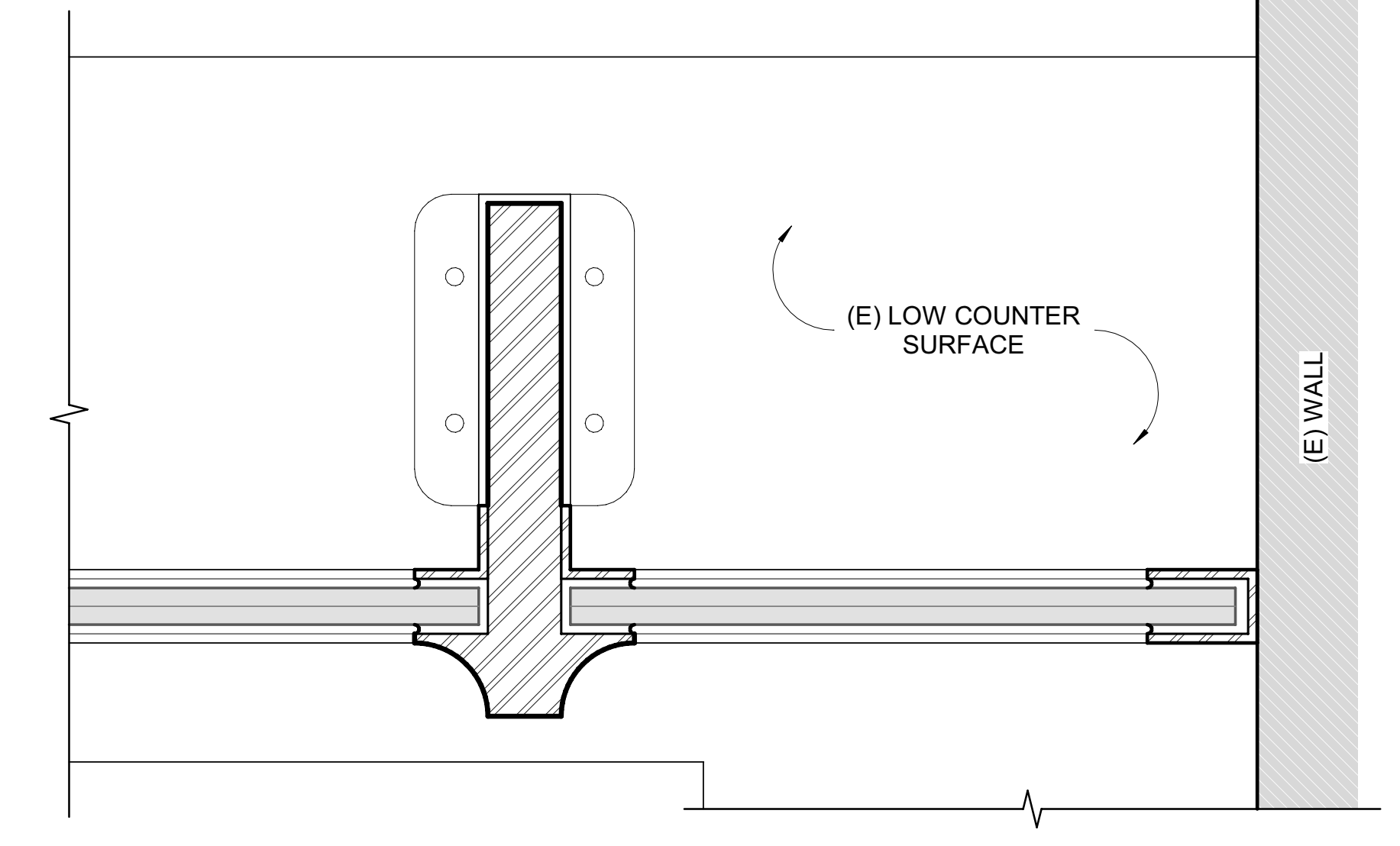
**6 TYP SECURITY SCREEN UPRIGHT**  
 A9.02 6" = 1'-0"



**3 TYP SECURITY SCREEN @ WALL**  
 A9.02 6" = 1'-0"



**7 SECURITY SCREEN TRANSITION AT EAST COUNTER**  
 A9.02 6" = 1'-0"



**2 SECURITY SCREEN AT EAST WALL**  
 A9.02 6" = 1'-0"

**REVIEWED FOR CODE COMPLIANCE**  
 These plans and documents have been reviewed and found to be in compliance with the applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.  
**BUREAU VERITAS NORTH AMERICA, INC.**  
 SIGNATURE: BV  
 DATE: 6/24/2024



**Architectural Resources Group**  
 Pier 9, The Embarcadero Suite 107  
 San Francisco, California 94111  
 415.421.1680

NO.	DESCRIPTION	DATE
REVISIONS		

**SAN FRANCISCO  
 FIRST DISTRICT  
 COURT OF APPEAL**

CLERK'S OFFICE IMPROVEMENTS  
 350 McALLISTER ST  
 SAN FRANCISCO, CA 94102

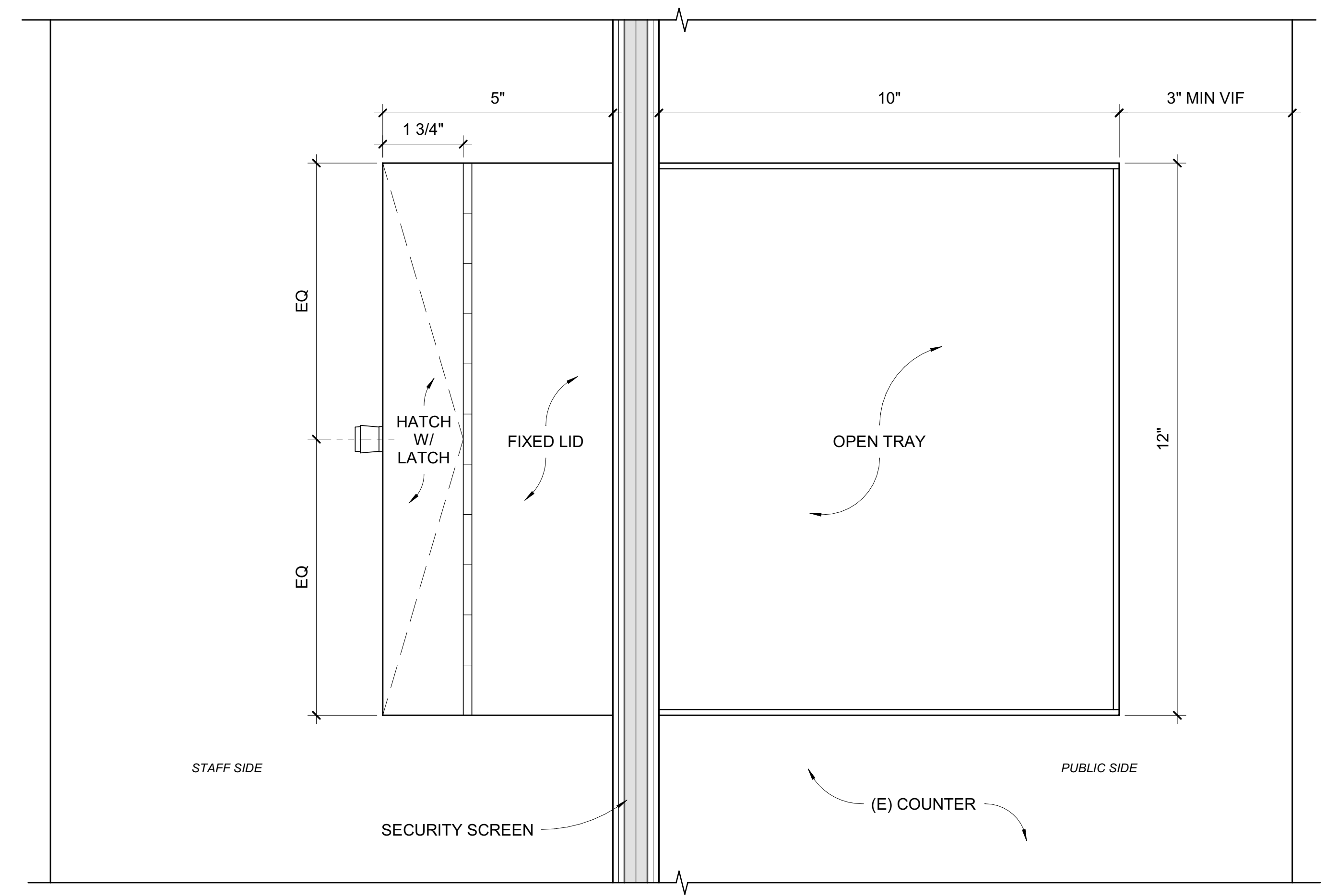
SHEET TITLE  
**COUNTER DETAILS 3**

ISSUANCE  
 SFM RESUBMISSION  
**5/22/2024**

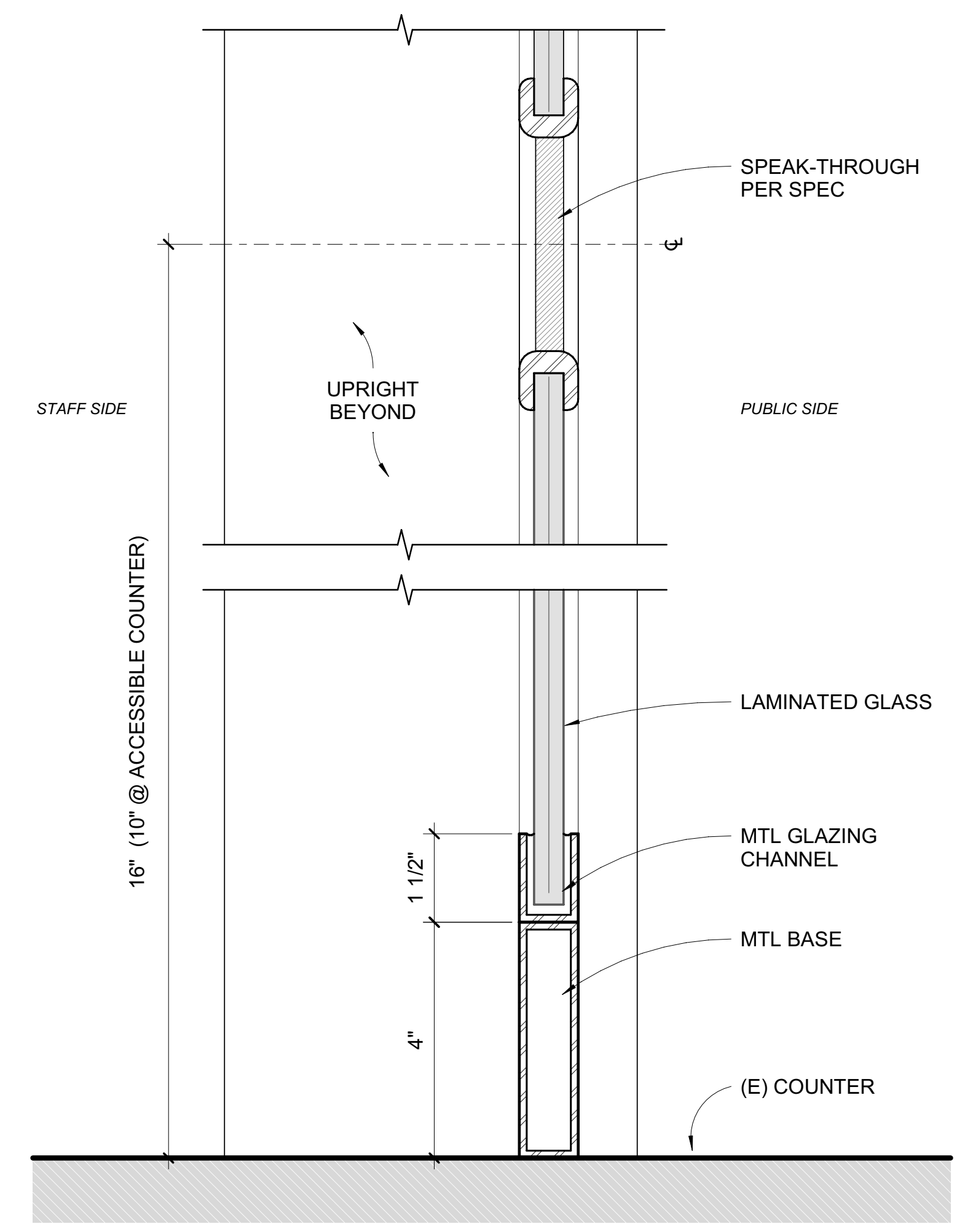
PROJ. NO.  
 180218.08  
 DRAWN  
 JG/KF  
 CHECKED  
 AV  
 stamped 05-22-24



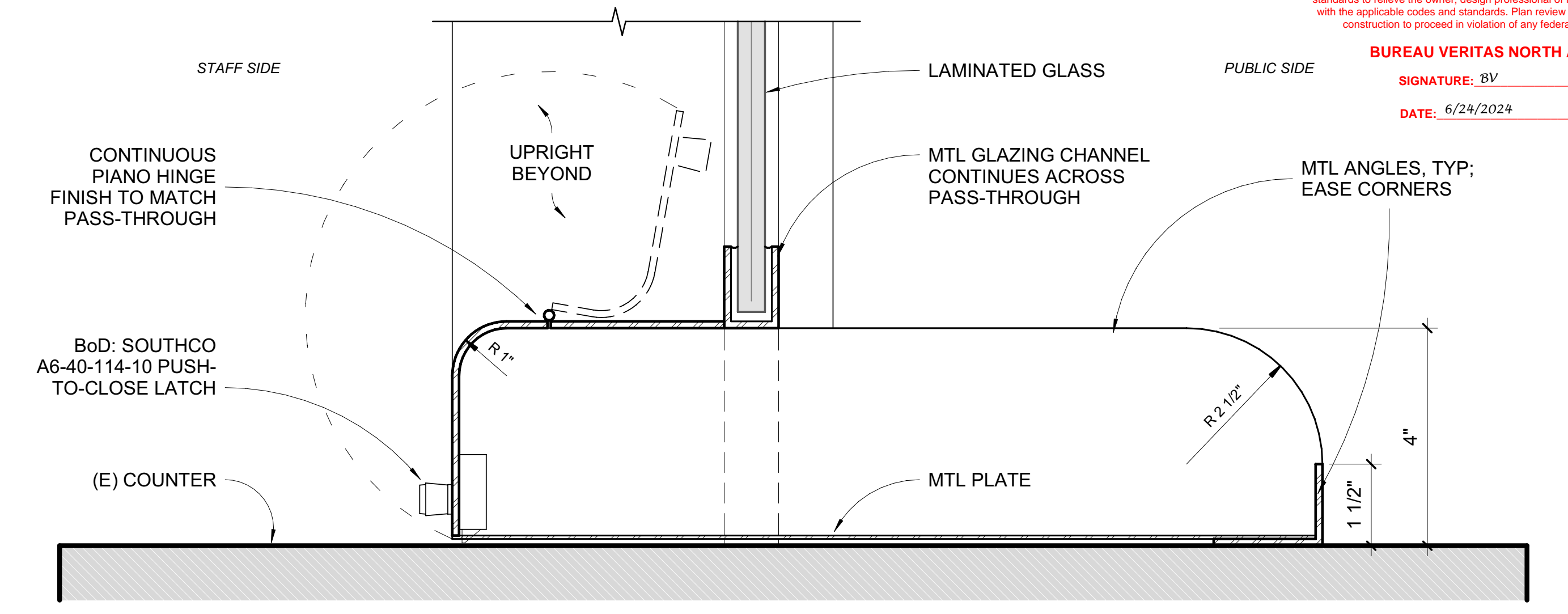
DRAWING NO.  
**A9.03** V2



**3 COUNTER PLAN @ PASS-THROUGH**  
 A9.03 6" = 1'-0"



**1 COUNTER SECTION @ SPEAK-THROUGH**  
 A9.03 6" = 1'-0"



**2 COUNTER SECTION @ PASS-THROUGH**  
 A9.03 6" = 1'-0"

**REVIEWED FOR CODE COMPLIANCE**  
 These plans and documents have been reviewed and found to be in compliance with the applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.  
**BUREAU VERITAS NORTH AMERICA, INC.**  
 SIGNATURE: BV  
 DATE: 6/24/2024



**Architectural Resources Group**  
 Pier 9, The Embarcadero Suite 107  
 San Francisco, California 94111  
 415.421.1680

NO.	DESCRIPTION	DATE
REVISIONS		

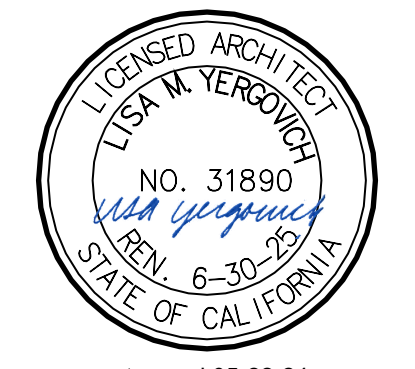
**SAN FRANCISCO  
 FIRST DISTRICT  
 COURT OF APPEAL**

CLERK'S OFFICE IMPROVEMENTS  
 350 McALLISTER ST  
 SAN FRANCISCO, CA 94102

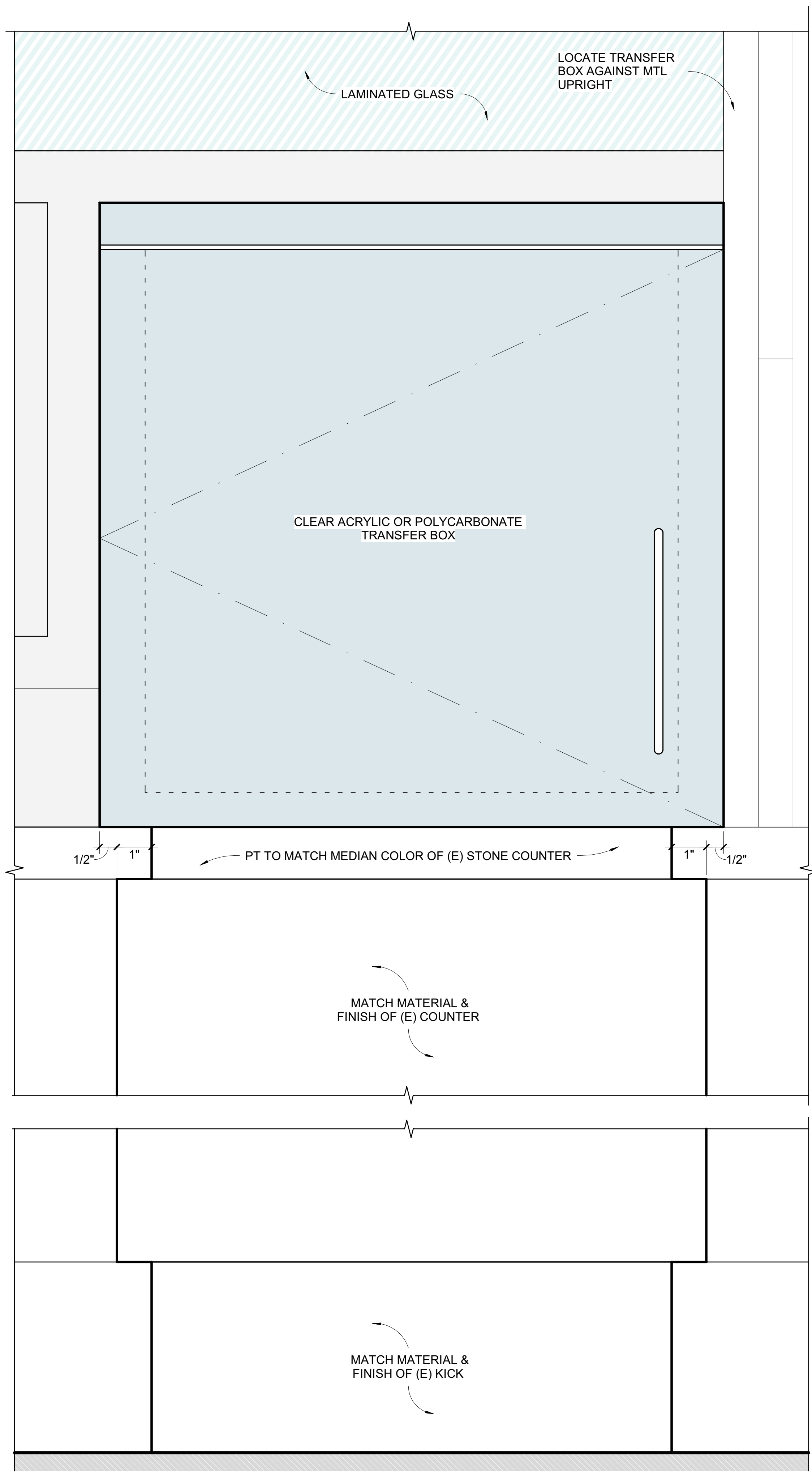
SHEET TITLE  
**TRANSFER BOX  
 DETAILS**

ISSUANCE  
 SFM RESUBMISSION  
**5/22/2024**

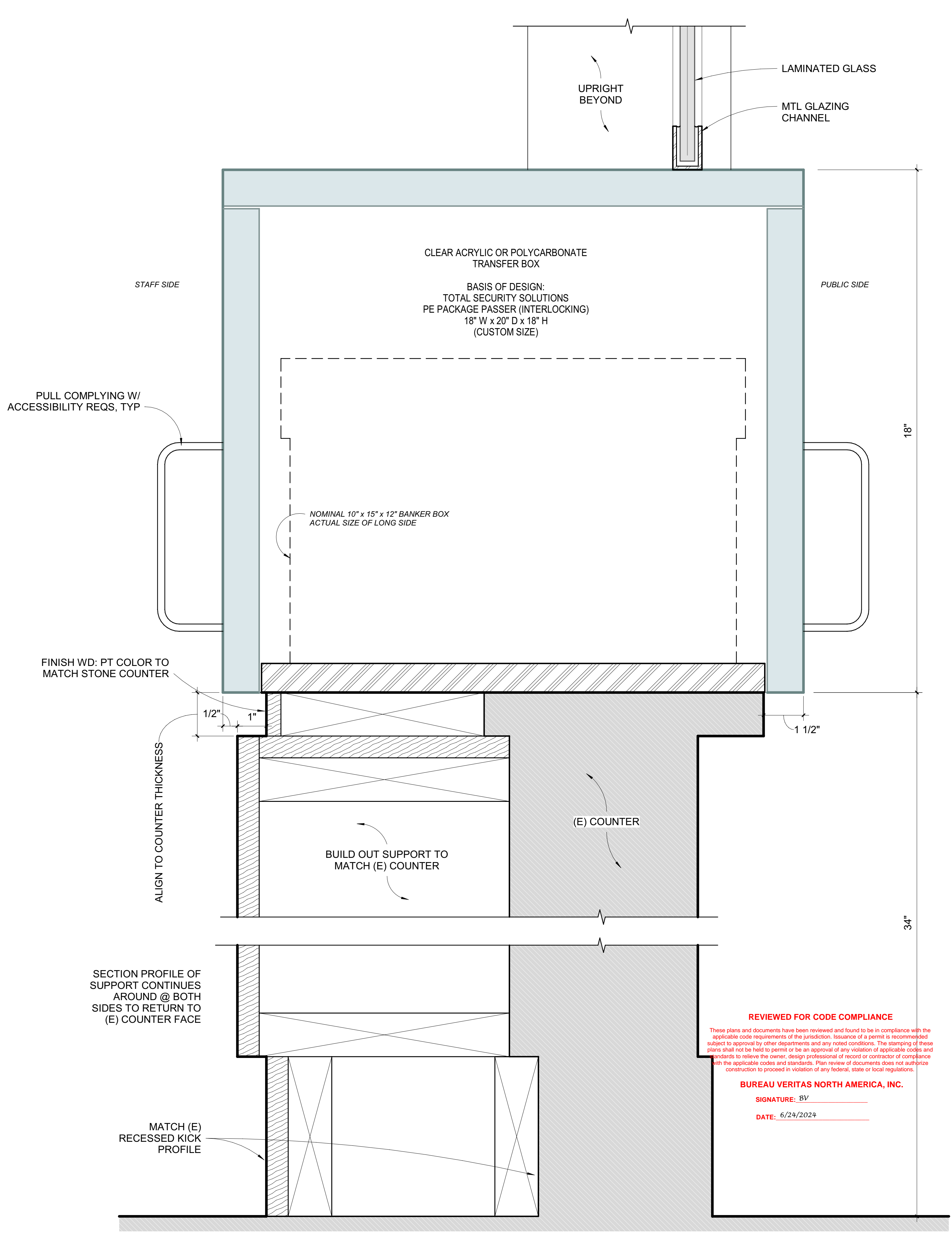
PROJ. NO.  
 180218.08  
 DRAWN  
 JG/KF  
 CHECKED  
 AV  
 stamped 05-22-24



