



JUDICIAL COUNCIL
OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

www.courts.ca.gov/tcfmac.htm
tcfmac@jud.ca.gov

TRIAL COURT FACILITY MODIFICATION ADVISORY COMMITTEE

OPEN MEETING WITH CLOSED SESSION AGENDA

Open to the Public Unless Indicated as Closed (Cal. Rules of Court, rule 10.75(c)(1))

OPEN PORTION OF THIS MEETING IS BEING RECORDED

Date: January 15, 2016
Time: 10:00 AM - 4:00 PM
Location: Sacramento/Teleconference for Public Access
Public Call-in Number: 1-877-820-7831 Listen Only Code: 4502468

Meeting materials for open portions of the meeting will be posted on the advisory body web page on the California Courts website at least three business days before the meeting. Agenda items are numbered for identification purposes only and will not necessarily be considered in the indicated order.

I. OPEN MEETING (CAL. RULES OF COURT, RULE 10.75(C)(1))

Call to Order and Roll Call 10:00 AM

Approval of Minutes

Approve minutes of the December 7, 2015 Trial Court Facility Modification Advisory Committee meeting.

II. ACTION ITEMS (ITEMS 1 – 9)

Action Item 1 – (Action Required) – List A – Emergency Facility Modification Funding (Priority 1)

Summary: Ratify emergency facility modifications from List A.

Action Requested: Staff recommends 27 projects for a total of \$431,550 to be paid from funds previously encumbered for emergency funding.

Presenter: Mr. Patrick McGrath, Facilities Operations Manager

Action Item