DRAWING NO.  
**A9.04** V2



**2** TRANSFER BOX STAFF-SIDE ELEVATION  
 A9.04 6" = 1'-0"



**1** TRANSFER BOX AREA SECTION  
 A9.04 6" = 1'-0"



**Architectural Resources Group**  
 Pier 9, The Embarcadero Suite 107  
 San Francisco, California 94111  
 415.421.1680

NO.	DESCRIPTION	DATE
REVISIONS		

**SAN FRANCISCO  
 FIRST DISTRICT  
 COURT OF APPEAL**

CLERK'S OFFICE IMPROVEMENTS  
 350 McALLISTER ST  
 SAN FRANCISCO, CA 94102

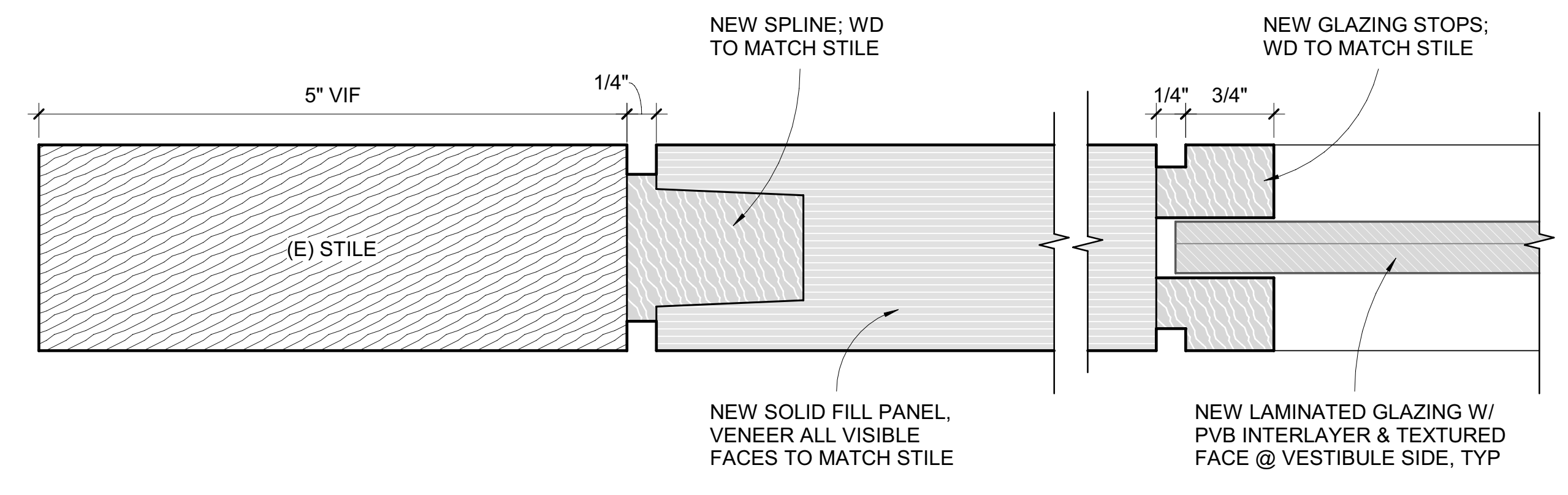
SHEET TITLE  
**DOOR & SIDELIGHT  
 DETAILS**

ISSUANCE  
 SFM RESUBMISSION  
**5/22/2024**

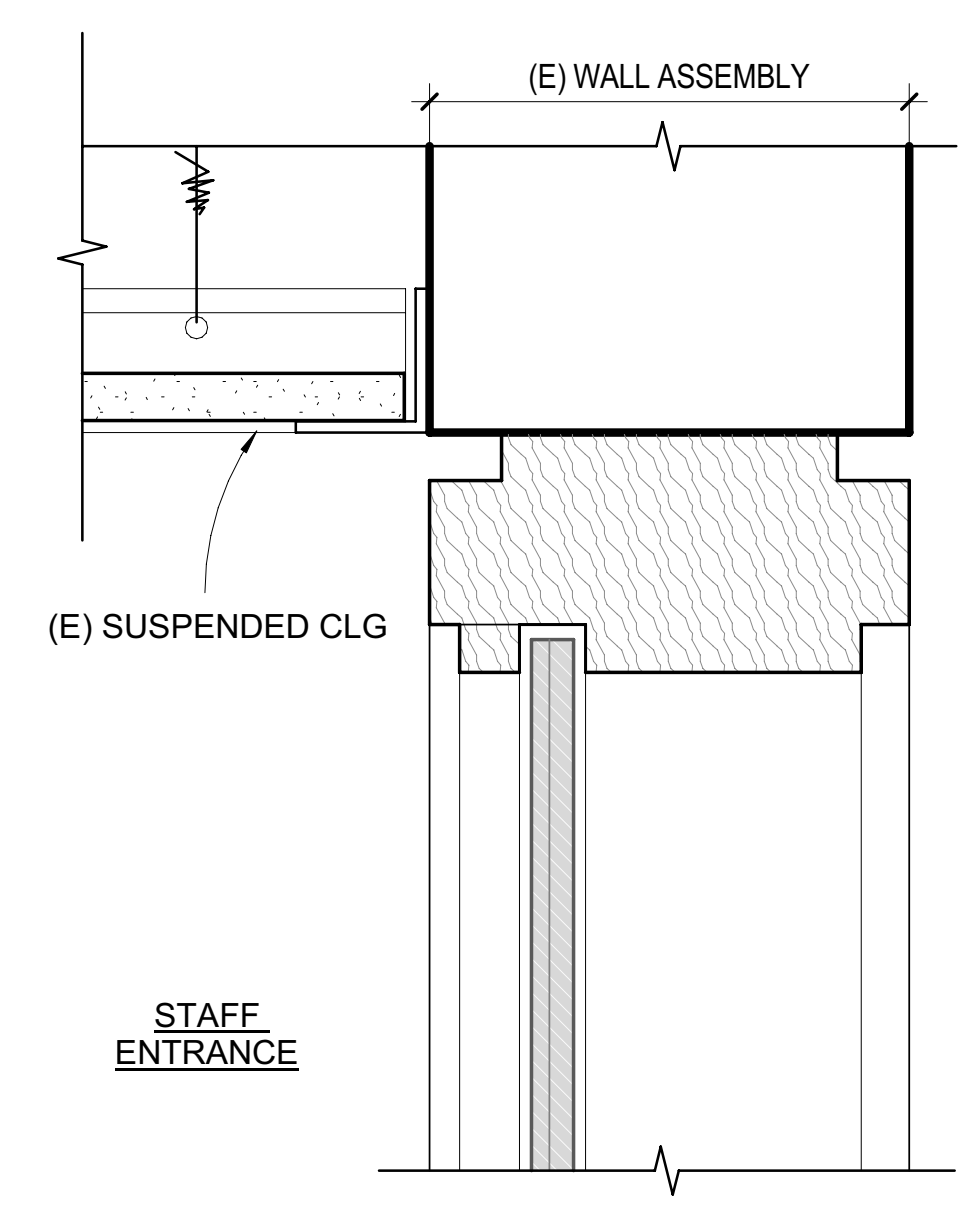
PROJ. NO.  
 180218.08  
 DRAWN  
 JG/KF  
 CHECKED  
 AV  
 stamped 05-22-24



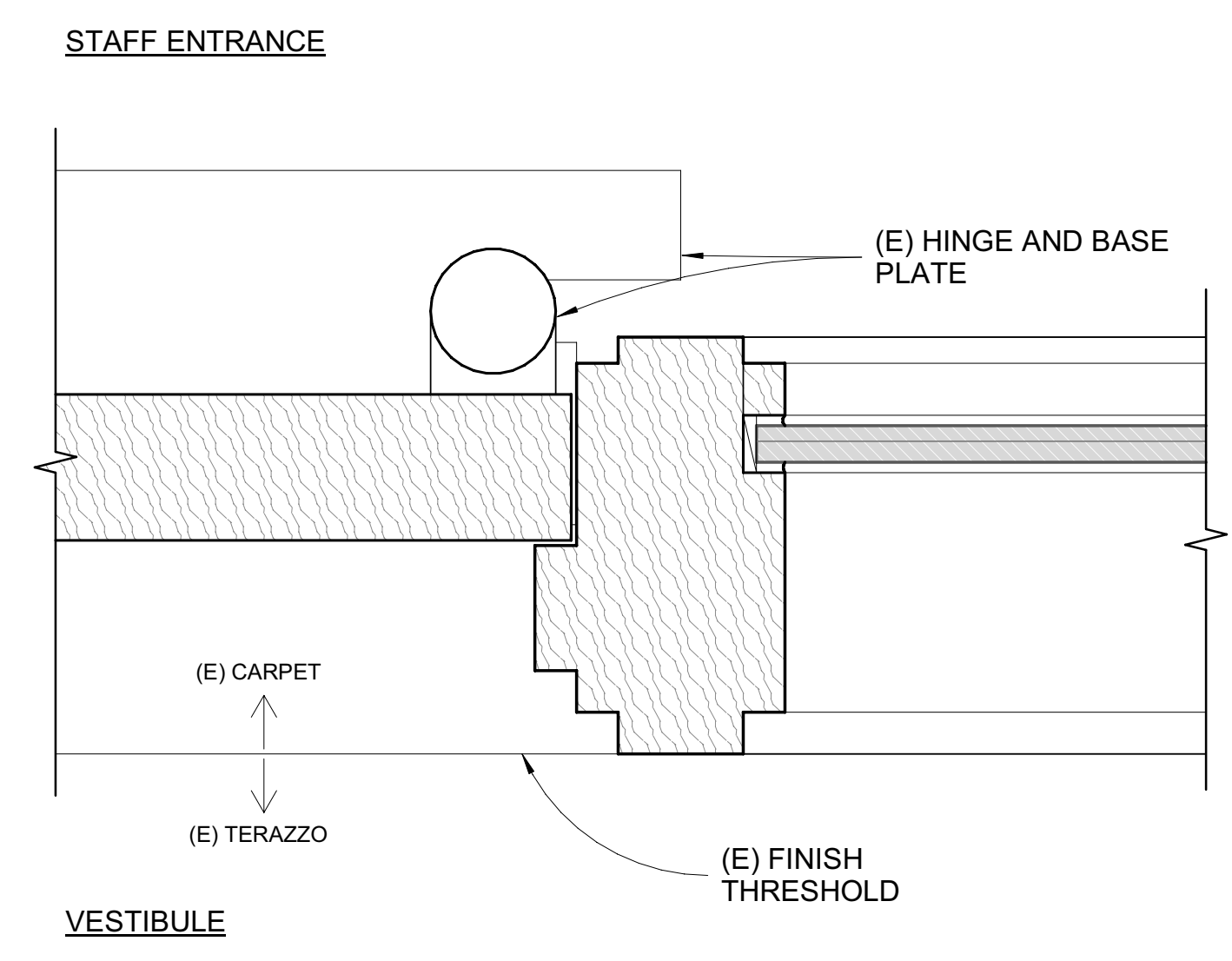
DRAWING NO.  
**A9.10** V2



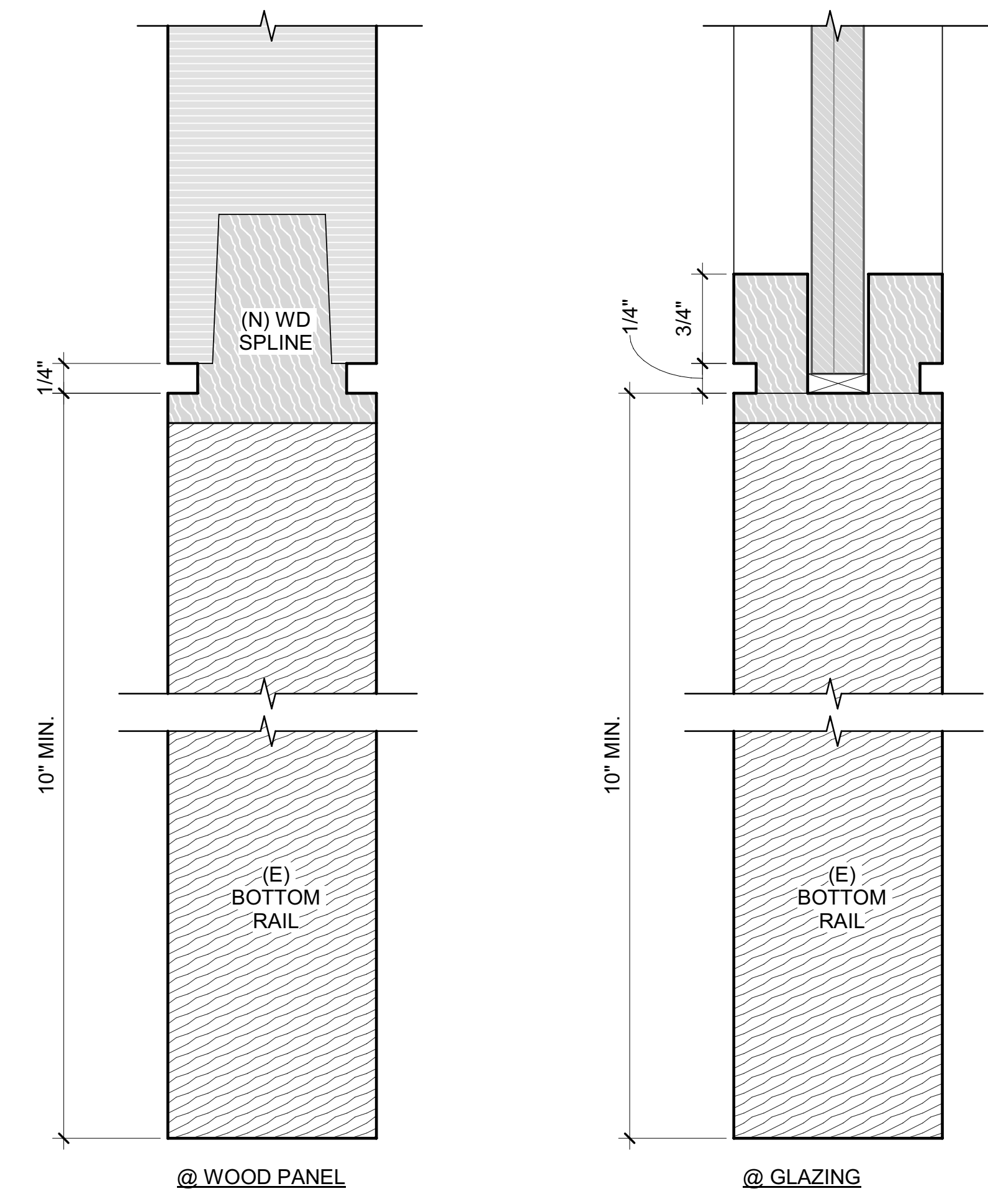
**8 DOOR STILE DETAILS (DOOR TOP RAIL SIMILAR)**  
 A9.10 12" = 1'-0"



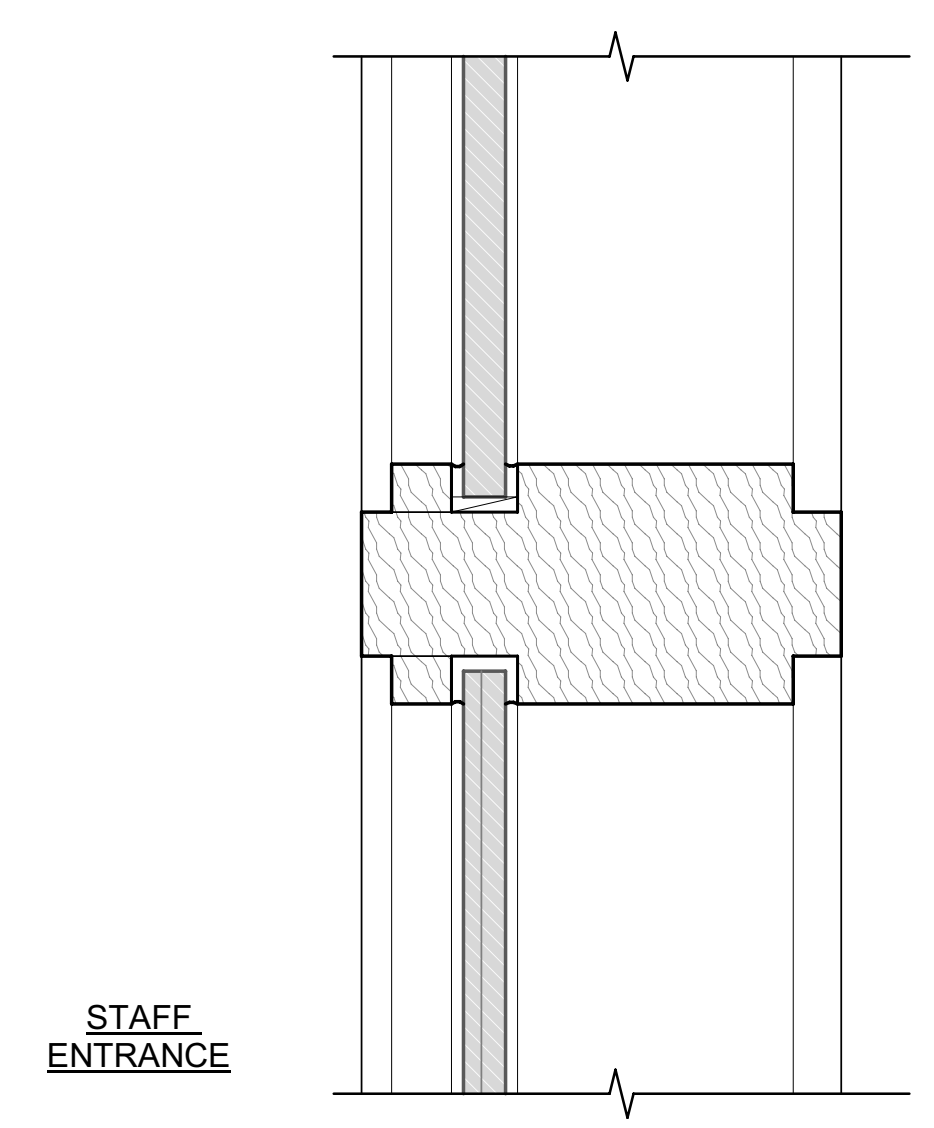
**6 SIDELIGHT HEAD**  
 A9.10 6" = 1'-0"



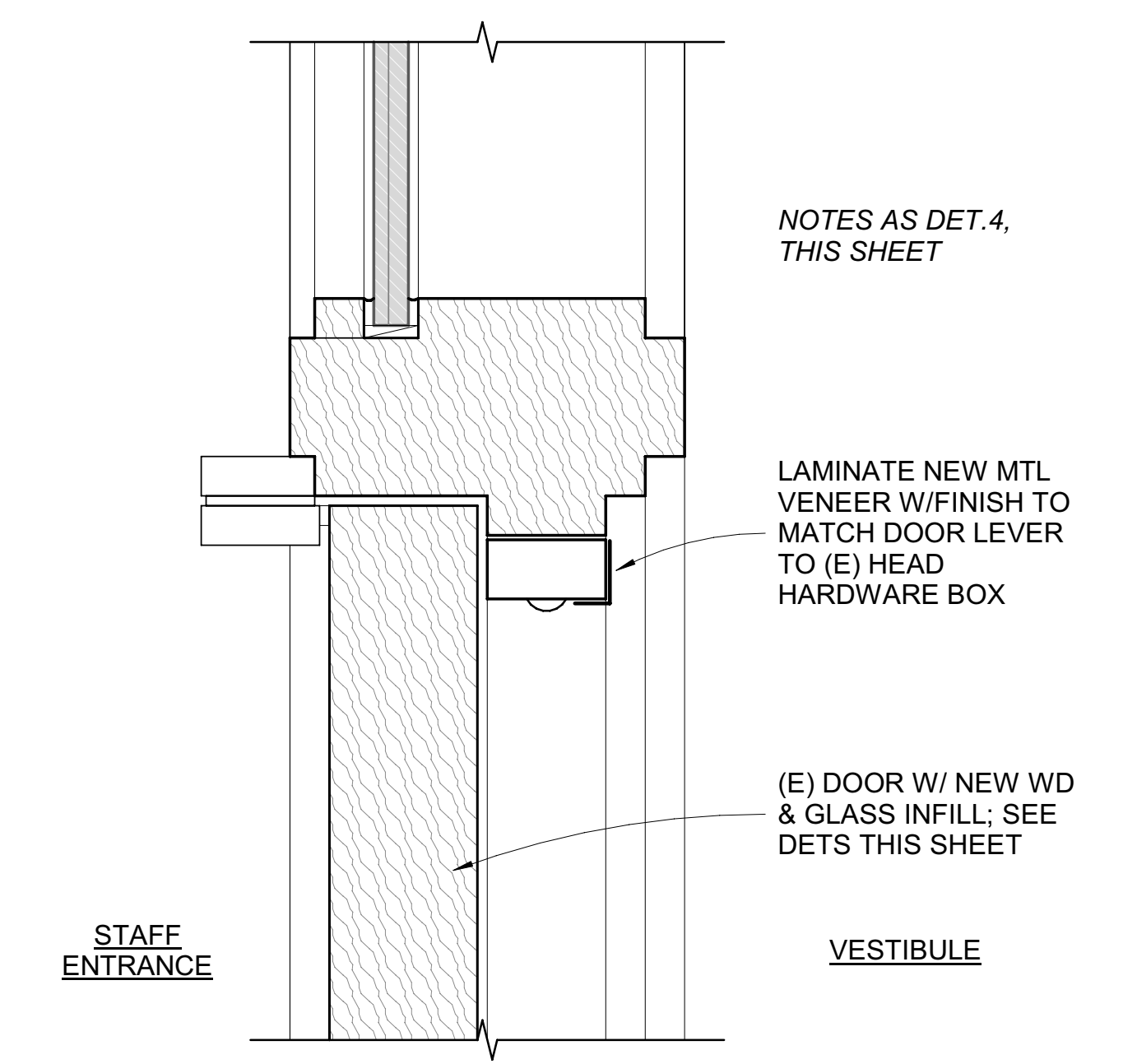
**3 DOOR JAMB**  
 A9.10 6" = 1'-0"



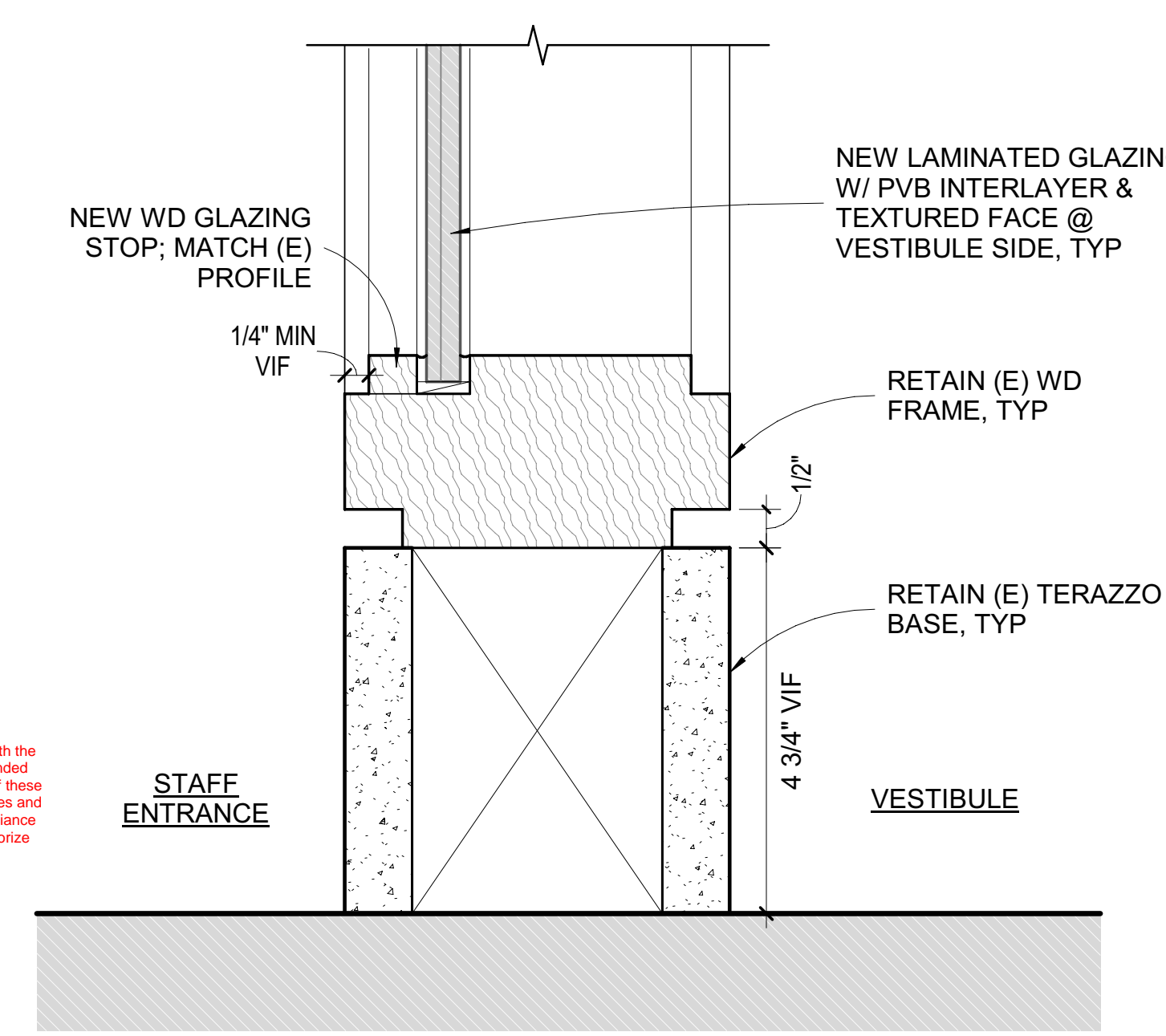
**7 DOOR BOTTOM RAIL DETAILS**  
 A9.10 12" = 1'-0"



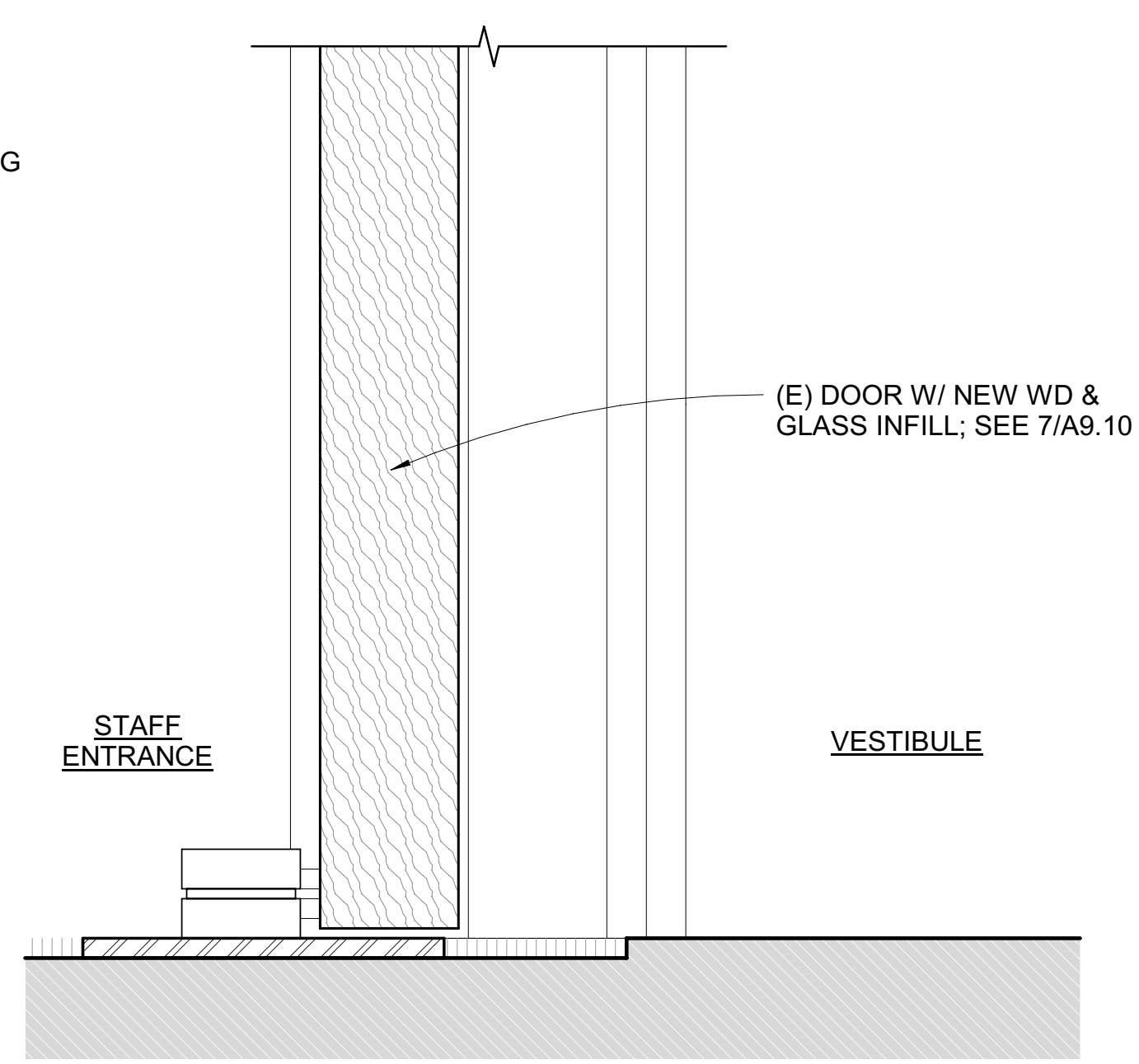
**5 SIDELIGHT MIDDLE RAIL**  
 A9.10 6" = 1'-0"



**2 DOOR HEAD / TRANSOM SILL**  
 A9.10 6" = 1'-0"

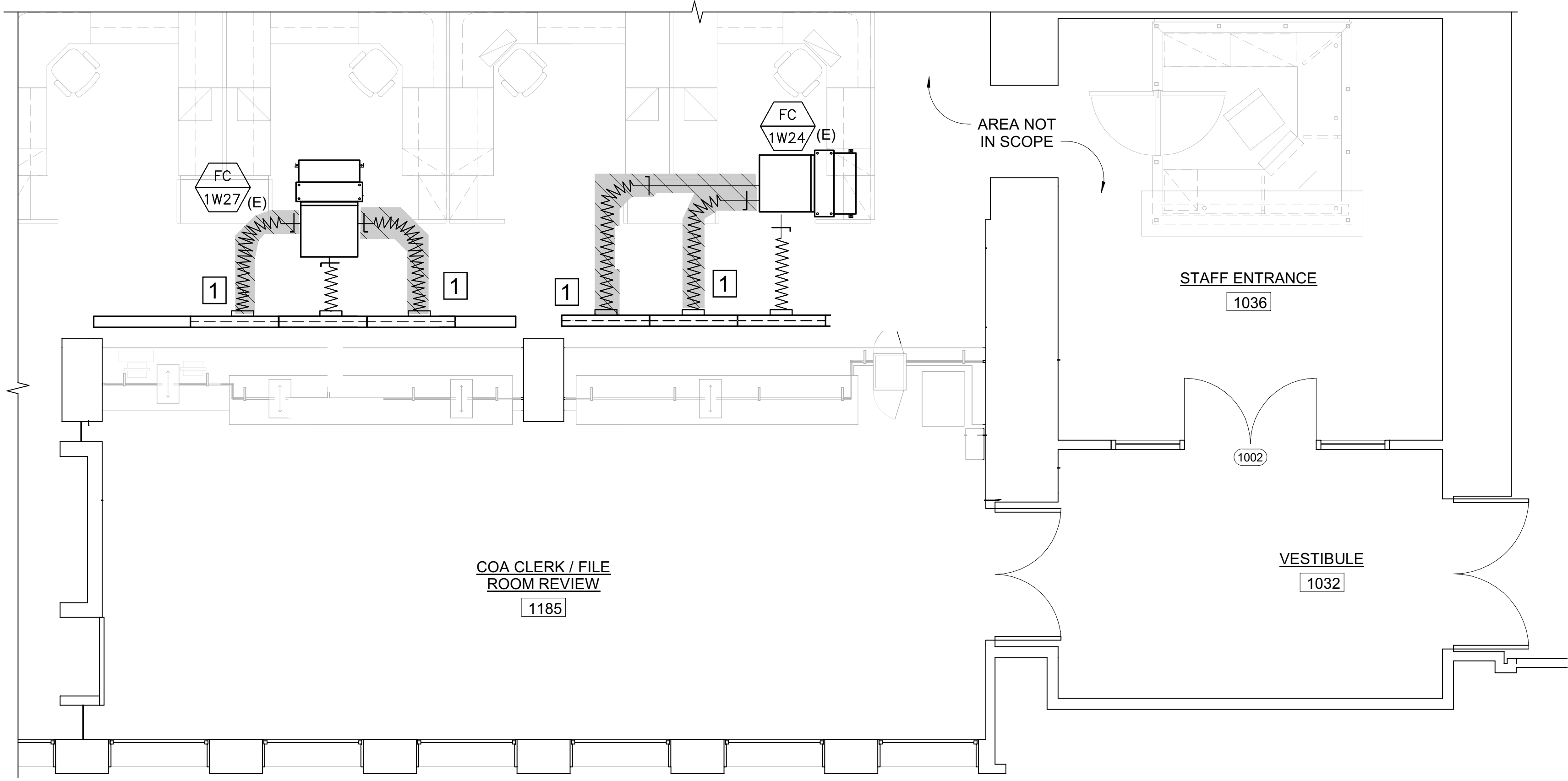


**4 SIDELIGHT BASE**  
 A9.10 6" = 1'-0"

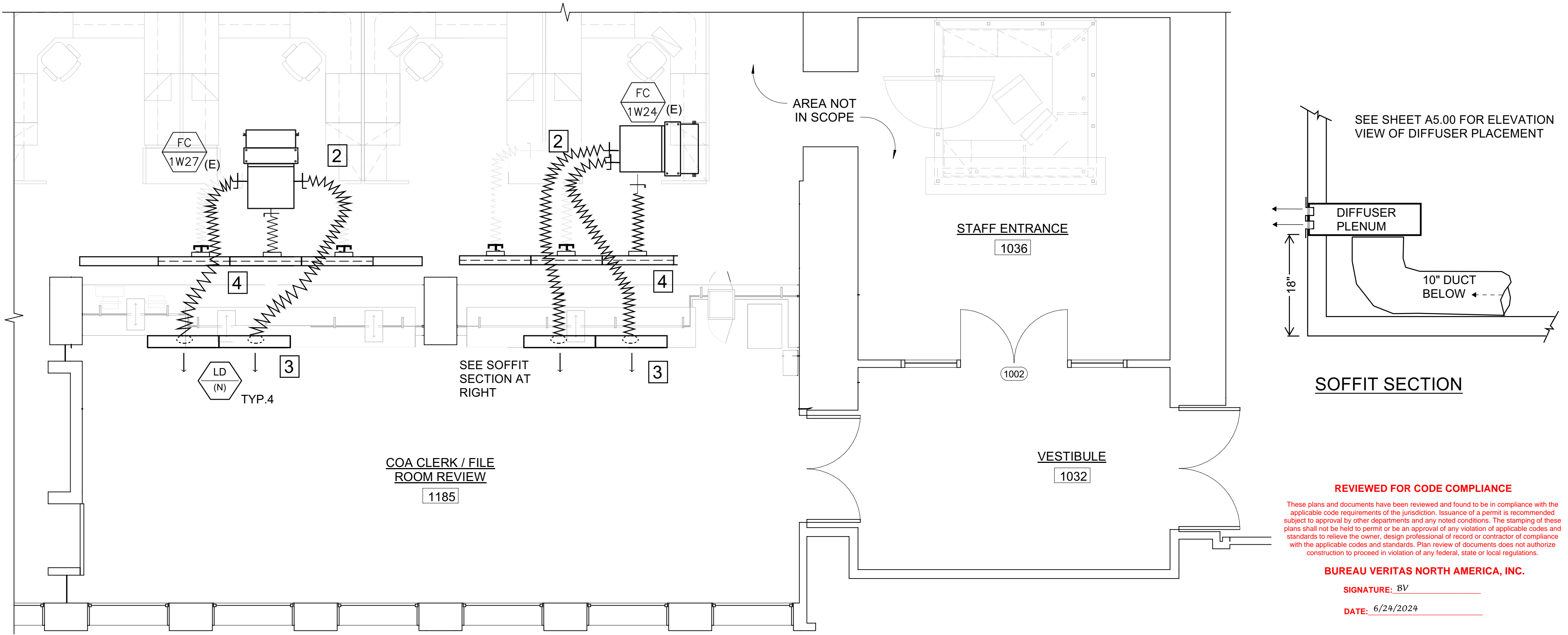


**1 DOOR BASE**  
 A9.10 6" = 1'-0"

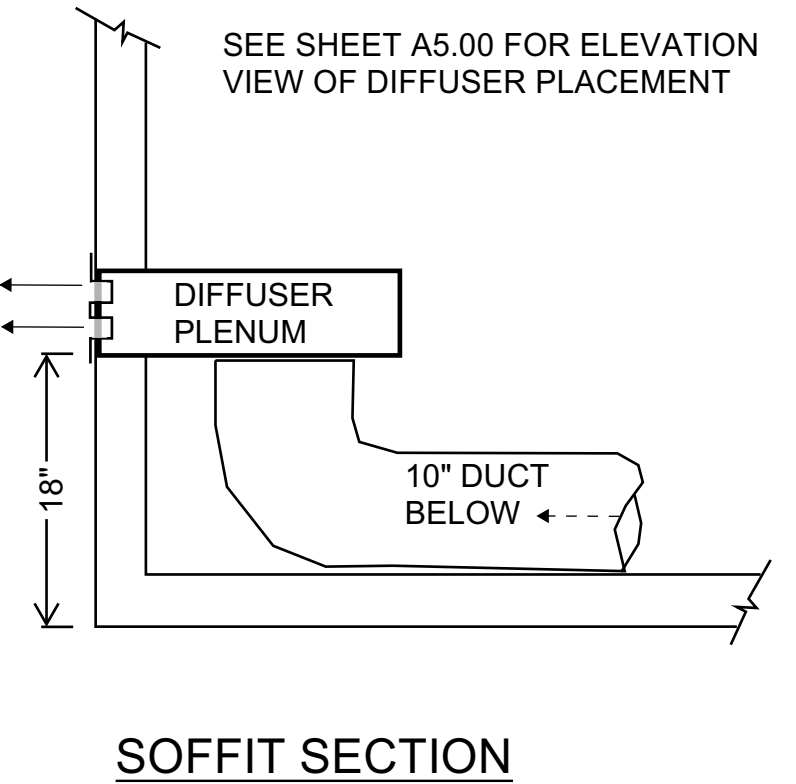
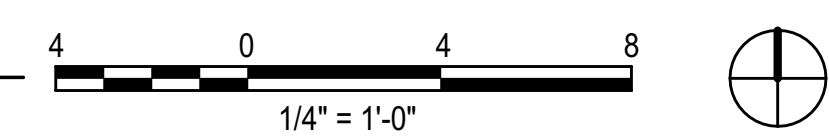
**REVIEWED FOR CODE COMPLIANCE**  
 These plans and documents have been reviewed and found to be in compliance with the applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.  
**BUREAU VERITAS NORTH AMERICA, INC.**  
 SIGNATURE: BV  
 DATE: 6/24/2024



**2** REMOVALS PLAN  
 M1.01 1/4" = 1'-0"



**1** FLOOR PLAN  
 M1.01 1/4" = 1'-0"



**REVIEWED FOR CODE COMPLIANCE**  
 These plans and documents have been reviewed and found to be in compliance with the applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.  
**BUREAU VERITAS NORTH AMERICA, INC.**  
 SIGNATURE: BV  
 DATE: 6/24/2024

**FLOOR PLAN GENERAL NOTES**

- SEE GENERAL PROJECT NOTES ON T1.10.
- PATCH WALL AND CEILING SURFACES OPENED FOR INSTALLATION OF STRUCTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL WORK. REPAIR AND REINSTALL WOOD BASE AND TRIM REMOVED FOR CONSTRUCTION.
- PATCH FLOORS AND WALL AND CEILING SURFACES AND INFILL WOOD TRIM WHERE WALLS REMOVED OR MODIFIED TO PROVIDE CONTINUOUS SURFACE.
- NEW OPENINGS TO BE CASED IN TRIM TO MATCH ADJACENT.
- COURT IS RESPONSIBLE FOR 1) REMOVING ALL LOOSE EQUIPMENT AND OTHER ITEMS FROM THE PUBLIC SERVICE COUNTER PRIOR TO START OF WORK, AND 2) REINSTATING AND SETTING UP LOOSE EQUIPMENT AT SUBSTANTIAL COMPLETION OF WORK.
- CONTRACTOR TO PROTECT (E) FINISH FLOORING; DAMAGE TO (E) FLOORING TO BE REMEDIATED BY CONTRACTOR TO THE SATISFACTION OF THE COURT.

**MECHANICAL GENERAL NOTES**

- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS (C.C.R.), 2022 CMC.
- ALL SYSTEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL APPLICABLE CITY, COUNTY, FEDERAL AND STATE CODES AND ORDINANCES, AND SHALL MEET ALL REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
- SYSTEM LAYOUTS AS INDICATED ON DRAWINGS ARE GENERALLY DIAGRAMMATIC BUT SHALL BE FOLLOWED AS CLOSELY AS ACTUAL CONSTRUCTION WILL PERMIT.
- PRIOR TO SUBMISSION OF BID, REVIEW FULL SET OF NEW CONSTRUCTION DRAWINGS (INCLUDING ALL OTHER TRADES). INCLUDE ANY ADDITIONAL PIPE OR DUCT OFF-SETS THAT ARE NOT CURRENTLY SHOWN ON DRAWINGS BUT MAY BE REQUIRED TO CLEAR STRUCTURE, FINISHES OR WORK OF OTHER TRADES. NO EXTRA PAYMENT WILL BE ALLOWED FOR WORK RESULTING FROM LACK OF PROPER INITIAL APPRAISAL OF ENTIRE SCOPE OF WORK. SUBMIT REQUESTS FOR INFORMATIONS (RFIS) AS REQUIRED TO ANSWER ANY QUESTIONS THAT MAY ARISE DURING BIDDING PHASE. CLEARLY INDICATE SCOPE INCLUSION AND EXCLUSION IN BID.
- FURNISH ALL LABOR, MATERIALS, TRANSPORTATION, AND PERFORM ALL REQUIRED OPERATIONS TO PROVIDE COMPLETE AND OPERABLE MECHANICAL SYSTEM, IN ACCORDANCE WITH THE FULL INTENT AND MEANING OF THE DRAWINGS AND SPECIFICATIONS AND PER STANDARD TRADE PRACTICES.
- WORKMANSHIP SHALL BE FIRST CLASS THROUGHOUT AND PERFORMED ONLY BY COMPETENT AND EXPERIENCED WORKMEN IN A MANNER SATISFACTORY TO THE OWNER AND ARCHITECT.
- NOTIFY ARCHITECT AND GENERAL CONTRACTOR 48 HOURS IN ADVANCE BEFORE ANY TESTING.
- PER CALIFORNIA GREEN BUILDING STANDARDS CODE (PART 11 OF TITLE 24, CALIFORNIA CODE OF REGULATIONS):  
 A. PROTECT DUCT OPENINGS AND MECHANICAL EQUIPMENT DURING CONSTRUCTION.  
 B. LIMIT USE OF PERMANENT HVAC DURING CONSTRUCTION TO CONDITIONING NECESSARY FOR MATERIAL AND EQUIPMENT INSTALLATION. IF PERMANENT HVAC IS USED DURING CONSTRUCTION, INSTALL MERV-8 FILTERS ON RETURNS, AND REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY, OR, IF THE BUILDING IS OCCUPIED DURING ALTERATION, AT THE CONCLUSION OF CONSTRUCTION.

**SHEET NOTES**

- REMOVE DUCT, CAP DIFFUSER PLENUM OPENING. RESERVE THE FAN COIL PLENUM OPENINGS FOR CONNECTION OF (N) DUCT 10" FLEX DUCTS. SEE DETAIL 1, THIS SHEET.
- PROVIDE & INSTALL (N) 10" FLEXIBLE DUCT TO PLENUM AT EXISTING OPENING. INCLUDE BALANCING DAMPER.
- PROVIDE & INSTALL FOUR (N) 48" LINEAR DIFFUSER, LD, WITH 10" COLLAR PLENUM. FACE OF DIFFUSER ON WALL HEIGHT ABOVE BALLISTIC GLAZING TO COORDINATE WITH DUCT ELEVATION LIMITATIONS INSIDE THE SOFFIT AND ARCHITECT'S DIRECTION WITHIN THE LIMITATIONS OF THE SOFFIT. BALANCE (N) DIFFUSER LD AIR FLOW TO 200CFM EACH.
- BALANCE EXISTING DIFFUSER TO REMAIN AIR FLOW TO 110CFM.

**MECHANICAL SCHEDULE**

LD:	TITUS ML-39 LINEAR DIFFUSER SIZE 48", TWO 1" SLOTS, WITH 10" INLET MP-39 PLENUM. 200CFM, 0.065IWG STATIC PRESS, NC-32.
FLEX DUCT:	THERMAFLEX M-KC INSULATED FLEXIBLE AIR DUCT OR APPROVED EQUAL, R6, 10" DIAMETER.
MANUAL VOLUME DAMPER:	GREENSEAM GR6POCR10GA26D FLANGED DUCT COLLAR WITH DAMPER, OR APPROVED EQUAL.



**Architectural Resources Group**  
 Pier 9, The Embarcadero Suite 107  
 San Francisco, California 94111  
 415.421.1680

MECHANICAL CONSULTANT:  
**EDesignC Incorporated**  
 585 MARKET STREET, SUITE 400  
 SAN FRANCISCO, CA 94104  
 282 9TH STREET, SUITE 303  
 OAKLAND, CA 94607  
 91 GRADBOY LANE, SUITE 3  
 PLEASANT HILL, CA 94523  
 (415) 963-4303

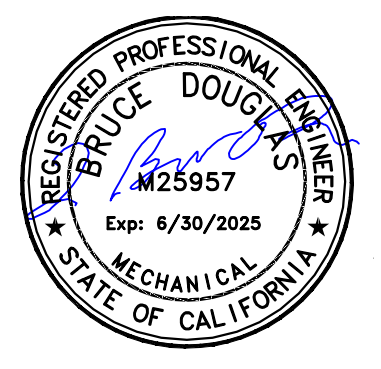
NO.	DESCRIPTION	DATE
REVISIONS		

**SAN FRANCISCO FIRST DISTRICT COURT OF APPEAL**  
 CLERK'S OFFICE IMPROVEMENTS  
 350 McALLISTER ST  
 SAN FRANCISCO, CA 94102

SHEET TITLE  
**MECHANICAL FLOOR PLAN & REMOVALS PLAN**

ISSUANCE  
 SFM RESUBMISSION  
**5/22/2024**

PROJ. NO.  
180218.08  
 DRAWN  
 CHECKED



DRAWING NO.  
**M1.01** V2

# San Francisco First District Court of Appeal Clerk's Office Improvements

## Project Manual/Specifications 100% CD

November 1, 2023



stamped 11-13-23



Architectural  
Resources Group

### REVIEWED FOR CODE COMPLIANCE

These plans and documents have been reviewed and found to be in compliance with the applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.

### BUREAU VERITAS NORTH AMERICA, INC.

SIGNATURE: BV

DATE: 6/24/2024



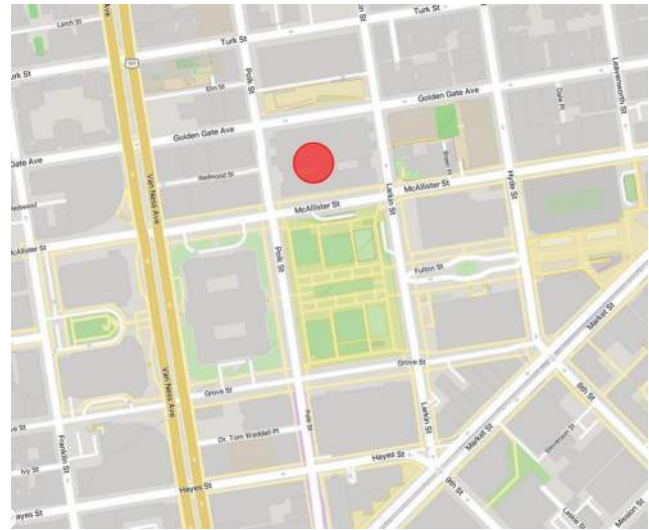
# San Francisco First District Court of Appeal Clerk's Office Improvements

## Project Manual/Specifications 100% CD

November 1, 2023

### PROJECT LOCATION

Earl Warren Building  
Ronald M. George State Office Complex  
350 McAllister St.  
San Francisco, CA 94102



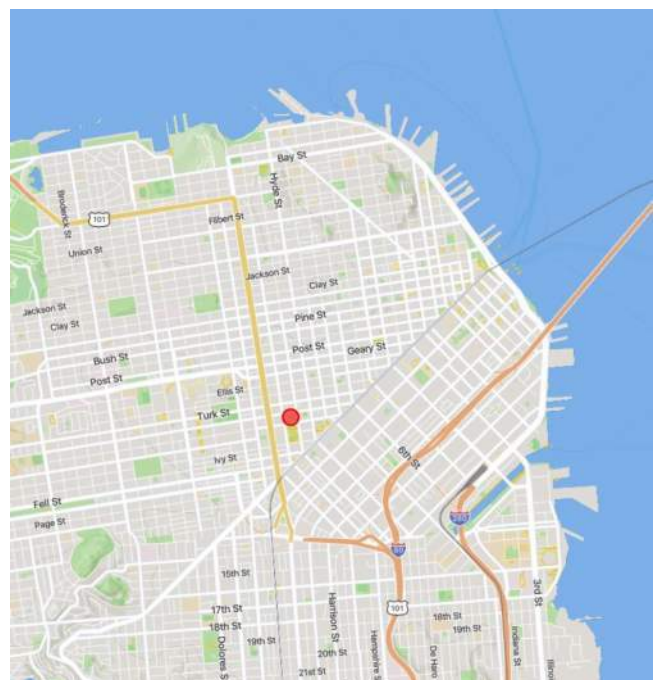
### PROJECT TEAM

#### CLIENT

**Judicial Council of California**  
455 Golden Gate Avenue  
San Francisco, CA 94102-3688

#### ARCHITECT

**Architectural Resources Group**  
Pier 9, The Embarcadero  
Suite 107  
San Francisco, CA 94111



## TABLE OF CONTENTS

### **DIVISION 01 - GENERAL REQUIREMENTS**

01 11 00	SUMMARY OF WORK
01 31 19	PROJECT MEETINGS
01 32 00	CONSTRUCTION PROGRESS DOCUMENTATION
01 33 00	SUBMITTAL PROCEDURES
01 40 00	QUALITY REQUIREMENTS
01 73 29	CUTTING AND PATCHING
01 77 00	CLOSEOUT PROCEDURES

**DIVISION 02 - EXISTING CONDITIONS** *NOT USED*

**DIVISION 03 - CONCRETE** *NOT USED*

### **DIVISION 05 - METALS**

05 70 00	ARCHITECTURAL METAL FABRICATIONS
----------	----------------------------------

### **DIVISION 06 - WOOD, PLASTICS, AND COMPOSITES**

06 20 23	INTERIOR FINISH CARPENTRY
----------	---------------------------

**DIVISION 07 - THERMAL AND MOISTURE PROTECTION** *NOT USED*

### **DIVISION 08 - OPENINGS**

08 14 33	STILE AND RAIL WOOD DOORS AND FRAMES
08 74 13	CARD KEY ACCESS CONTROL SYSTEM
08 81 26	INTERIOR GLAZING

**DIVISION 09 - FINISHES** *NOT USED*

**DIVISION 10 - SPECIALTIES** *NOT USED*

### **DIVISION 11 – EQUIPMENT**

11 22 00	SECURITY EQUIPMENT
----------	--------------------

### **DIVISION 23 - HVAC**

*SEE SHEET SPECIFICATIONS ON M1.01*

### **APPENDICES**

A.	HAZARDOUS MATERIALS REPORT
B.	CUTSHEETS

**SECTION 01 11 00  
SUMMARY OF WORK**

**PART 1 GENERAL**

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

1.2 WORK COVERED BY CONTRACT DOCUMENTS

- A. Project Identification: Project consists of improvements to the San Francisco First District Court of Appeal Clerk's Office.
  - 1. Project Location: Earl Warren Building at the Ronald M. George State Office Complex, 350 McAllister Street, San Francisco, CA 94102
  - 2. Client: Judicial Council of California
- B. Architect Identification: The Contract Documents were prepared for Project by Architectural Resources Group.

1.3 CONTRACT

- A. Project will be constructed under a general construction contract.

1.4 USE OF PREMISES

- A. Owner will continue operations in the Courthouse during Construction. Contractor shall have full access to the site during the construction period. Contractor's use of premises is limited only by Owner's right to perform work or retain other contractors on portions of Project. Coordination for site work will be require notice to Owner for coordination with on-site employees.

1.5 SPECIFICATION FORMATS AND CONVENTIONS

- A. Specification Format: The Specifications are organized into Divisions and Sections using the CSI/CSC's "MasterFormat" numbering system.
  - 1. Section Identification: The Specifications use section numbers and titles to help cross-referencing in the Contract Documents. Sections in the Project Manual are in numeric sequence; however, the sequence is incomplete. Consult the table of contents at the beginning of the Project Manual to determine numbers and names of sections in the Contract Documents.
- B. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
  - 1. Abbreviated Language: Language used in the Specifications and other Contract Documents is abbreviated. Words and meanings shall be interpreted as appropriate. Words implied, but not stated, shall be inferred as the sense requires. Singular words shall be interpreted as plural, and plural words shall be interpreted as singular where applicable as the context of the Contract Documents indicates.

2. Imperative mood and streamlined language are generally used in the Specifications. Requirements expressed in the imperative mood are to be performed by Contractor. Occasionally, the indicative or subjunctive mood may be used in the Section Text for clarity to describe responsibilities that must be fulfilled indirectly by Contractor or by others when so noted.
  - a. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.

**PART 2 PRODUCTS (Not Used)**

**PART 3 EXECUTION (Not Used)**

END OF SECTION 01 11 00

**SECTION 01 31 19  
PROJECT MEETINGS**

**PART 1 GENERAL**

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section specifies administrative and procedural requirements for project meetings, including, but not limited to, the following:
  - 1. Preconstruction conferences.
  - 2. Progress meetings.
- B. Related Sections: The following Sections contain requirements that relate to this Section:
  - 1. Division 1 Section "Submittal Procedures" for submitting the Contractor's Construction Schedule.

1.3 PRECONSTRUCTION CONFERENCE

- A. Schedule a preconstruction conference before starting construction, at a time convenient to the Owner and the Architect, but no later than 15 days after execution of the Agreement. Hold the conference at the Project Site or another convenient location. Conduct the meeting to review responsibilities and personnel assignments.
- B. Attendees: Authorized representatives of the Owner, Architect, and their consultants; the Contractor and its superintendent; major subcontractors; manufacturers; suppliers; and other concerned parties shall attend the conference. All participants at the conference shall be familiar with the Project and authorized to conclude matters relating to the Work.
- C. Agenda: Discuss items of significance that could affect progress, including the following:
  - 1. Tentative construction schedule.
  - 2. Critical work sequencing.
  - 3. Designation of responsible personnel.
  - 4. Procedures for processing field decisions and Change Orders.
  - 5. Procedures for processing Applications for Payment.
  - 6. Distribution of Contract Documents.
  - 7. Submittal of Shop Drawings, Product Data, and Samples.
  - 8. Preparation of record documents.
  - 9. Use of the premises.
  - 10. Parking availability.
  - 11. Office, work, and storage areas.
  - 12. Equipment deliveries and priorities.
  - 13. Safety procedures.
  - 14. First aid.
  - 15. Security.
  - 16. Housekeeping.
  - 17. Working hours.

#### 1.4 PROGRESS MEETINGS

- A. Conduct progress meetings at the Project Site at weekly intervals. Notify the Owner and the Architect of scheduled meeting dates. Coordinate dates of meetings with preparation of the payment request.
- B. Attendees: In addition to representatives of the Owner and the Architect, each subcontractor, supplier, or other entity concerned with current progress or involved in planning, coordination, or performance of future activities shall be represented at these meetings. All participants at the conference shall be familiar with the Project and authorized to conclude matters relating to the Work.
- C. Agenda: Review and correct or approve minutes of the previous progress meeting. Review other items of significance that could affect progress. Include topics for discussion as appropriate to the status of the Project.
  1. Contractor's Construction Schedule: Review progress since the last meeting. Determine where each activity is in relation to the Contractor's Construction Schedule, whether on time or ahead or behind schedule. Determine how construction behind schedule will be expedited; secure commitments from parties involved to do so. Discuss whether schedule revisions are required to insure that current and subsequent activities will be completed within the Contract Time.
  2. Review the present and future needs of each entity present, including the following:
    - a. Interface requirements.
    - b. Time.
    - c. Sequences.
    - d. Status of submittals.
    - e. Deliveries.
    - f. Off-site fabrication problems.
    - g. Access.
    - h. Site utilization.
    - i. Temporary facilities and services.
    - j. Hours of work.
    - k. Hazards and risks.
    - l. Housekeeping.
    - m. Quality and work standards.
    - n. Change Orders.
    - o. Documentation of information for payment requests.
- D. Reporting: No later than 3 days after each meeting, distribute minutes of the meeting to each party present and to parties who should have been present. Include a brief summary, in narrative form, of progress since the previous meeting and report.
  1. Schedule Updating: Revise the Contractor's Construction Schedule after each progress meeting where revisions to the schedule have been made or recognized. Issue the revised schedule concurrently with the report of each meeting.

#### **PART 2 PRODUCTS (Not Used)**

#### **PART 3 EXECUTION (Not Used)**

END OF SECTION 01 31 19

**SECTION 01 32 00  
CONSTRUCTION PROGRESS DOCUMENTATION**

**PART 1 GENERAL**

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes administrative and procedural requirements for documenting the progress of construction during performance of the Work, including the following:

1. Preliminary Construction Schedule.
2. Contractor's Construction Schedule.
3. Submittals Schedule.
4. Field condition reports.
5. Special reports.

- B. Related Sections include the following:

1. Division 1 Section "Payment Procedures" for submitting the Schedule of Values.
2. Division 1 Section "Submittal Procedures" for submitting schedules and reports.
3. Division 1 Section "Quality Requirements" for submitting a schedule of tests and inspections.

1.3 DEFINITIONS

- A. Activity: A discrete part of a project that can be identified for planning, scheduling, monitoring, and controlling the construction project. Activities included in a construction schedule consume time and resources.

1. Critical activities are activities on the critical path. They must start and finish on the planned early start and finish times.
2. Predecessor activity is an activity that must be completed before a given activity can be started.

- B. Critical Path: The longest continuous chain of activities through the network schedule that establishes the minimum overall Project duration and contains no float.

- C. Event: The starting or ending point of an activity.

- D. Float: The measure of leeway in starting and completing an activity.

1. Float time is not for the exclusive use or benefit of either Owner or Contractor, but is a jointly owned, expiring Project resource available to both parties as needed to meet schedule milestones and Contract completion date.
2. Free float is the amount of time an activity can be delayed without adversely affecting the early start of the following activity.
3. Total float is the measure of leeway in starting or completing an activity without adversely affecting the planned Project completion date.

- E. Major Area: A significant construction element.
- F. Milestone: A key or critical point in time for reference or measurement.

#### 1.4 SUBMITTALS

- A. Submittals Schedule: Submit three copies of schedule. Arrange the following information in a tabular format:
  - 1. Scheduled date for first submittal.
  - 2. Specification Section number and title.
  - 3. Submittal category (action or informational).
  - 4. Name of subcontractor.
  - 5. Description of the Work covered.
  - 6. Scheduled date for Architect's final release or approval.
- B. Preliminary Construction Schedule: Submit two printed copies large enough to show entire schedule for entire construction period.
- C. Contractor's Construction Schedule: Submit two printed copies of initial schedule, large enough to show entire schedule for entire construction period.
- D. Field Condition Reports: Submit two copies at time of discovery of differing conditions.
- E. Special Reports: Submit two copies at time of unusual event.

#### 1.5 COORDINATION

- A. Coordinate preparation and processing of schedules and reports with performance of construction activities and with scheduling and reporting of separate contractors.
- B. Coordinate Contractor's Construction Schedule with the Schedule of Values, list of subcontracts, Submittals Schedule, progress reports, payment requests, and other required schedules and reports.
  - 1. Secure time commitments for performing critical elements of the Work from parties involved.
  - 2. Coordinate each construction activity with other activities and schedule them in proper sequence.

### **PART 2 PRODUCTS**

#### 2.1 SUBMITTALS SCHEDULE

- A. Preparation: Submit a schedule of submittals, arranged in chronological order by dates required by construction schedule. Include time required for review, resubmittal, ordering, manufacturing, fabrication, and delivery when establishing dates.
  - 1. Coordinate Submittals Schedule with list of subcontracts, the Schedule of Values, and Contractor's Construction Schedule.
  - 2. Initial Submittal: Submit concurrently with preliminary bar-chart schedule. Include submittals required during the first 60 days of construction. List those required to

maintain orderly progress of the Work and those required early because of long lead time for manufacture or fabrication.

3. Final Submittal: Submit concurrently with the first complete submittal of Contractor's Construction Schedule.

## 2.2 CONTRACTOR'S CONSTRUCTION SCHEDULE, GENERAL

- A. Procedures: Comply with procedures contained in AGC's "Construction Planning & Scheduling."
- B. Time Frame: Extend schedule from date established for commencement of the Work to date of Final Completion.
  1. Contract completion date shall not be changed by submission of a schedule that shows an early completion date, unless specifically authorized by Change Order.
- C. Activities: Treat each separate area as a separate numbered activity for each principal element of the Work. Comply with the following:
  1. Activity Duration: Define activities so no activity is longer than 20 days, unless specifically allowed by Architect.
  2. Procurement Activities: Include procurement process activities for long lead items and major items, requiring a cycle of more than 60 days, as separate activities in schedule. Procurement cycle activities include, but are not limited to, submittals, approvals, purchasing, fabrication, and delivery.
  3. Mock-ups: Include preparation and review time for required submittals.
  4. Submittal Review Time: Include review and resubmittal times indicated in Division 1 Section "Submittal Procedures" in schedule. Coordinate submittal review times in Contractor's Construction Schedule with Submittals Schedule.
  5. Startup and Testing Time: Include days for startup and testing.
  6. Substantial Completion: Indicate completion in advance of date established for Substantial Completion, and allow time for Architect's administrative procedures necessary for certification of Substantial Completion.
- D. Constraints: Include constraints and work restrictions indicated in the Contract Documents and as follows in schedule, and show how the sequence of the Work is affected.
  1. Phasing: Arrange list of activities on schedule by phase.
  2. Products Ordered in Advance: Include a separate activity for each product. Include delivery date indicated in Division 1 Section "Summary." Delivery dates indicated stipulate the earliest possible delivery date.
  3. Work Restrictions: Show the effect of the following items on the schedule:
- E. Milestones: Include milestones indicated in the Contract Documents in schedule, including, but not limited to, the Notice to Proceed, interim milestones as appropriate, Substantial Completion, and Final Completion.
- F. Contract Modifications: For each proposed contract modification and concurrent with its submission, prepare a time-impact analysis using fragnets to demonstrate the effect of the proposed change on the overall project schedule.

## 2.3 PRELIMINARY CONSTRUCTION SCHEDULE

- A. Bar-Chart Schedule: Submit preliminary horizontal bar-chart-type construction schedule within seven days of date established for commencement of the Work.

- B. Preparation: Indicate each significant construction activity separately. Identify first workday of each week with a continuous vertical line. Outline significant construction activities for first 60 days of construction. Include skeleton diagram for the remainder of the Work and a cash requirement prediction based on indicated activities.

#### 2.4 CONTRACTOR'S CONSTRUCTION SCHEDULE (GANTT CHART)

- A. Gantt-Chart Schedule: Submit a comprehensive, fully developed, horizontal Gantt-chart-type, Contractor's Construction Schedule within 30 days of date established for commencement of the Work. Base schedule on the Preliminary Construction Schedule and whatever updating and feedback was received since the start of Project.
- B. Preparation: Indicate each significant construction activity separately. Identify first workday of each week with a continuous vertical line.
  - 1. For construction activities that require 3 months or longer to complete, indicate an estimated completion percentage in 10 percent increments within time bar.

#### 2.5 REPORTS

- A. Field Condition Reports: Immediately on discovery of a difference between field conditions and the Contract Documents, prepare a detailed report. Submit with a request for information. Include a detailed description of the differing conditions, together with recommendations for changing the Contract Documents.

#### 2.6 SPECIAL REPORTS

- A. General: Submit special reports directly to Owner within one day of an occurrence. Distribute copies of report to parties affected by the occurrence.
- B. Reporting Unusual Events: When an event of an unusual and significant nature occurs at Project site, whether or not related directly to the Work, prepare and submit a special report. List chain of events, persons participating, response by Contractor's personnel, evaluation of results or effects, and similar pertinent information. Advise Owner in advance when these events are known or predictable.

### **PART 3 EXECUTION**

#### 3.1 CONTRACTOR'S CONSTRUCTION SCHEDULE

- A. Contractor's Construction Schedule Updating: At semi-monthly intervals, update schedule to reflect actual construction progress and activities. Issue schedule one week before each regularly scheduled progress meeting.
  - 1. Revise schedule immediately after each meeting or other activity where revisions have been recognized or made. Issue updated schedule concurrently with the report of each such meeting.
  - 2. Include a report with updated schedule that indicates every change, including, but not limited to, changes in logic, durations, actual starts and finishes, and activity durations.
  - 3. As the Work progresses, indicate Actual Completion percentage for each activity.

- B. Distribution: Distribute copies of approved schedule to Architect, Owner, separate contractors, testing and inspecting agencies, and other parties identified by Contractor with a need-to-know schedule responsibility.
1. Post copies in Project meeting rooms and temporary field offices.
  2. When revisions are made, distribute updated schedules to the same parties and post in the same locations. Delete parties from distribution when they have completed their assigned portion of the Work and are no longer involved in performance of construction activities.

END OF SECTION 01 32 00

**SECTION 01 33 00  
SUBMITTAL PROCEDURES**

**PART 1 GENERAL**

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes administrative and procedural requirements for submitting Shop Drawings, Product Data, Samples, and other miscellaneous submittals.
- B. Related Sections include the following:
  - 1. Division 1 Section "Payment Procedures" for submitting Applications for Payment.
  - 2. Division 1 Section "Construction Progress Documentation" for submitting schedules and reports, including Contractor's Construction Schedule and the Submittals Schedule.
  - 3. Division 1 Section "Quality Requirements" for submitting test and inspection reports and Delegated-Design Submittals and for erecting mockups.
  - 4. Division 1 Section "Closeout Procedures" for submitting warranties Project Record Documents and operation and maintenance manuals.

1.3 DEFINITIONS

- A. Action Submittals: Written and graphic information that requires Architect's responsive action.
- B. Informational Submittals: Written information that does not require Architect's approval. Submittals may be rejected for not complying with requirements.

1.4 SUBMITTAL PROCEDURES

- A. General: Electronic copies of CAD Drawings of the Contract Drawings will not be provided by Architect for Contractor's use in preparing submittals.
- B. Coordination: Coordinate preparation and processing of submittals with performance of construction activities.
  - 1. Coordinate each submittal with fabrication, purchasing, testing, delivery, other submittals, and related activities that require sequential activity.
  - 2. Coordinate transmittal of different types of submittals for related parts of the Work so processing will not be delayed because of need to review submittals concurrently for coordination.
    - a. Architect reserves the right to withhold action on a submittal requiring coordination with other submittals until related submittals are received.
- C. Submittals Schedule: Comply with requirements in Division 1 Section "Construction Progress Documentation" for list of submittals and time requirements for scheduled performance of related construction activities.
- D. Processing Time: Allow enough time for submittal review, including time for resubmittals, as follows. Time for review shall commence on Architect's receipt of submittal.

1. Initial Review: Allow 15 days for initial review of each submittal. Allow additional time if processing must be delayed to permit coordination with subsequent submittals. Architect will advise Contractor when a submittal being processed must be delayed for coordination.
  2. Concurrent Review: Where concurrent review of submittals by Architect's consultants, Owner, or other parties is required, allow 21 days for initial review of each submittal.
  3. Allow 15 days for processing each resubmittal.
  4. No extension of the Contract Time will be authorized because of failure to transmit submittals enough in advance of the Work to permit processing.
- E. Identification: Place a permanent label or title block on each submittal for identification.
1. Indicate name of firm or entity that prepared each submittal on label or title block.
  2. Provide a space approximately 4 by 5 inches on label or beside title block to record Contractor's review and approval markings and action taken by Architect.
  3. Include the following information on label for processing and recording action taken:
    - a. Project name.
    - b. Date.
    - c. Name and address of Architect.
    - d. Name and address of Contractor.
    - e. Name and address of subcontractor or supplier.
    - f. Unique identifier, including revision number.
    - g. Number and title of appropriate Specification Section.
    - h. Drawing number and detail references, as appropriate.
    - i. Other necessary identification.
- F. Deviations: Highlight, encircle, or otherwise identify deviations from the Contract Documents on submittals.
- G. Additional Copies: Unless additional copies are required for final submittal, and unless Architect observes noncompliance with provisions of the Contract Documents, initial submittal may serve as final submittal.
1. Submit one copy of submittal to concurrent reviewer in addition to specified number of copies to Architect.
  2. Additional copies submitted for maintenance manuals will not be marked with action taken and will be returned.
- H. Transmittal: Package each submittal individually and appropriately for transmittal and handling. Transmit each submittal using a transmittal form. Architect will return submittals, without review, received from sources other than Contractor.
1. On an attached separate sheet, prepared on Contractor's letterhead, record relevant information, requests for data, revisions other than those requested by Architect on previous submittals, and deviations from requirements of the Contract Documents, including minor variations and limitations. Include the same label information as the related submittal.
  2. Include Contractor's certification stating that information submitted complies with requirements of the Contract Documents.
  3. Transmittal Form: Provide locations on form for the following information:
    - a. Project name.
    - b. Date.
    - c. Destination (To:).

- d. Source (From:).
  - e. Names of subcontractor, manufacturer, and supplier.
  - f. Category and type of submittal.
  - g. Submittal purpose and description.
  - h. Submittal and transmittal distribution record.
  - i. Remarks.
  - j. Signature of transmitter.
- I. Distribution: Furnish copies of final submittals to manufacturers, subcontractors, suppliers, fabricators, installers, authorities having jurisdiction, and others as necessary for performance of construction activities. Show distribution on transmittal forms.
  - J. Use for Construction: Use only final submittals with mark indicating action taken by Architect in connection with construction.

## **PART 2 PRODUCTS**

### **2.1 ACTION SUBMITTALS**

- A. General: Prepare and submit Action Submittals required by individual Specification Sections.
  - 1. Submit each submittal, as follows, unless otherwise indicated:
    - a. Initial Submittal: Submit a preliminary submittal where selection of options, color, pattern, texture, or similar characteristics is required. Architect will return submittal with options selected.
    - b. Final Submittal: Submit to Architect and retain copies where required for operation and maintenance manuals. Retain returned copy as a Project Record Document.
- B. Product Data: Collect information into a single submittal for each element of construction and type of product or equipment.
  - 1. If information must be specially prepared for submittal because standard printed data are not suitable for use, submit as Shop Drawings, not as Product Data.
  - 2. Mark each copy of each submittal to show which products and options are applicable.
  - 3. Include the following information, as applicable:
    - a. Manufacturer's written recommendations.
    - b. Manufacturer's product specifications.
    - c. Manufacturer's installation instructions.
    - d. Standard color charts.
    - e. Manufacturer's catalog cuts.
    - f. Wiring diagrams showing factory-installed wiring.
    - g. Printed performance curves.
    - h. Operational range diagrams.
    - i. Mill reports.
    - j. Standard product operating and maintenance manuals.
    - k. Compliance with recognized trade association standards.
    - l. Compliance with recognized testing agency standards.
    - m. Application of testing agency labels and seals.
    - n. Notation of coordination requirements.

- C. Shop Drawings: Prepare Project-specific information, drawn accurately to scale. Do not base Shop Drawings on reproductions of the Contract Documents or standard printed data.
1. Preparation: Include the following information, as applicable:
    - a. Dimensions.
    - b. Identification of products.
    - c. Fabrication and installation drawings.
    - d. Roughing-in and setting diagrams.
    - e. Wiring diagrams showing field-installed wiring, including power, signal, and control wiring.
    - f. Shopwork manufacturing instructions.
    - g. Templates and patterns.
    - h. Schedules.
    - i. Design calculations.
    - j. Compliance with specified standards.
    - k. Notation of coordination requirements.
    - l. Notation of dimensions established by field measurement.
  2. Wiring Diagrams: Differentiate between manufacturer-installed and field-installed wiring.
  3. Sheet Size: Except for templates, patterns, and similar full-size drawings, submit Shop Drawings on sheets at least 8-1/2 by 11 inches but no larger than 30 by 40 inches.
- D. Samples: Prepare physical units of materials or products, including the following:
1. Comply with requirements in Division 1 Section "Quality Requirements" for mockups.
  2. Samples for Initial Selection: Submit manufacturer's color charts consisting of units or sections of units showing the full range of colors, textures, and patterns available.
  3. Samples for Verification: Submit full-size units or Samples of size indicated, prepared from the same material to be used for the Work, cured and finished in manner specified, and physically identical with the product proposed for use, and that show full range of color and texture variations expected. Samples include, but are not limited to, the following: partial sections of manufactured or fabricated components; small cuts or containers of materials; complete units of repetitively used materials; swatches showing color, texture, and pattern; color range sets; and components used for independent testing and inspection.
  4. Preparation: Mount, display, or package Samples in manner specified to facilitate review of qualities indicated. Prepare Samples to match Architect's sample where so indicated. Attach label on unexposed side that includes the following:
    - a. Generic description of Sample.
    - b. Product name or name of manufacturer.
    - c. Sample source.
  5. Additional Information: On an attached separate sheet, prepared on Contractor's letterhead, provide the following:
    - a. Size limitations.
    - b. Compliance with recognized standards.
    - c. Availability.
    - d. Delivery time.

6. Submit Samples for review of kind, color, pattern, and texture for a final check of these characteristics with other elements and for a comparison of these characteristics between final submittal and actual component as delivered and installed.
    - a. If variation in color, pattern, texture, or other characteristic is inherent in the product represented by a Sample, submit at least three sets of paired units that show approximate limits of the variations.
    - b. Refer to individual Specification Sections for requirements for Samples that illustrate workmanship, fabrication techniques, details of assembly, connections, operation, and similar construction characteristics.
  7. Number of Samples for Initial Selection: Submit two full sets of available choices where color, pattern, texture, or similar characteristics are required to be selected from manufacturer's product line. Architect will return submittal with options selected.
  8. Number of Samples for Verification: Submit two sets of Samples. Architect will retain one Sample set; remainder will be returned. Mark up and retain one returned Sample set as a Project Record Sample.
    - a. Submit a single Sample where assembly details, workmanship, fabrication techniques, connections, operation, and other similar characteristics are to be demonstrated.
  9. Disposition: Maintain sets of approved Samples at Project site, available for quality-control comparisons throughout the course of construction activity. Sample sets may be used to determine final acceptance of construction associated with each set.
    - a. Samples that may be incorporated into the Work are indicated in individual Specification Sections. Such Samples must be in an undamaged condition at time of use.
    - b. Samples not incorporated into the Work, or otherwise designated as Owner's property, are the property of Contractor.
- E. Product Schedule or List: Prepare a written summary indicating types of products required for the Work and their intended location. Include the following information in tabular form:
1. Type of product. Include unique identifier for each product.
  2. Number and name of room or space.
  3. Location within room or space.
- F. Delegated-Design Submittal: Comply with requirements in Division 1 Section "Quality Requirements."
- G. Submittals Schedule: Comply with requirements in Division 1 Section "Construction Progress Documentation."
- H. Application for Payment: Comply with requirements in Division 1 Section "Payment Procedures."
- I. Schedule of Values: Comply with requirements in Division 1 Section "Payment Procedures."
- J. Subcontract List: Prepare a written summary identifying individuals or firms proposed for each portion of the Work, including those who are to furnish products or equipment fabricated to a special design. Include the following information in tabular form:

1. Name, address, and telephone number of entity performing subcontract or supplying products.
2. Number and title of related Specification Section(s) covered by subcontract.
3. Drawing number and detail references, as appropriate, covered by subcontract.

## 2.2 INFORMATIONAL SUBMITTALS

- A. General: Prepare and submit Informational Submittals required by other Specification Sections.
  1. Certificates and Certifications: Provide a notarized statement that includes signature of entity responsible for preparing certification. Certificates and certifications shall be signed by an officer or other individual authorized to sign documents on behalf of that entity.
  2. Test and Inspection Reports: Comply with requirements in Division 1 Section "Quality Requirements."
- B. Contractor's Construction Schedule: Comply with requirements in Division 1 Section "Construction Progress Documentation."
- C. Qualification Data: Prepare written information that demonstrates capabilities and experience of firm or person. Include lists of completed projects with project names and addresses, names and addresses of architects and owners, and other information specified.
- D. Product Certificates: Prepare written statements on manufacturer's letterhead certifying that product complies with requirements.
- E. Welding Certificates: Prepare written certification that welding procedures and personnel comply with requirements. Submit record of Welding Procedure Specification (WPS) and Procedure Qualification Record (PQR) on AWS forms. Include names of firms and personnel certified.
- F. Installer Certificates: Prepare written statements on manufacturer's letterhead certifying that Installer complies with requirements and, where required, is authorized for this specific Project.
- G. Manufacturer Certificates: Prepare written statements on manufacturer's letterhead certifying that manufacturer complies with requirements. Include evidence of manufacturing experience where required.
- H. Material Certificates: Prepare written statements on manufacturer's letterhead certifying that material complies with requirements.
- I. Material Test Reports: Prepare reports written by a qualified testing agency, on testing agency's standard form, indicating and interpreting test results of material for compliance with requirements.
- J. Preconstruction Test Reports: Prepare reports written by a qualified testing agency, on testing agency's standard form, indicating and interpreting results of tests performed before installation of product, for compliance with performance requirements.
- K. Compatibility Test Reports: Prepare reports written by a qualified testing agency, on testing agency's standard form, indicating and interpreting results of compatibility tests performed before installation of product. Include written recommendations for primers and substrate preparation needed for adhesion.

- L. Field Test Reports: Prepare reports written by a qualified testing agency, on testing agency's standard form, indicating and interpreting results of field tests performed either during installation of product or after product is installed in its final location, for compliance with requirements.
- M. Product Test Reports: Prepare written reports indicating current product produced by manufacturer complies with requirements. Base reports on evaluation of tests performed by manufacturer and witnessed by a qualified testing agency, or on comprehensive tests performed by a qualified testing agency.
- N. Research/Evaluation Reports: Prepare written evidence, from a model code organization acceptable to authorities having jurisdiction, that product complies with building code in effect for Project. Include the following information:
  - 1. Name of evaluation organization.
  - 2. Date of evaluation.
  - 3. Time period when report is in effect.
  - 4. Product and manufacturers' names.
  - 5. Description of product.
  - 6. Test procedures and results.
  - 7. Limitations of use.
- O. Maintenance Data: Prepare written and graphic instructions and procedures for operation and normal maintenance of products and equipment. Comply with requirements in Division 1 Section "Closeout Procedures."
- P. Design Data: Prepare written and graphic information, including, but not limited to, performance and design criteria, list of applicable codes and regulations, and calculations. Include list of assumptions and other performance and design criteria and a summary of loads. Include load diagrams if applicable. Provide name and version of software, if any, used for calculations. Include page numbers.
- Q. Manufacturer's Instructions: Prepare written or published information that documents manufacturer's recommendations, guidelines, and procedures for installing or operating a product or equipment. Include name of product and name, address, and telephone number of manufacturer. Include the following, as applicable:
  - 1. Preparation of substrates.
  - 2. Required substrate tolerances.
  - 3. Sequence of installation or erection.
  - 4. Required installation tolerances.
  - 5. Required adjustments.
  - 6. Recommendations for cleaning and protection.
- R. Manufacturer's Field Reports: Prepare written information documenting factory-authorized service representative's tests and inspections. Include the following, as applicable:
  - 1. Name, address, and telephone number of factory-authorized service representative making report.
  - 2. Statement on condition of substrates and their acceptability for installation of product.
  - 3. Statement that products at Project site comply with requirements.
  - 4. Summary of installation procedures being followed, whether they comply with requirements and, if not, what corrective action was taken.
  - 5. Results of operational and other tests and a statement of whether observed performance complies with requirements.

6. Statement whether conditions, products, and installation will affect warranty.
  7. Other required items indicated in individual Specification Sections.
- S. Insurance Certificates and Bonds: Prepare written information indicating current status of insurance or bonding coverage. Include name of entity covered by insurance or bond, limits of coverage, amounts of deductibles, if any, and term of the coverage.
- T. Construction Photographs: Comply with requirements in Division 1 Section "Construction Progress Documentation."

### **PART 3 EXECUTION**

#### **3.1 CONTRACTOR'S REVIEW**

- A. Review each submittal and check for compliance with the Contract Documents. Note corrections and field dimensions. Mark with approval stamp before submitting to Architect.
- B. Approval Stamp: Stamp each submittal with a uniform, approval stamp. Include Project name and location, submittal number, Specification Section title and number, name of reviewer, date of Contractor's approval, and statement certifying that submittal has been reviewed, checked, and approved for compliance with the Contract Documents.

#### **3.2 ARCHITECT'S ACTION**

- A. General: Architect will not review submittals that do not bear Contractor's approval stamp and will return them without action.
- B. Action Submittals: Architect will review each submittal, make marks to indicate corrections or modifications required, and return it. Architect will stamp each submittal with an action stamp and will mark stamp appropriately to indicate action taken, as follows:
  1. No Exception Taken
  2. Make Corrections Noted
  3. Rejected
  4. Revise and Resubmit
  5. Submit Specified Item
- C. Informational Submittals: Architect will review each submittal and will not return it, or will reject and return it if it does not comply with requirements. Architect forward each submittal to appropriate party.
- D. Submittals not required by the Contract Documents will not be reviewed and may be discarded.

END OF SECTION 01 33 00

**SECTION 01 40 00  
QUALITY REQUIREMENTS**

**PART 1 GENERAL**

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes administrative and procedural requirements for quality assurance and quality control.
- B. Testing and inspecting services are required to verify compliance with requirements specified or indicated. These services do not relieve Contractor of responsibility for compliance with the Contract Document requirements.
  - 1. Specific quality-control requirements for individual construction activities are specified in the Sections that specify those activities. Requirements in those Sections may also cover production of standard products.
  - 2. Specified tests, inspections, and related actions do not limit Contractor's quality-control procedures that facilitate compliance with the Contract Document requirements.
  - 3. Requirements for Contractor to provide quality-control services required by Architect, Owner, or authorities having jurisdiction are not limited by provisions of this Section.
- C. Related Sections include the following:
  - 1. Division 1 Section "Construction Progress Documentation" for developing a schedule of required tests and inspections.
  - 2. Divisions 2 through 26 Sections for specific test and inspection requirements.

1.3 DEFINITIONS

- A. Quality-Assurance Services: Activities, actions, and procedures performed before and during execution of the Work to guard against defects and deficiencies and ensure that proposed construction complies with requirements.
- B. Quality-Control Services: Tests, inspections, procedures, and related actions during and after execution of the Work to evaluate that completed construction complies with requirements. Services do not include contract enforcement activities performed by Architect.
- C. Mockups: Full-size, physical example assemblies to illustrate finishes and materials. Mockups are used to verify selections made under Sample submittals, to demonstrate aesthetic effects and, where indicated, qualities of materials and execution, and to review construction, coordination, testing, or operation; they are not Samples. Mockups establish the standard by which the Work will be judged.
- D. Testing Agency: An entity engaged to perform specific tests, inspections, or both. Testing laboratory shall mean the same as testing agency.

1.4 SUBMITTALS

- A. Qualification Data: For testing agencies specified in "Quality Assurance" Article to demonstrate their capabilities and experience. Include proof of qualifications in the form of a recent report on the inspection of the testing agency by a recognized authority.
- B. Schedule of Tests and Inspections: Prepare in tabular form and include the following:
  - 1. Specification Section number and title.
  - 2. Description of test and inspection.
  - 3. Identification of applicable standards.
  - 4. Identification of test and inspection methods.
  - 5. Number of tests and inspections required.
  - 6. Time schedule or time span for tests and inspections.
  - 7. Entity responsible for performing tests and inspections.
  - 8. Requirements for obtaining samples.
  - 9. Unique characteristics of each quality-control service.
- C. Reports: Prepare and submit certified written reports that include the following:
  - 1. Date of issue.
  - 2. Project title and number.
  - 3. Name, address, and telephone number of testing agency.
  - 4. Dates and locations of samples and tests or inspections.
  - 5. Names of individuals making tests and inspections.
  - 6. Description of the Work and test and inspection method.
  - 7. Identification of product and Specification Section.
  - 8. Complete test or inspection data.
  - 9. Test and inspection results and an interpretation of test results.
  - 10. Ambient conditions at time of sample taking and testing and inspecting.
  - 11. Comments or professional opinion on whether tested or inspected Work complies with the Contract Document requirements.
  - 12. Name and signature of laboratory inspector.
  - 13. Recommendations on retesting and re-inspecting.
- D. Permits, Licenses, and Certificates: For Owner's records, submit copies of permits, licenses, certifications, inspection reports, releases, jurisdictional settlements, notices, receipts for fee payments, judgments, correspondence, records, and similar documents, established for compliance with standards and regulations bearing on performance of the Work.

#### 1.5 QUALITY ASSURANCE

- A. Fabricator Qualifications: A firm experienced in producing products similar to those indicated for this Project and with a record of successful in-service performance, as well as sufficient production capacity to produce required units.
- B. Factory-Authorized Service Representative Qualifications: An authorized representative of manufacturer who is trained and approved by manufacturer to inspect installation of manufacturer's products that are similar in material, design, and extent to those indicated for this Project.
- C. Installer Qualifications: A firm or individual experienced in installing, erecting, or assembling work similar in material, design, and extent to that indicated for this Project, whose work has resulted in construction with a record of successful in-service performance.

- D. Testing Agency Qualifications: An agency with the experience and capability to conduct testing and inspecting indicated, as documented by ASTM E 548, and that specializes in types of tests and inspections to be performed.
- E. Mockups: Before installing portions of the Work requiring mockups, build mockups for each form of construction and finish required to comply with the following requirements, using materials indicated for the completed Work:
  - 1. Build mockups in location and of size indicated or, if not indicated, as directed by Architect.
  - 2. Notify Architect seven days in advance of dates and times when mockups will be constructed.
  - 3. Demonstrate the proposed range of aesthetic effects and workmanship.
  - 4. Obtain Architect's approval of mockups before starting work, fabrication, or construction.
  - 5. Maintain mockups during construction in an undisturbed condition as a standard for judging the completed Work.
  - 6. Demolish and remove mockups when directed, unless otherwise indicated.

## 1.6 QUALITY CONTROL

- A. Owner Responsibilities: Where quality-control services are indicated as Owner's responsibility, Owner will engage a qualified testing agency to perform these services.
  - 1. Owner will furnish Contractor with names, addresses, and telephone numbers of testing agencies engaged and a description of the types of testing and inspecting they are engaged to perform.
  - 2. Payment for these services will be made from testing and inspecting allowances, as authorized by Change Orders.
  - 3. Costs for retesting and re-inspecting construction that replaces or is necessitated by work that failed to comply with the Contract Documents will be charged to Contractor, and the Contract Sum will be adjusted by Change Order.
- B. Contractor Responsibilities: Unless otherwise indicated, provide quality-control services specified and required by authorities having jurisdiction.
  - 1. Where services are indicated as Contractor's responsibility, engage a qualified testing agency to perform these quality-control services.
    - a. Contractor shall not employ the same entity engaged by Owner, unless agreed to in writing by Owner.
  - 2. Notify testing agencies at least 24 hours in advance of time when Work that requires testing or inspecting will be performed.
  - 3. Where quality-control services are indicated as Contractor's responsibility, submit a certified written report, in duplicate, of each quality-control service.
  - 4. Testing and inspecting requested by Contractor and not required by the Contract Documents are Contractor's responsibility.
  - 5. Submit additional copies of each written report directly to authorities having jurisdiction, when they so direct.
- C. Special Tests and Inspections: Owner will engage a testing agency to conduct special tests and inspections required by authorities having jurisdiction as the responsibility of Owner.

1. Testing agency will notify Architect, and Contractor promptly of irregularities and deficiencies observed in the Work during performance of its services.
  2. Testing agency will submit a certified written report of each test, inspection, and similar quality-control service to Architect, with copy to Contractor and to authorities having jurisdiction.
  3. Testing agency will submit a final report of special tests and inspections at Substantial Completion, which includes a list of unresolved deficiencies.
  4. Testing agency will interpret tests and inspections and state in each report whether tested and inspected work complies with or deviates from the Contract Documents.
  5. Testing agency will retest and re-inspect corrected work.
- D. **Manufacturer's Field Services:** Where indicated, engage a factory-authorized service representative to inspect field-assembled components and equipment installation, including service connections. Report results in writing.
- E. **Testing Agency Responsibilities:** Cooperate with Architect, and Contractor in performance of duties. Provide qualified personnel to perform required tests and inspections.
1. Notify Architect, and Contractor promptly of irregularities or deficiencies observed in the Work during performance of its services.
  2. Interpret tests and inspections and state in each report whether tested and inspected work complies with or deviates from requirements.
  3. Submit a certified written report, in duplicate, of each test, inspection, and similar quality-control service through Contractor.
  4. Do not release, revoke, alter, or increase requirements of the Contract Documents or approve or accept any portion of the Work.
  5. Do not perform any duties of Contractor.
- F. **Associated Services:** Cooperate with agencies performing required tests, inspections, and similar quality-control services, and provide reasonable auxiliary services as requested. Notify agency sufficiently in advance of operations to permit assignment of personnel. Provide the following:
1. Access to the Work.
  2. Incidental labor and facilities necessary to facilitate tests and inspections.
  3. Adequate quantities of representative samples of materials that require testing and inspecting. Assist agency in obtaining samples.
  4. Facilities for storage and field-curing of test samples.
  5. Delivery of samples to testing agencies.
  6. Preliminary design mix proposed for use for material mixes that require control by testing agency.
  7. Security and protection for samples and for testing and inspecting equipment at Project site.
- G. **Coordination:** Coordinate sequence of activities to accommodate required quality-assurance and quality-control services with a minimum of delay and to avoid necessity of removing and replacing construction to accommodate testing and inspecting.
1. Schedule times for tests, inspections, obtaining samples, and similar activities.

**PART 2 - PRODUCTS (Not Used)**

## **PART 3 - EXECUTION**

### **3.1 REPAIR AND PROTECTION**

- A. General: On completion of testing, inspecting, sample taking, and similar services, repair damaged construction and restore substrates and finishes.
  - 1. Provide materials and comply with installation requirements specified in other Sections of these Specifications. Restore patched areas and extend restoration into adjoining areas in a manner that eliminates evidence of patching.
  - 2. Comply with the Contract Document requirements for Division 1 Section "Cutting and Patching."
- B. Protect construction exposed by or for quality-control service activities.
- C. Repair and protection are Contractor's responsibility, regardless of the assignment of responsibility for quality-control services.

END OF SECTION 01 40 00

**SECTION 01 73 29  
CUTTING AND PATCHING**

**PART 1 GENERAL**

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes administrative and procedural requirements for cutting and patching.
- B. Related Sections: The following Sections contain requirements that relate to this Section:
  - 1. Division 2 Section "Selective Demolition" for demolition of selected portions of the building for alterations.
  - 2. Refer to other Sections for specific requirements and limitations applicable to cutting and patching individual parts of the Work.
    - a. Requirements of this Section apply to mechanical and electrical installations. Refer to Division 22, 23, and 26 Sections for other requirements and limitations applicable to cutting and patching mechanical and electrical installations.

1.3 SUBMITTALS

- A. Cutting and Patching Proposal: Submit a proposal describing procedures well in advance of the time cutting and patching will be performed if the Owner requires approval of these procedures before proceeding. Request approval to proceed. Include the following information, as applicable, in the proposal:
  - 1. Describe the extent of cutting and patching required. Show how it will be performed and indicate why it cannot be avoided.
  - 2. Approval by the Architect to proceed with cutting and patching does not waive the Architect's right to later require complete removal and replacement of unsatisfactory work.

1.4 QUALITY ASSURANCE

- A. Requirements for Structural Work: Do not cut and patch structural elements in a manner that would change their load-carrying capacity or load-deflection ratio.
- B. Operational Limitations: Do not cut and patch operating elements or related components in a manner that would result in reducing their capacity to perform as intended. Do not cut and patch operating elements or related components in a manner that would result in increased maintenance or decreased operational life or safety.
- C. Visual Requirements: Do not cut and patch construction exposed on the exterior or in occupied spaces in a manner that would, in the Architect's opinion, reduce the building's aesthetic qualities. Do not cut and patch construction in a manner that would result in visual evidence of cutting and patching. Remove and replace construction cut and patched in a visually unsatisfactory manner.

## **PART 2 PRODUCTS**

### **2.1 MATERIALS, GENERAL**

- A. Use materials identical to existing materials. For exposed surfaces, use materials that visually match existing adjacent surfaces to the fullest extent possible if identical materials are unavailable or cannot be used. Use materials whose installed performance will equal or surpass that of existing materials.

## **PART 3 EXECUTION**

### **3.1 INSPECTION**

- A. Examine surfaces to be cut and patched and conditions under which cutting and patching is to be performed before cutting. If unsafe or unsatisfactory conditions are encountered, take corrective action before proceeding.

### **3.2 PREPARATION**

- A. Temporary Support: Provide temporary support of work to be cut.
- B. Protection: Protect existing construction during cutting and patching to prevent damage. Provide protection from adverse weather conditions for portions of the Project that might be exposed during cutting and patching operations.

### **3.3 PERFORMANCE**

- A. General: Employ skilled workmen to perform cutting and patching. Proceed with cutting and patching at the earliest feasible time and complete without delay.
  - 1. Cut existing construction to provide for installation of other components or performance of other construction activities and the subsequent fitting and patching required to restore surfaces to their original condition.
- B. Cutting: Cut existing construction using methods least likely to damage elements retained or adjoining construction. Where possible, review proposed procedures with the original Installer; comply with the original Installer's recommendations.
  - 1. In general, where cutting, use hand or small power tools designed for sawing or grinding, not hammering and chopping. Cut holes and slots as small as possible, neatly to size required, and with minimum disturbance of adjacent surfaces. Temporarily cover openings when not in use.
  - 2. To avoid marring existing finished surfaces, cut or drill from the exposed or finished side into concealed surfaces.
  - 3. Cut through concrete and masonry using a cutting machine, such as a Carborundum saw or a diamond-core drill.
  - 4. Where services are required to be removed, relocated, or abandoned, by-pass utility services, such as pipe or conduit, before cutting. Cut-off pipe or conduit in walls or partitions to be removed. Cap, valve, or plug and seal the remaining portion of pipe or conduit to prevent entrance of moisture or other foreign matter after bypassing and cutting.
- C. Patching: Patch with durable seams that are as invisible as possible. Comply with specified tolerances.

1. Where feasible, inspect and test patched areas to demonstrate integrity of the installation.
2. Restore exposed finishes of patched areas and extend finish restoration into retained adjoining construction in a manner that will eliminate evidence of patching and refinishing.
3. Where removing walls or partitions extends one finished area into another, patch and repair floor and wall surfaces in the new space. Provide an even surface of uniform color and appearance. Remove existing floor and wall coverings and replace with new materials, if necessary, to achieve uniform color and appearance.
  - a. Where patching occurs in a smooth painted surface, extend final paint coat over entire unbroken surface containing the patch after the area has received primer and second coat.
4. Patch, or repair, existing ceilings as necessary to provide an even-plane surface of uniform appearance.

3.4 CLEANING

- A. Clean areas and spaces where cutting and patching are performed.

END OF SECTION 01 73 29

**SECTION 01 77 00  
CLOSEOUT PROCEDURES**

**PART 1 GENERAL**

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes administrative and procedural requirements for contract closeout, including, but not limited to, the following:
1. Inspection procedures.
  2. Project Record Documents.
  3. Operation and maintenance manuals.
  4. Warranties.
  5. Instruction of Owner's personnel.
  6. Final cleaning.
- B. Related Sections include the following:
1. Division 1 Section "Payment Procedures" for requirements for Applications for Payment for Substantial and Final Completion.
  2. Division 1 Section "Project Record Documents" for submitting Record Drawings, Record Specifications, and Record Product Data.
  3. Divisions 2 through 16 Sections for specific closeout and special cleaning requirements for products of those Sections.

1.3 SUBSTANTIAL COMPLETION

- A. Preliminary Procedures: Before requesting inspection for determining date of Substantial Completion, complete the following. List items below that are incomplete in request.
1. Prepare a list of items to be completed and corrected (punch list), the value of items on the list, and reasons why the Work is not complete.
  2. Advise Owner of pending insurance changeover requirements.
  3. Submit specific warranties, workmanship bonds, maintenance service agreements, final certifications, and similar documents.
  4. Obtain and submit releases permitting Owner unrestricted use of the Work and access to services and utilities. Include occupancy permits, operating certificates, and similar releases.
  5. Deliver tools, spare parts, extra materials, and similar items to location designated by Owner. Label with manufacturer's name and model number where applicable.
  6. Make final changeover of permanent locks and deliver keys to Owner. Advise Owner's personnel of changeover in security provisions.
  7. Complete startup testing of systems.
  8. Submit test/adjust/balance records.
  9. Terminate and remove temporary facilities from Project site, along with mockups, construction tools, and similar elements.
  10. Advise Owner of changeover in heat and other utilities.
  11. Submit changeover information related to Owner's occupancy, use, operation, and maintenance.

12. Complete final cleaning requirements, including touchup painting.
13. Touch up and otherwise repair and restore marred exposed finishes to eliminate visual defects.

B. Inspection: Submit a written request for inspection for Substantial Completion. On receipt of request, Architect will either proceed with inspection or notify Contractor of unfulfilled requirements. Architect will prepare the Certificate of Substantial Completion after inspection or will notify Contractor of items, either on Contractor's list or additional items identified by Architect, that must be completed or corrected before certificate will be issued.

1. Re-inspection: Request re-inspection when the Work identified in previous inspections as incomplete is completed or corrected.
2. Results of completed inspection will form the basis of requirements for Final Completion.

#### 1.4 FINAL COMPLETION

A. Preliminary Procedures: Before requesting final inspection for determining date of Final Completion, complete the following:

1. Submit a final Application for Payment according to Division 1 Section "Payment Procedures."
2. Submit certified copy of Architect's Substantial Completion inspection list of items to be completed or corrected (punch list), endorsed and dated by Architect. The certified copy of the list shall state that each item has been completed or otherwise resolved for acceptance.
3. Submit evidence of final, continuing insurance coverage complying with insurance requirements.
4. Submit pest-control final inspection report and warranty.
5. Instruct Owner's personnel in operation, adjustment, and maintenance of products, equipment, and systems.

B. Inspection: Submit a written request for final inspection for acceptance. On receipt of request, Architect will either proceed with inspection or notify Contractor of unfulfilled requirements. Architect will prepare a final Certificate for Payment after inspection or will notify Contractor of construction that must be completed or corrected before certificate will be issued.

1. Re-inspection: Request re-inspection when the Work identified in previous inspections as incomplete is completed or corrected.

#### 1.5 LIST OF INCOMPLETE ITEMS (PUNCH LIST)

A. Preparation: Submit list. Include name and identification of each space and area affected by construction operations for incomplete items and items needing correction including, if necessary, areas disturbed by Contractor that are outside the limits of construction.

1. Organize list of spaces in sequential order, starting with exterior areas first and proceeding from lowest floor to highest floor.
2. Organize items applying to each space by major element, including categories for ceiling, individual walls, floors, equipment, and building systems.
3. Include the following information at the top of each page:
  - a. Project name.
  - b. Date.

- c. Name of Architect.
- d. Name of Contractor.
- e. Page number.

## 1.6 PROJECT RECORD DOCUMENTS

- A. General: Do not use Project Record Documents for construction purposes. Protect Project Record Documents from deterioration and loss. Provide access to Project Record Documents for Architect's reference during normal working hours.
- B. Record Drawings: Maintain and submit either a digital set or scan of set of blue- or black-line white prints of Contract Drawings and Shop Drawings.
  - 1. Mark Record Prints to show the actual installation where installation varies from that shown originally. Require individual or entity who obtained record data, whether individual or entity is Installer, subcontractor, or similar entity, to prepare the marked-up Record Prints.
    - a. Give particular attention to information on concealed elements that cannot be readily identified and recorded later.
    - b. Accurately record information in an understandable drawing technique.
    - c. Record data as soon as possible after obtaining it. Record and check the markup before enclosing concealed installations.
    - d. Mark Contract Drawings or Shop Drawings, whichever is most capable of showing actual physical conditions, completely and accurately. Where Shop Drawings are marked, show cross-reference on Contract Drawings.
  - 2. Mark record sets with erasable, red-colored pencil or mark digital set in red. Use other colors to distinguish between changes for different categories of the Work at the same location.
  - 3. Mark important additional information that was either shown schematically or omitted from original Drawings.
  - 4. Note Construction Change Directive numbers, Change Order numbers, alternate numbers, and similar identification where applicable.
  - 5. Identify and date each Record Drawing; include the designation "PROJECT RECORD DRAWING" in a prominent location. Organize into manageable sets; bind each set with durable paper cover sheets. Include identification on cover sheets.
- C. Record Specifications: Submit one copy of Project's Specifications, including addenda and contract modifications. Mark copy to indicate the actual product installation where installation varies from that indicated in Specifications, addenda, and contract modifications.
  - 1. Give particular attention to information on concealed products and installations that cannot be readily identified and recorded later.
  - 2. Mark copy with the proprietary name and model number of products, materials, and equipment furnished, including substitutions and product options selected.
  - 3. Note related Change Orders, Record Drawings, and Product Data, where applicable.
- D. Record Product Data: Submit one copy of each Product Data submittal. Mark one set to indicate the actual product installation where installation varies substantially from that indicated in Product Data.
  - 1. Give particular attention to information on concealed products and installations that cannot be readily identified and recorded later.

2. Include significant changes in the product delivered to Project site and changes in manufacturer's written instructions for installation.
3. Note related Change Orders, Record Drawings, and Record Specifications, where applicable.

E. Miscellaneous Record Submittals: Assemble miscellaneous records required by other Specification Sections for miscellaneous record keeping and submittal in connection with actual performance of the Work. Bind or file miscellaneous records and identify each, ready for continued use and reference.

## 1.7 OPERATION AND MAINTENANCE MANUALS

A. Assemble a complete set of operation and maintenance data indicating the operation and maintenance of each system, subsystem, and piece of equipment not part of a system. Include operation and maintenance data required in individual Specification Sections and as follows:

1. Operation Data:

- a. Emergency instructions and procedures.
- b. System, subsystem, and equipment descriptions, including operating standards.
- c. Operating procedures, including startup, shutdown, seasonal, and weekend operations.
- d. Description of controls and sequence of operations.
- e. Piping diagrams.

2. Maintenance Data:

- a. Manufacturer's information, including list of spare parts.
- b. Name, address, and telephone number of Installer or supplier.
- c. Maintenance procedures.
- d. Maintenance and service schedules for preventive and routine maintenance.
- e. Maintenance record forms.
- f. Sources of spare parts and maintenance materials.
- g. Copies of maintenance service agreements.
- h. Copies of warranties and bonds.

B. Organize operation and maintenance manuals into suitable sets of manageable size. Bind and index data in heavy-duty, 3-ring, vinyl-covered, loose-leaf binders, in thickness necessary to accommodate contents, with pocket inside the covers to receive folded oversized sheets. Identify each binder on front and spine with the printed title "OPERATION AND MAINTENANCE MANUAL," Project name, and subject matter of contents.

## 1.8 WARRANTIES

A. Submittal Time: Submit written warranties on request of Architect for designated portions of the Work where commencement of warranties other than date of Substantial Completion is indicated.

B. Partial Occupancy: Submit properly executed warranties within 15 days of completion of designated portions of the Work that are completed and occupied or used by Owner during construction period by separate agreement with Contractor.

- C. Organize warranty documents into an orderly sequence based on the table of contents of the Project Manual.
  - 1. Bind warranties and bonds in heavy-duty, 3-ring, vinyl-covered, loose-leaf binders, thickness as necessary to accommodate contents, and sized to receive 8-1/2-by-11-inch paper.
  - 2. Provide heavy paper dividers with plastic-covered tabs for each separate warranty. Mark tab to identify the product or installation. Provide a typed description of the product or installation, including the name of the product and the name, address, and telephone number of Installer.
  - 3. Identify each binder on the front and spine with the typed or printed title "WARRANTIES," Project name, and name of Contractor.

## **PART 2 PRODUCTS**

### **2.1 MATERIALS**

- A. **Cleaning Agents:** Use cleaning materials and agents recommended by manufacturer or fabricator of the surface to be cleaned. Do not use cleaning agents that are potentially hazardous to health or property or that might damage finished surfaces.

## **PART 3 EXECUTION**

### **3.1 DEMONSTRATION AND TRAINING**

- A. **Instruction:** Instruct Owner's personnel to adjust, operate, and maintain systems, subsystems, and equipment not part of a system.
  - 1. Provide instructors experienced in operation and maintenance procedures.
  - 2. Provide instruction at mutually agreed-on times. For equipment that requires seasonal operation, provide similar instruction at the start of each season.
  - 3. Schedule training with Owner with at least seven days' advance notice.
  - 4. Coordinate instructors, including providing notification of dates, times, length of instruction, and course content.

### **3.2 FINAL CLEANING**

- A. **General:** Provide final cleaning. Conduct cleaning and waste-removal operations to comply with local laws and ordinances and Federal and local environmental and antipollution regulations.
- B. **Cleaning:** Employ experienced workers or professional cleaners for final cleaning. Clean each surface or unit to condition expected in an average commercial building cleaning and maintenance program. Comply with manufacturer's written instructions.
  - 1. Complete the following cleaning operations before requesting inspection for certification of Substantial Completion for entire Project or for a portion of Project:
    - a. Clean Project site, yard, and grounds, in areas disturbed by construction activities, including landscape development areas, of rubbish, waste material, litter, and other foreign substances.
    - b. Sweep paved areas broom clean. Remove petrochemical spills, stains, and other foreign deposits.

- c. Remove tools, construction equipment, machinery, and surplus material from Project site.
  - d. Clean exposed exterior and interior hard-surfaced finishes to a dirt-free condition, free of stains, films, and similar foreign substances. Restore reflective surfaces to their original condition.
  - e. Remove debris and surface dust from limited access spaces, including roofs, plenums, shafts, trenches, equipment vaults, manholes, attics, and similar spaces.
  - f. Sweep concrete floors broom clean in unoccupied spaces.
  - g. Clean transparent materials, including mirrors and glass in doors and windows. Remove glazing compounds and other noticeable, vision-obscuring materials. Replace chipped or broken glass and other damaged transparent materials. Polish mirrors and glass, taking care not to scratch surfaces.
  - h. Remove labels that are not permanent.
  - i. Touch up and otherwise repair and restore marred, exposed finishes and surfaces. Replace finishes and surfaces that cannot be satisfactorily repaired or restored or that already show evidence of repair or restoration.
    - i. Do not paint over "UL" and similar labels, including mechanical and electrical nameplates.
  - j. Wipe surfaces of mechanical and electrical equipment and similar equipment. Remove excess lubrication, paint and mortar droppings, and other foreign substances.
  - k. Clean plumbing fixtures to a sanitary condition, free of stains, including stains resulting from water exposure.
  - l. Replace disposable air filters and clean permanent air filters. Clean exposed surfaces of diffusers, registers, and grills.
  - m. Clean ducts, blowers, and coils if units were operated without filters during construction.
  - n. Clean light fixtures, lamps, globes, and reflectors to function with full efficiency. Replace burned-out bulbs, and those noticeably dimmed by hours of use, and defective and noisy starters in fluorescent and mercury vapor fixtures to comply with requirements for new fixtures.
  - o. Leave Project clean and ready for occupancy.
- C. Pest Control: Engage an experienced, licensed exterminator to make a final inspection and rid Project of rodents, insects, and other pests. Prepare a report.
- D. Comply with safety standards for cleaning. Do not burn waste materials. Do not bury debris or excess materials on Owner's property. Do not discharge volatile, harmful, or dangerous materials into drainage systems. Remove waste materials from Project site and dispose of lawfully.

END OF SECTION 01 77 00

**SECTION 05 70 00**  
**ARCHITECTURAL METAL FABRICATIONS**

**PART 1 - GENERAL**

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:

1. Glazing frame assemblies and fill panels.
2. Cast uprights integrated into glazing frame assemblies.
3. Counter pass-through assemblies.
4. Metal veneer at staff entrance door head hardware.

- B. Related Sections:

1. Section 06 20 23 "Interior Finish Carpentry" for adjacent woodwork.
2. Section 08 81 26 "Interior Glazing" for counter screen glass.
3. Section 11 22 00 "Security Equipment" for transfer box to be integrated.

1.3 ACTION SUBMITTALS

- A. Product Data: For each type of product indicated, including finishing materials.
- B. Shop Drawings: Show fabrication and installation details for architectural metal.
1. Include plans, elevations, component details, and attachments to other work.
  2. Indicate materials and profiles of each architectural metal member, fittings, joinery, finishes, fasteners, anchorages, and accessory items.
- C. Patterns, Models, or Plaster Castings: Made from proposed patterns for each design of custom casting required.
- D. Samples for Initial Selection: For products involving selection of color, texture, or design.
- E. Samples for Verification: For each type of exposed finish required.
1. Sections of linear shapes.
  2. Full-size Samples of castings.

- a. For custom castings, submit finished Samples showing ability to reproduce detail, cast-metal color, and quality of finish. Samples may be of similar previous work.
3. Samples of joints showing quality of workmanship and finish matching of materials.

#### 1.4 INFORMATIONAL SUBMITTALS

- A. Qualification Data: For qualified fabricator.
- B. Welding certificates as applicable.

#### 1.5 QUALITY ASSURANCE

- A. Fabricator Qualifications: A firm experienced in producing architectural metal similar to that indicated for this Project and with a record of successful in-service performance, as well as sufficient production capacity to produce required units.
- B. Installer Qualifications: Fabricator of products.
- C. Organic-Coating Applicator Qualifications: A firm experienced in successfully applying organic coatings, of type indicated, to aluminum extrusions and employing competent control personnel to conduct continuing, effective quality-control program to ensure compliance with requirements.
- D. Anodic Finisher Qualifications: A firm experienced in successfully applying anodic finishes of type indicated and employing competent control personnel to conduct continuing, effective quality-control program to ensure compliance with requirements.
- E. Welding Qualifications: Qualify procedures and personnel according to the following:
  1. AWS D1.2/D1.2M, "Structural Welding Code - Aluminum."
- F. Mockups: Build mockups to verify selections made under sample submittals and to demonstrate aesthetic effects and set quality standards for fabrication and installation.
  1. Build mockups for the following types of architectural metal:
    - a. One module of counter screen, including two uprights and bottom frame incorporating pass-through box with functional hinged flap.
  2. Approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.
- G. Preinstallation Conference: Conduct conference at project site,

## 1.6 DELIVERY, STORAGE, AND HANDLING

- A. Store architectural metal in a well-ventilated area, away from uncured concrete and masonry, and protected from weather, moisture, soiling, abrasion, extreme temperatures, and humidity.
- B. Deliver and store cast-metal products in wooden crates surrounded by sufficient packing material to ensure that products will not be cracked or otherwise damaged.

## 1.7 PROJECT CONDITIONS

- A. Field Measurements: Verify actual locations of walls and other construction contiguous with architectural metal by field measurements before fabrication and indicate measurements on Shop Drawings.
  - 1. Note especially the vertical clearance from existing countertop to soffit as it relates to the minimum clearance from top of upright to soffit given in the Contract Drawings.

## 1.8 COORDINATION

- A. Coordinate installation of anchorages for decorative metal items. Furnish setting drawings, templates, and directions for installing anchorages, including sleeves, concrete inserts, anchor bolts, and items with integral anchors, that are to be embedded in concrete or masonry. Deliver such items to Project site in time for installation.

## PART 2 - PRODUCTS

### 2.1 METALS, GENERAL

- A. Metal Surfaces, General: Provide materials with smooth, flat surfaces unless otherwise indicated. Provide materials without seam marks, roller marks, rolled trade names, stains, discolorations, or blemishes.
- B. All architectural metal is to be brass with a US5 (609) "Antique Brass" finish at exposed surfaces.
  - 1. At the JCC's discretion, aluminum with a color-anodized finish may be substituted for brass. In either case, all architectural metal is to be the of same material and have a consistent finish throughout.

### 2.2 COPPER ALLOYS

- A. Copper and Copper Alloys, General: Provide alloys indicated and temper to suit application and forming methods but with strength and stiffness not less than H01 (quarter-hard) for plate, sheet, strip, and bars and H55 (light-drawn) for tube and pipe.

- B. Extruded Shapes, Brass: ASTM B 249/B 249M, Alloy UNS No. C36000 (free-cutting brass).
- C. Seamless Tube, Brass: ASTM B 135, Alloy UNS No. C26000 (cartridge brass, 70 percent copper).
- D. Castings, Brass: ASTM B 584, Alloy UNS No. C85200 (high-copper yellow brass).
- E. Plate, Sheet, Strip, and Bars; Brass: ASTM B 36/B 36M, Alloy UNS No. C26000 (cartridge brass, 70 percent copper).

### 2.3 ALUMINUM (if used)

- A. Aluminum, General: Provide alloy and temper recommended by aluminum producer and finisher for type of use and finish indicated, and with strength and durability properties for each aluminum form required not less than that of alloy and temper designated below.
- B. Extruded Bars and Shapes: ASTM B 221, Alloy 6063-T5/T52.
- C. Drawn Seamless Tubing: ASTM B 210.6063-T832.
- D. Plate and Sheet: ASTM B 209.
- E. Castings: ASTM B 26/B 26M, Alloy A356.0-T6.

### 2.4 FASTENERS

- A. Fastener Materials: Unless otherwise indicated, provide the following:
  - 1. Aluminum Items: Type 316 stainless-steel fasteners.
  - 2. Copper-Alloy (Brass) Items: Silicon bronze (Alloy 651 or Alloy 655) fasteners where concealed, brass (Alloy 260 or 360) fasteners where exposed.
  - 3. Dissimilar Metals: Type 316 stainless-steel fasteners.
- B. Fasteners for Anchoring to Other Construction: Unless otherwise indicated, select fasteners of type, grade, and class required to produce connections suitable for anchoring indicated items to other types of construction indicated.
- C. Provide concealed fasteners for interconnecting components and for attaching decorative metal items to other work unless otherwise indicated.
  - 1. Provide hex socket flat-head machine screws for exposed fasteners unless otherwise indicated.
- D. Anchors, General: Anchors capable of sustaining, without failure, a load equal to six times the load imposed when installed in unit masonry and four times the load imposed when installed in concrete, as determined by testing according to ASTM E 488, conducted by a qualified independent testing agency.

## 2.5 MISCELLANEOUS MATERIALS

- A. Welding Rods and Bare Electrodes: Select according to AWS specifications for metal alloy welded.
  - 1. For aluminum, provide type and alloy as recommended by producer of metal to be welded and as required for color match, strength, and compatibility in fabricated items.
- B. Brazing Rods: For copper alloys, provide type and alloy as recommended by producer of metal to be brazed and as required for color match, strength, and compatibility in fabricated items.
- C. Low-Emitting Paints and Coatings: Paints and coatings applied to interior decorative metal items shall comply with the testing and product requirements of the California Department of Health Services' "Standard Practice for the Testing of Volatile Organic Emissions from Various Sources Using Small-Scale Environmental Chambers."
- D. Lacquer for Copper Alloys: Clear, acrylic lacquer specially developed for coating copper-alloy products.

## 2.6 FABRICATION, GENERAL

- A. Assemble items in the shop to greatest extent possible to minimize field splicing and assembly. Disassemble units only as necessary for shipping and handling limitations. Clearly mark units for reassembly and coordinated installation. Use connections that maintain structural value of joined pieces.
- B. Form decorative metal to required shapes and sizes, true to line and level with true curves and accurate angles and surfaces. Finish exposed surfaces to smooth, sharp, well-defined lines and arris.
- C. Form bent-metal corners to smallest radius possible without causing grain separation or otherwise impairing the Work.
- D. Form simple and compound curves in bars, pipe, tubing, and extruded shapes by bending members in jigs to produce uniform curvature for each configuration required; maintain cross section of member throughout entire bend without buckling, twisting, cracking, or otherwise deforming exposed surfaces.
- E. Cut, drill, and punch metals cleanly and accurately. Remove burrs and ease edges to a radius of approximately 1/32 inch unless otherwise indicated. Remove sharp or rough areas on exposed surfaces.
- F. Mill joints to a tight, hairline fit. Cope or miter corner joints. Fabricate connections that will be exposed to weather in a manner to exclude water.
- G. Provide necessary rebates, lugs, and brackets to assemble units and to attach to other work. Cut, reinforce, drill, and tap as needed to receive finish hardware, screws, and similar items unless otherwise indicated.

- H. Comply with AWS for recommended practices in shop welding and brazing. Weld and braze behind finished surfaces without distorting or discoloring exposed side. Clean exposed welded and brazed joints of flux, and dress exposed and contact surfaces.
  - 1. Where welding and brazing cannot be concealed behind finished surfaces, finish joints to comply with NOMMA's "Voluntary Joint Finish Standards" for Type 1 Welds: no evidence of a welded joint.
- I. Provide castings that are sound and free of warp, cracks, blowholes, or other defects that impair strength or appearance. Grind, wire brush, sandblast, and buff castings to remove seams, gate marks, casting flash, and other casting marks.

## 2.7 FINISHES, GENERAL

- A. Comply with NAAMM's "Metal Finishes Manual for Architectural and Metal Products" for recommendations for applying and designating finishes.
- B. Protect mechanical finishes on exposed surfaces from damage by applying a strippable, temporary protective covering before shipping.

## 2.8 ALUMINUM FINISHES

- A. Finish designations prefixed by AA comply with the system established by the Aluminum Association for designating aluminum finishes.
- B. Color Anodic Finish: AAMA 611 or thicker.
  - 1. Color: As selected by Architect from full range of industry colors and color densities.

## 2.9 COPPER-ALLOY FINISHES

- A. Finish designations for copper alloys comply with the system established for designating copper-alloy finish systems defined in NAAMM's "Metal Finishes Manual for Architectural and Metal Products."
- B. Fine-Matte Finish: M42 (Mechanical Finish: nondirectional finish, fine matte).

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine substrates and conditions, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of decorative metal.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 INSTALLATION, GENERAL

- A. Provide anchorage devices and fasteners where needed to secure decorative metal to in-place construction.
- B. Perform cutting, drilling, and fitting required to install decorative metal. Set products accurately in location, alignment, and elevation, measured from established lines and levels. Provide temporary bracing or anchors in formwork for items to be built into concrete, masonry, or similar construction.
- C. Fit exposed connections accurately together to form tight, hairline joints or, where indicated, uniform reveals and spaces for sealants and joint fillers. Where cutting, welding, and grinding are required for proper shop fitting and jointing of decorative metal, restore finishes to eliminate evidence of such corrective work.
- D. Do not cut or abrade finishes that cannot be completely restored in the field. Return items with such finishes to the shop for required alterations, followed by complete refinishing, or provide new units as required.
- E. Install concealed gaskets, joint fillers, insulation, and flashings as work progresses.
- F. Restore protective coverings that have been damaged during shipment or installation. Remove protective coverings only when there is no possibility of damage from other work yet to be performed at same location.
  - 1. Retain protective coverings intact; remove coverings simultaneously from similarly finished items to preclude nonuniform oxidation and discoloration.
- G. Field Welding: Comply with applicable AWS specification for procedures of manual shielded metal arc welding and requirements for welding and for finishing welded connections in "Fabrication, General" Article. Weld connections that are not to be left as exposed joints but cannot be shop welded because of shipping size limitations.
- H. Field Brazing: Comply with requirements for brazing and for finishing brazed connections in "Fabrication, General" Article. Braze connections that are not to be left as exposed joints but cannot be shop brazed because of shipping size limitations.
- I. Corrosion Protection: Coat concealed surfaces of aluminum that will be in contact with grout, concrete, masonry, wood, or dissimilar metals, with a heavy coat of bituminous paint.

### 3.3 CLEANING AND PROTECTION

- A. Unless otherwise indicated, clean metals by washing thoroughly with clean water and soap, rinsing with clean water, and drying with soft cloths.
- B. Clean copper alloys according to metal finisher's written instructions in a manner that leaves an undamaged and uniform finish matching approved Sample.

- C. Protect finishes of decorative metal from damage during construction period with temporary protective coverings approved by decorative metal fabricator. Remove protective covering at time of Substantial Completion.
- D. Restore finishes damaged during installation and construction period so no evidence remains of correction work. Return items that cannot be refinished in the field to the shop; make required alterations and refinish entire unit, or provide new units.

END OF SECTION 05 70 00

**SECTION 06 20 23  
INTERIOR FINISH CARPENTRY**

**PART 1 - GENERAL**

**1.1 RELATED DOCUMENTS**

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

**1.2 SUMMARY**

A. Section Includes:

1. Interior trim, including non-fire-rated interior door and sidelight frames.
2. Transfer box support.

B. Related Requirements:

1. Section 05 70 00 "Architectural Metal Fabrications" for adjacent counter screen.
2. Section 08 14 33 "Stile and Rail Wood Doors" for staff entrance doors.
3. Section 08 74 13 "Card Key Access Control System" for integration with staff entrance door surround.
4. Section 08 81 26 "Interior Glazing" for glass at staff entrance door surround.
5. Section 11 22 00 "Security Equipment" for transfer box.

**1.3 ACTION SUBMITTALS**

- A. Product Data: For each type of process and factory-fabricated product. Indicate component materials, dimensions, profiles, textures, and colors and include construction and application details.

1. Include data for wood-preservative treatment from chemical-treatment manufacturer and certification by treating plant that treated materials comply with requirements. Indicate type of preservative used and net amount of preservative retained. Include chemical-treatment manufacturer's written instructions for finishing treated material.
2. Include data for fire-retardant treatment from chemical-treatment manufacturer and certification by treating plant that treated materials comply with requirements.
3. For products receiving a waterborne treatment, include statement that moisture content of treated materials was reduced before shipment to Project site to levels specified.

- B. Samples for Initial Selection: For each type of product involving selection of colors, profiles, or textures.

C. Samples for Verification:

1. For each wood type, with 1/2 of exposed surface finished, 8 by 10 inches minimum.

#### 1.4 INFORMATIONAL SUBMITTALS

- A. Evaluation Reports: For fire-retardant-treated wood, from ICC-ES.
- B. Sample Warranty: For manufacturer's warranty.

#### 1.5 DELIVERY, STORAGE, AND HANDLING

- A. Stack lumber, plywood, and other panels flat with spacers between each bundle to provide air circulation. Protect materials from weather by covering with waterproof sheeting, securely anchored. Provide for air circulation around stacks and under coverings.
- B. Deliver interior finish carpentry materials only when environmental conditions meet requirements specified for installation areas. If interior finish carpentry materials must be stored in other than installation areas, store only where environmental conditions meet requirements specified for installation areas.

#### 1.6 FIELD CONDITIONS

- A. Environmental Limitations: Do not deliver or install interior finish carpentry materials until building is enclosed and weatherproof, wet work in space is completed and nominally dry, and HVAC system is operating and maintaining temperature and relative humidity at occupancy levels during the remainder of the construction period.
- B. Do not install finish carpentry materials that are wet, moisture damaged, or mold damaged.
  - 1. Indications that materials are wet or moisture damaged include, but are not limited to, discoloration, sagging, or irregular shape.
  - 2. Indications that materials are mold damaged include, but are not limited to, fuzzy or splotchy surface contamination and discoloration.

### PART 2 - PRODUCTS

#### 2.1 MATERIALS, GENERAL

- A. Low-Emitting Materials: Composite wood products shall comply with the testing and product requirements of the California Department of Health Services' "Standard Practice for the Testing of Volatile Organic Emissions from Various Sources Using Small-Scale Environmental Chambers."
- B. Lumber: DOC PS 20 and the following grading rules:
  - 1. NeLMA: Northeastern Lumber Manufacturers' Association, "Standard Grading Rules for Northeastern Lumber."
  - 2. NHLA: National Hardwood Lumber Association, "Rules for the Measurement and Inspection of Hardwood & Cypress."
  - 3. NLGA: National Lumber Grades Authority, "Standard Grading Rules for Canadian Lumber."
  - 4. SPIB: The Southern Pine Inspection Bureau, "Standard Grading Rules for Southern Pine Lumber."

5. WCLIB: West Coast Lumber Inspection Bureau, Standard No. 17, "Grading Rules for West Coast Lumber."
6. WWPAA: Western Wood Products Association, "Western Lumber Grading Rules."

## 2.2 INTERIOR TRIM

### A. Hardwood Lumber Trim for Transparent Finish (Stain or Clear Finish):

1. Species and Grade: Match existing adjacent.
2. Maximum Moisture Content: 9 percent.
3. Finger Jointing: Not allowed.
4. Gluing for Width: Allowed.
5. Veneered Material: Allowed.
6. Face Surface: Match existing adjacent.
7. Matching: Selected for compatible grain and color.

## 2.3 MISCELLANEOUS MATERIALS

- A. Fasteners for Interior Finish Carpentry: Nails, screws, and other anchoring devices of type, size, material, and finish required for application indicated to provide secure attachment, concealed where possible.
- B. Low-Emitting Materials: Adhesives shall comply with the testing and product requirements of the California Department of Health Services' "Standard Practice for the Testing of Volatile Organic Emissions from Various Sources Using Small-Scale Environmental Chambers."
- C. Glue: Aliphatic-resin, polyurethane, or resorcinol wood glue recommended by manufacturer for general carpentry use.
  1. Wood glue shall have a VOC content of 30 g/L or less when calculated according to 40 CFR 59, Subpart D (EPA Method 24).
- D. Paneling Adhesive: Comply with paneling manufacturer's written recommendations for adhesives.
  1. Adhesive shall have a VOC content of 50 g/L or less when calculated according to 40 CFR 59, Subpart D (EPA Method 24).
- E. Multipurpose Construction Adhesive: Formulation complying with ASTM D 3498 that is recommended for indicated use by adhesive manufacturer.
  1. Adhesive shall have a VOC content of 70 g/L or less when calculated according to 40 CFR 59, Subpart D (EPA Method 24).

## 2.4 FABRICATION

- A. Back out or kerf backs of the following members except those with ends exposed in finished work:
  1. Interior standing and running trim except shoe and crown molds.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine substrates, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance.
- B. Examine finish carpentry materials before installation. Reject materials that are wet, moisture damaged, and mold damaged.
- C. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 PREPARATION

- A. Clean substrates of projections and substances detrimental to application.
- B. Before installing interior finish carpentry, condition materials to average prevailing humidity in installation areas for a minimum of 24 hours[ **unless longer conditioning is recommended by manufacturer**].

### 3.3 INSTALLATION, GENERAL

- A. Do not use materials that are unsound, warped, improperly treated or finished, inadequately seasoned, too small to fabricate with proper jointing arrangements, or with defective surfaces, sizes, or patterns.
- B. Install interior finish carpentry level, plumb, true, and aligned with adjacent materials. Use concealed shims where necessary for alignment.
  - 1. Scribe and cut interior finish carpentry to fit adjoining work. Refinish and seal cuts as recommended by manufacturer.
  - 2. Where face fastening is unavoidable, countersink fasteners, fill surface flush, and sand unless otherwise indicated.
  - 3. Install to tolerance of 1/8 inch in 96 inches for level and plumb. Install adjoining interior finish carpentry with 1/32-inch maximum offset for flush installation and 1/16-inch maximum offset for reveal installation.
  - 4. Coordinate interior finish carpentry with materials and systems in or adjacent to it. Provide cutouts for mechanical and electrical items that penetrate interior finish carpentry.

### 3.4 STANDING AND RUNNING TRIM INSTALLATION

- A. Install with minimum number of joints practical, using full-length pieces from maximum lengths of lumber available. Do not use pieces less than 24 inches long, except where necessary. Stagger joints in adjacent and related standing and running trim. Cope at returns, miter at outside corners, and cope at inside corners to produce tight-fitting joints with full-surface contact throughout length of joint. Use scarf joints for end-to-end joints. Plane backs of casings to provide uniform thickness across joints where necessary for alignment.

1. Match color and grain pattern of trim for transparent finish (stain or clear finish) across joints.
2. Install trim after gypsum-board joint finishing operations are completed.
3. Install without splitting; drill pilot holes before fastening where necessary to prevent splitting. Fasten to prevent movement or warping. Countersink fastener heads on exposed carpentry work and fill holes.

### 3.5 ADJUSTING

- A. Replace interior finish carpentry that is damaged or does not comply with requirements. Interior finish carpentry may be repaired or refinished if work complies with requirements and shows no evidence of repair or refinishing. Adjust joinery for uniform appearance.

### 3.6 CLEANING

- A. Clean interior finish carpentry on exposed and semiexposed surfaces. Restore damaged or soiled areas and touch up factory-applied finishes, if any.

### 3.7 PROTECTION

- A. Protect installed products from damage from weather and other causes during construction.
- B. Remove and replace finish carpentry materials that are wet, moisture damaged, and mold damaged.
  1. Indications that materials are wet or moisture damaged include, but are not limited to, discoloration, sagging, or irregular shape.
  2. Indications that materials are mold damaged include, but are not limited to, fuzzy or splotchy surface contamination and discoloration.

END OF SECTION 06 20 23

**SECTION 08 14 33  
STILE AND RAIL WOOD DOORS**

**PART 1 - GENERAL**

**1.1 RELATED DOCUMENTS**

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

**1.2 SUMMARY**

- A. Section Includes:

- 1. Reconstruction of stile and rail wood doors at staff entrance.

- B. Related Requirements:

- 1. Section 06 20 23 "Interior Finish Carpentry" for adjacent woodwork.
  - 2. Section 08 74 13 "Card Key Access Control System" for security hardware.
  - 3. Section 08 81 26 "Interior Glazing" for glass panels.

**1.3 ACTION SUBMITTALS**

- A. Product Data: For each type of product.

- 1. Include details of construction and glazing.

- B. Shop Drawings: For stile and rail wood doors. Indicate location, size, and hand of each door; elevation of each kind of door; construction details not covered in Product Data, including those for stiles, rails, panels, and moldings (sticking); and other pertinent data including the following:

- 1. Dimensions of doors.
  - 2. Locations and dimensions of mortises and holes for hardware.
  - 3. Undercuts.

**PART 2 - PRODUCTS**

**2.1 MATERIALS**

- A. General: Use only materials that comply with referenced standards and other requirements specified.

1. Assemble exterior doors and sidelites, including components, with wet-use adhesives complying with ASTM D 5572 for finger joints and with ASTM D 5751 for joints other than finger joints.
  2. Assemble interior doors, including components, with either dry-use or wet-use adhesives complying with ASTM D 5572 for finger joints and with ASTM D 5751 for joints other than finger joints.
- B. Low-Emitting Materials: Fabricate doors with adhesives and composite wood products that do not contain urea formaldehyde.
- C. Panel Products: Any of the following unless otherwise indicated:
1. Veneer-core plywood, made with adhesive containing no urea-formaldehyde.
- D. Safety Glass: Provide products complying with testing requirements in 16 CFR 1201, for Category II materials, unless those of Category I are expressly indicated and permitted.

## 2.2 INTERIOR STILE AND RAIL WOOD DOORS

- A. Interior Stile and Rail Wood Doors: Interior doors complying with WDMA I.S.6, "Industry Standard for Wood Stile and Rail Doors," and with other requirements specified.
1. Finish and Grade: Match existing.
  2. Wood Species: Match existing.
  3. Stile and Rail Construction: Match existing.
  4. Flat-Panel Construction: Veneered panel.
  5. Glass: Uncoated, clear, laminated glass complying with Section 08 81 26 "Interior Glazing."

## 2.3 STILE AND RAIL WOOD DOOR FABRICATION

- A. Fabricate stile and rail wood doors in sizes indicated for field fitting.
- B. Glazed Openings: Trim openings indicated for glazing with solid wood moldings, with one side removable. Miter wood moldings at corner joints.
- C. Transom and Side Panels: Fabricate panels to match adjoining doors in materials, finish, and quality of construction.
- D. Prehung Doors: Provide stile and rail doors complete with frames and hardware.
1. Provide wood door frames that comply with Section 06 20 23 "Interior Finish Carpentry."

## 2.4 FINISHING

- A. Finish wood doors at woodworking shop
- B. For doors indicated to be shop finished, comply with WDMA I.S.6A, "Industry Standard for Architectural Stile and Rail Doors," and with other requirements specified.
  - 1. Finish faces and all four edges of doors, including mortises and cutouts. Stains and fillers may be omitted on bottom edges, edges of cutouts, and mortises.
- C. Use only paints and coatings that comply with the testing and product requirements of the California Department of Health Services' "Standard Practice for the Testing of Volatile Organic Emissions from Various Sources Using Small-Scale Environmental Chambers."
- D. Transparent Finish:
  - 1. Grade: Match existing.
  - 2. Finish: Match existing.
  - 3. Staining: Match existing.
  - 4. Effect: Match existing.
  - 5. Sheen: Match existing.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine doors and installed door frames, with Installer present, before hanging doors.
  - 1. Verify that installed frames comply with indicated requirements for type, size, location, and swing characteristics and have been installed with level heads and plumb jambs.
  - 2. Reject doors with defects.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 INSTALLATION

- A. Installation Instructions: Install doors to comply with manufacturer's written instructions and referenced quality standard, and as indicated.
- B. Shop-Finished Doors: Restore finish before installation if fitting or machining is required at Project site.

3.3 ADJUSTING

- A. Operation: Rehang or replace doors that do not swing or operate freely.
- B. Finished Doors: Replace doors that are damaged or do not comply with requirements. Doors may be repaired or refinished if Work complies with requirements and shows no evidence of repair or refinishing.

END OF SECTION 08 14 33

**SECTION 08 74 13  
CARD KEY ACCESS CONTROL SYSTEM**

**PART 1 - GENERAL**

**1.1 RELATED DOCUMENTS**

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

**1.2 SUMMARY**

- A. Section includes card key access control hardware and all supporting infrastructure for the security point at the Clerk's Office staff entrance.
- B. Related Sections:
  - 1. Section 06 20 23 "Interior Finish Carpentry" for wire runs and system elements in staff entrance door surround.
  - 2. Section 08 14 33 "Stile and Rail Wood Doors" for wire runs and system elements in staff entrance doors.

**1.3 PERFORMANCE REQUIREMENTS**

- A. System to equal or exceed performance characteristics of equivalent access systems currently in use in the Earl Warren Building.
- B. Confirm all system components are fully compatible with each other and with existing service to which they are to be connected.

**1.4 ACTION SUBMITTALS**

- A. Product Data Sheets: For each manufactured component of the system.
- B. Wiring Diagram: Showing system elements and integration with existing building service.
- C. Door and Door Surround Integration Diagrams: Indicating wiring route through architectural woodwork at door and door surround and verifying compatibility with woodwork dimensions. Include templates for equipment routed into door and/or jamb.

1.5 INFORMATIONAL SUBMITTALS

- A. Qualification Data: For installers.
- B. Warranties: Sample of warranties.

1.6 QUALITY ASSURANCE

- A. Preinstallation Conference: Conduct conference at project site.
  - 1. Review and finalize construction schedule and verify availability of materials, Installer's personnel, equipment, and facilities needed to make progress and avoid delays.
  - 2. Review coordination with door and surround woodwork.
  - 3. Review staff access requirements and coordinate installation schedule.

1.7 WARRANTY

- A. Products: Minimum 18-month warranty against manufacturer defects.

PART 2 - PRODUCTS

2.1 MORTISE LOCK

- A. Architectural Control Systems Inc. "M1500M" Motor Drive Mortise Lock.

2.2 CARD READER

- A. HID "MiniProx" Mullion-Mount Proximity Card Reader
  - 1. Color: Gray

2.3 FRAME TRANSFER

- A. ABH Manufacturing Inc. PT-Series
  - 1. Color: Manufacturer's standard "S5" to match US10B finish

PART 3 - EXECUTION

3.1 INSTALLERS

- A. Contractor personnel shall comply with all applicable state and local licensing requirements.

3.2 PREPARATION

- A. Verify wire runs and wire sizes for location and code compliance for use with the installed equipment.

3.3 INSTALLATION

- A. Follow all manufacturer-published guidance on installation and configuration of each component.
- B. Test the installed system in conditions simulating standard use.
- C. Provide owner with written verification that system as installed has been tested and functions per industry standard parameters.

END OF SECTION 08 74 13

**SECTION 08 81 26  
INTERIOR GLAZING**

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes glazing for the following products and applications, including those specified in other Sections where glazing requirements are specified by reference to this Section:
  - 1. Counter screen glazing
  - 2. Staff entrance door and sidelight glazing
- B. Related Sections:
  - 1. Section 05 70 00 "Architectural Metal Fabrications" for glass panels in counter screen.
  - 2. Section 06 20 23 "Interior Finish Carpentry" for glass panels in staff entrance door surround.
  - 3. Section 08 14 33 "Stile and Rail Wood Doors" for glass panels in staff entrance doors.

1.3 DEFINITIONS

- A. Glass Manufacturers: Firms that produce primary glass, fabricated glass, or both, as defined in referenced glazing publications.
- B. Glass Thicknesses: Indicated by thickness designations in millimeters according to ASTM C 1036.

1.4 PERFORMANCE REQUIREMENTS

- A. General: Installed glazing systems shall withstand normal thermal movement and wind and impact loads (where applicable) without failure, including loss or glass breakage attributable to the following: defective manufacture, fabrication, or installation; failure of sealants or gaskets to remain watertight and airtight; deterioration of glazing materials; or other defects in construction.

## 1.5 PRECONSTRUCTION TESTING

- A. Preconstruction Adhesion and Compatibility Testing: Test each glazing material type, tape sealant, gasket, glazing accessory, and glass-framing member for adhesion to and compatibility with elastomeric glazing sealants.
  - 1. Testing will not be required if data are submitted based on previous testing of current sealant products and glazing materials matching those submitted.
  - 2. Use ASTM C 1087 to determine whether priming and other specific joint-preparation techniques are required to obtain rapid, optimum adhesion of glazing sealants to glass, tape sealants, gaskets, and glazing channel substrates.
  - 3. Test no fewer than three samples of each type of material, including joint substrates, shims, sealant backings, secondary seals, and miscellaneous materials.
  - 4. Schedule sufficient time for testing and analyzing results to prevent delaying the Work.
  - 5. For materials failing tests, submit sealant manufacturer's written instructions for corrective measures including the use of specially formulated primers.

## 1.6 ACTION SUBMITTALS

- A. Product Data: For each glass product and glazing material indicated.
- B. Glass Samples: For each type of the following products; 12 inches square.
  - 1. Laminated glass for counter screen, including polished exposed edges.
  - 2. Patterned glass.
- C. Glazing Accessory Samples: For gaskets sealants and colored spacers, in 12-inch lengths.
- D. Glazing Schedule: List glass types and thicknesses for each size opening and location.

## 1.7 INFORMATIONAL SUBMITTALS

- A. Qualification Data: For installers.
- B. Product Certificates: For glass and glazing products, from manufacturer.
- C. Preconstruction adhesion and compatibility test report.
- D. Warranties: Sample of special warranties.

## 1.8 QUALITY ASSURANCE

- A. Installer Qualifications: A qualified installer who employs glass installers for this Project who are certified under the National Glass Association's Certified Glass Installer Program.
- B. Source Limitations for Glass: Obtain glass from single source from single manufacturer for each glass type.
- C. Source Limitations for Glazing Accessories: Obtain from single source from single manufacturer for each product and installation method.
- D. Glazing Publications: Comply with published recommendations of glass product manufacturers and organizations below, unless more stringent requirements are indicated. Refer to these publications for glazing terms not otherwise defined in this Section or in referenced standards.
  - 1. GANA Publications: GANA's "Laminated Glazing Reference Manual" and GANA's "Glazing Manual."
- E. Safety Glazing Labeling: Where safety glazing labeling is indicated, permanently mark glazing with certification label of the SGCC or another certification agency acceptable to authorities having jurisdiction. Label shall indicate manufacturer's name, type of glass, thickness, and safety glazing standard with which glass complies.
- F. Mockups: Build mockups to verify selections made under sample submittals and to demonstrate aesthetic effects and set quality standards for materials and execution.
  - 1. Approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.
- G. Preinstallation Conference: Conduct conference at project site.
  - 1. Review and finalize construction schedule and verify availability of materials, Installer's personnel, equipment, and facilities needed to make progress and avoid delays.
  - 2. Review temporary protection requirements for glazing during and after installation.

## 1.9 DELIVERY, STORAGE, AND HANDLING

- A. Protect glazing materials according to manufacturer's written instructions. Prevent damage to glass and glazing materials from condensation, temperature changes, direct exposure to sun, or other causes.
- B. Comply with insulating-glass manufacturer's written recommendations for venting and sealing units to avoid hermetic seal ruptures due to altitude change.

## 1.10 WARRANTY

- A. Manufacturer's Special Warranty for Coated-Glass Products: Manufacturer's standard form in which coated-glass manufacturer agrees to replace coated-glass units that deteriorate within specified warranty period. Deterioration of coated glass is defined as defects developed from normal use that are not attributed to glass breakage or to maintaining and cleaning coated glass contrary to manufacturer's written instructions. Defects include peeling, cracking, and other indications of deterioration in coating.
1. Warranty Period: 10 years from date of Substantial Completion.
- B. Manufacturer's Special Warranty on Laminated Glass: Manufacturer's standard form in which laminated-glass manufacturer agrees to replace laminated-glass units that deteriorate within specified warranty period. Deterioration of laminated glass is defined as defects developed from normal use that are not attributed to glass breakage or to maintaining and cleaning laminated glass contrary to manufacturer's written instructions. Defects include edge separation, delamination materially obstructing vision through glass, and blemishes exceeding those allowed by referenced laminated-glass standard.
1. Warranty Period: 10 years from date of Substantial Completion.

## PART 2 - PRODUCTS

### 2.1 GLASS PRODUCTS, GENERAL

- A. Thickness: Where glass thickness is indicated, it is a minimum. Provide glass lites in thicknesses as needed to comply with requirements indicated.
- B. Thermal and Optical Performance Properties: Provide glass with performance properties specified, as indicated in manufacturer's published test data, based on procedures indicated below:
1. For laminated-glass lites, properties are based on products of construction indicated.

### 2.2 GLASS PRODUCTS

- A. Float Glass: ASTM C 1036, Type I, Quality-Q3, Class I (clear) unless otherwise indicated.
- B. Heat-Treated Float Glass: ASTM C 1048; Type I; Quality-Q3; Class I (clear) unless otherwise indicated; of kind and condition indicated.
1. Fabrication Process: By horizontal (roller-hearth) process with roll-wave distortion parallel to bottom edge of glass as installed unless otherwise indicated.

2. For uncoated glass, comply with requirements for Condition A.
  3. For coated vision glass, comply with requirements for Condition C (other coated glass).
- C. Patterned (“Reeded”) Glass: ASTM C 1036, Type II, Class 1 (clear), Form 3; Quality-Q6, Finish F1 (patterned one side).
1. Products: Subject to compliance with requirements, available products that may be incorporated into the Work include, but are not limited to, the following (Note that “½” below refers to pattern spacing, not glass thickness):
    - a. Architectural Glass: ½” Reed “GL 585”
    - b. Hollander Specialty Glass: ½” Reeded “GL 785”

### 2.3 LAMINATED GLASS

- A. Laminated Glass: ASTM C 1172, and complying with testing requirements in 16 CFR 1201 for Category II materials, and with other requirements specified. Use materials that have a proven record of no tendency to bubble, discolor, or lose physical and mechanical properties after fabrication and installation.
1. Construction: Laminate glass with polyvinyl butyral interlayer to comply with interlayer manufacturer’s written recommendations.
  2. Interlayer Thickness: Provide thickness not less than that indicated and as needed to comply with requirements.
  3. Interlayer Color: Clear.
- B. Glass: Comply with applicable requirements in "Glass Products" Article as indicated by designations in "Laminated-Glass Types" Article.

### 2.4 GLAZING GASKETS

- A. Dense Compression Gaskets: Molded or extruded gaskets of profile and hardness required to maintain watertight seal, made from **one of** the following:
1. Neoprene complying with ASTM C 864.
  2. EPDM complying with ASTM C 864.
  3. Silicone complying with ASTM C 1115.
  4. Thermoplastic polyolefin rubber complying with ASTM C 1115.
- B. Soft Compression Gaskets: Extruded or molded, closed-cell, integral-skinned silicone or thermoplastic polyolefin rubber gaskets complying with ASTM C 509, Type II, black; of profile and hardness required to maintain watertight seal.

1. Application: Use where soft compression gaskets will be compressed by inserting dense compression gaskets on opposite side of glazing or pressure applied by means of pressure-glazing stops on opposite side of glazing.

## 2.5 GLAZING SEALANTS

### A. General:

1. Compatibility: Provide glazing sealants that are compatible with one another and with other materials they will contact, including glass products, seals of insulating-glass units, and glazing channel substrates, under conditions of service and application, as demonstrated by sealant manufacturer based on testing and field experience.
2. Suitability: Comply with sealant and glass manufacturers' written instructions for selecting glazing sealants suitable for applications indicated and for conditions existing at time of installation.
3. Sealants used inside the weatherproofing system, shall have a VOC content of not more than 250 g/L when calculated according to 40 CFR 59, Subpart D (EPA Method 24).
4. Sealants used inside the weatherproofing system shall comply with the testing and product requirements of the California Department of Health Services' "Standard Practice for the Testing of Volatile Organic Emissions from Various Sources Using Small-Scale Environmental Chambers."
5. Colors of Exposed Glazing Sealants: As selected by Architect from manufacturer's full range.

### B. Glazing Sealant: Neutral-curing silicone glazing sealant complying with ASTM C 920, Type S, Grade NS, Class 100/50, Use NT.

1. Products: Subject to compliance with requirements, available products that may be incorporated into the Work include, but are not limited to, the following:
  - a. Dow Corning Corporation; 795.
  - b. Pecora Corporation; 896.
  - c. Sika Corporation; SikaSil-SG-20.
  - d. Tremco Incorporated; Spectrem 1.
2. Applications: Framed and frameless glazing at counter screen.

## 2.6 GLAZING TAPES

- ### A. Back-Bedding Mastic Glazing Tapes: Preformed, butyl-based, 100 percent solids elastomeric tape; nonstaining and nonmigrating in contact with nonporous surfaces; with or without spacer rod as recommended in writing by tape and glass manufacturers for application indicated; and complying with ASTM C 1281 and AAMA 800 for products indicated below:

1. AAMA 804.3 tape, where indicated.
  2. AAMA 806.3 tape, for glazing applications in which tape is subject to continuous pressure.
  3. AAMA 807.3 tape, for glazing applications in which tape is not subject to continuous pressure.
- B. Expanded Cellular Glazing Tapes: Closed-cell, PVC foam tapes; factory coated with adhesive on both surfaces; and complying with AAMA 800 for the following types:
1. AAMA 810.1, Type 1, for glazing applications in which tape acts as the primary sealant.
  2. AAMA 810.1, Type 2, for glazing applications in which tape is used in combination with a full bead of liquid sealant.

## 2.7 MISCELLANEOUS GLAZING MATERIALS

- A. General: Provide products of material, size, and shape complying with referenced glazing standard, requirements of manufacturers of glass and other glazing materials for application indicated, and with a proven record of compatibility with surfaces contacted in installation.
- B. Cleaners, Primers, and Sealers: Types recommended by sealant or gasket manufacturer.
- C. Setting Blocks: Elastomeric material with a Shore, Type A durometer hardness of 85, plus or minus 5.
- D. Spacers: Elastomeric blocks or continuous extrusions of hardness required by glass manufacturer to maintain glass lites in place for installation indicated.
- E. Edge Blocks: Elastomeric material of hardness needed to limit glass lateral movement (side walking).
- F. Cylindrical Glazing Sealant Backing: ASTM C 1330, Type O (open-cell material), of size and density to control glazing sealant depth and otherwise produce optimum glazing sealant performance.
- G. Perimeter Insulation for Fire-Resistive Glazing: Product that is approved by testing agency that listed and labeled fire-resistant glazing product with which it is used for application and fire-protection rating indicated.

## 2.8 FABRICATION OF GLAZING UNITS

- A. Fabricate glazing units in sizes required to fit openings indicated for Project, with edge and face clearances, edge and surface conditions, and bite complying with written

instructions of product manufacturer and referenced glazing publications, to comply with system performance requirements.

- B. Clean-cut or flat-grind vertical edges of butt-glazed monolithic lites to produce square edges with slight chamfers at junctions of edges and faces.
- C. Grind smooth and polish exposed glass edges and corners.

## 2.9 LAMINATED-GLASS TYPES

- A. Glass Type GL-1: Clear laminated glass with two plies of heat-strengthened float glass.
  - 1. Thickness of Each Glass Ply: ¼”.
  - 2. Interlayer Thickness: 0.030 inch (0.76 mm).
  - 3. Provide safety glazing labeling as required by code and authorities having jurisdiction.
- B. Glass Type GL-2: Laminated glass with one ply of heat-strengthened float glass and one ply of patterned (“reeded”) glass.
  - 1. Thickness of Clear Glass Ply: 3/16”.
  - 2. Thickness of Patterned Glass Ply: ¼”.
  - 3. Interlayer Thickness: 0.030 inch (0.76 mm).
  - 4. Provide safety glazing labeling as required by code and authorities having jurisdiction.
  - 5. Patterned (“reeded”) glass surface is to face Room 1032 – “Vestibule.”

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine framing, glazing channels, and stops, with Installer present, for compliance with the following:
  - 1. Manufacturing and installation tolerances, including those for size, squareness, and offsets at corners.
  - 2. Presence and functioning of weep systems.
  - 3. Minimum required face and edge clearances.
  - 4. Effective sealing between joints of glass-framing members.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 PREPARATION

- A. Clean glazing channels and other framing members receiving glass immediately before glazing. Remove coatings not firmly bonded to substrates.
- B. Examine glazing units to locate exterior and interior surfaces. Label or mark units as needed so that exterior and interior surfaces are readily identifiable. Do not use materials that will leave visible marks in the completed work.

### 3.3 GLAZING, GENERAL

- A. Comply with combined written instructions of manufacturers of glass, sealants, gaskets, and other glazing materials, unless more stringent requirements are indicated, including those in referenced glazing publications.
- B. Adjust glazing channel dimensions as required by Project conditions during installation to provide necessary bite on glass, minimum edge and face clearances, and adequate sealant thicknesses, with reasonable tolerances.
- C. Protect glass edges from damage during handling and installation. Remove damaged glass from Project site and legally dispose of off Project site. Damaged glass is glass with edge damage or other imperfections that, when installed, could weaken glass and impair performance and appearance.
- D. Apply primers to joint surfaces where required for adhesion of sealants, as determined by preconstruction testing.
- E. Install setting blocks in sill rabbets, sized and located to comply with referenced glazing publications, unless otherwise required by glass manufacturer. Set blocks in thin course of compatible sealant suitable for heel bead.
- F. Do not exceed edge pressures stipulated by glass manufacturers for installing glass lites.
- G. Provide spacers for glass lites where length plus width is larger than 50 inches.
  - 1. Locate spacers directly opposite each other on both inside and outside faces of glass. Install correct size and spacing to preserve required face clearances, unless gaskets and glazing tapes are used that have demonstrated ability to maintain required face clearances and to comply with system performance requirements.
  - 2. Provide 1/8-inch minimum bite of spacers on glass and use thickness equal to sealant width. With glazing tape, use thickness slightly less than final compressed thickness of tape.
- H. Provide edge blocking where indicated or needed to prevent glass lites from moving sideways in glazing channel, as recommended in writing by glass manufacturer and according to requirements in referenced glazing publications.

- I. Set glass lites in each series with uniform pattern, draw, bow, and similar characteristics.
- J. Set glass lites with proper orientation so that coatings face exterior or interior as specified.
- K. Where wedge-shaped gaskets are driven into one side of channel to pressurize sealant or gasket on opposite side, provide adequate anchorage so gasket cannot walk out when installation is subjected to movement.
- L. Square cut wedge-shaped gaskets at corners and install gaskets in a manner recommended by gasket manufacturer to prevent corners from pulling away; seal corner joints and butt joints with sealant recommended by gasket manufacturer.

#### 3.4 TAPE GLAZING

- A. Position tapes on fixed stops so that, when compressed by glass, their exposed edges are flush with or protrude slightly above sightline of stops.
- B. Install tapes continuously, but not necessarily in one continuous length. Do not stretch tapes to make them fit opening.
- C. Cover vertical framing joints by applying tapes to heads and sills first and then to jambs. Cover horizontal framing joints by applying tapes to jambs and then to heads and sills.
- D. Place joints in tapes at corners of opening with adjoining lengths butted together, not lapped. Seal joints in tapes with compatible sealant approved by tape manufacturer.
- E. Do not remove release paper from tape until right before each glazing unit is installed.
- F. Apply heel bead of elastomeric sealant.
- G. Center glass lites in openings on setting blocks and press firmly against tape by inserting dense compression gaskets formed and installed to lock in place against faces of removable stops. Start gasket applications at corners and work toward centers of openings.
- H. Apply cap bead of elastomeric sealant over exposed edge of tape.

#### 3.5 GASKET GLAZING (DRY)

- A. Cut compression gaskets to lengths recommended by gasket manufacturer to fit openings exactly, with allowance for stretch during installation.
- B. Insert soft compression gasket between glass and frame or fixed stop so it is securely in place with joints miter cut and bonded together at corners.

- C. Installation with Drive-in Wedge Gaskets: Center glass lites in openings on setting blocks and press firmly against soft compression gasket by inserting dense compression gaskets formed and installed to lock in place against faces of removable stops. Start gasket applications at corners and work toward centers of openings. Compress gaskets to produce a weathertight seal without developing bending stresses in glass. Seal gasket joints with sealant recommended by gasket manufacturer.
- D. Installation with Pressure-Glazing Stops: Center glass lites in openings on setting blocks and press firmly against soft compression gasket. Install dense compression gaskets and pressure-glazing stops, applying pressure uniformly to compression gaskets. Compress gaskets to produce a weathertight seal without developing bending stresses in glass. Seal gasket joints with sealant recommended by gasket manufacturer.
- E. Install gaskets so they protrude past face of glazing stops.

### 3.6 SEALANT GLAZING (WET)

- A. Install continuous spacers, or spacers combined with cylindrical sealant backing, between glass lites and glazing stops to maintain glass face clearances and to prevent sealant from extruding into glass channel and blocking weep systems until sealants cure. Secure spacers or spacers and backings in place and in position to control depth of installed sealant relative to edge clearance for optimum sealant performance.
- B. Force sealants into glazing channels to eliminate voids and to ensure complete wetting or bond of sealant to glass and channel surfaces.
- C. Tool exposed surfaces of sealants to provide a substantial wash away from glass.

### 3.7 CLEANING AND PROTECTION

- A. Protect exterior glass from damage immediately after installation by attaching crossed streamers to framing held away from glass. Do not apply markers to glass surface. Remove nonpermanent labels and clean surfaces.
- B. Protect glass from contact with contaminating substances resulting from construction operations. If, despite such protection, contaminating substances do come into contact with glass, remove substances immediately as recommended in writing by glass manufacturer.
- C. Examine glass surfaces adjacent to or below exterior concrete and other masonry surfaces at frequent intervals during construction, but not less than once a month, for buildup of dirt, scum, alkaline deposits, or stains; remove as recommended in writing by glass manufacturer.
- D. Remove and replace glass that is broken, chipped, cracked, or abraded or that is damaged from natural causes, accidents, and vandalism, during construction period.

- E. Wash glass on both exposed surfaces in each area of Project not more than four days before date scheduled for inspections that establish date of Substantial Completion. Wash glass as recommended in writing by glass manufacturer.

END OF SECTION 08 81 26

**SECTION 11 22 00  
SECURITY EQUIPMENT**

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes manufactured security equipment to be integrated into the counter screen.
- B. Related Sections:
  - 1. Section 05 70 00 "Architectural Metal Fabrications" for transfer box integration.
  - 2. Section 06 20 23 "Interior Finish Carpentry" for transfer box support.
  - 3. Section 08 81 26 "Interior Glazing" for speak-through mounting.

1.3 ACTION SUBMITTALS

- A. Product Data Sheets: For each manufactured component.

1.4 INFORMATIONAL SUBMITTALS

- A. Warranties: Sample of warranties.

1.5 QUALITY ASSURANCE

- A. Preinstallation Conference: Conduct conference at project site.
  - 1. Review and finalize construction schedule and verify availability of materials, Installer's personnel, equipment, and facilities needed to make progress and avoid delays.
  - 2. Review coordination with glazing and woodwork.

## PART 2 - PRODUCTS

### 2.1 TRANSFER BOX

- A. Basis of Design: Total Security Systems "PE" Interlocking Package Passer.
  - 1. Size: Custom, see drawings.
  - 2. Material: Clear acrylic or polycarbonate.
  - 3. Security: Level 1.

### 2.2 SPEAK-THROUGH

- A. Basis of Design: CRL "No-Draft Speak-Thru."
  - 1. Size: 5-5/16" dia.
  - 2. Material: Aluminum.
  - 3. Security: Duranodic "Bronze" anodized.

## PART 3 - EXECUTION

### 3.1 INSTALLERS

- A. Contractor personnel shall comply with all applicable state and local licensing requirements.

### 3.2 PREPARATION

- A. Verify substrates are in place and complete.

### 3.3 INSTALLATION

- A. Follow all manufacturer-published guidance on installation of each component.

END OF SECTION 11 22 00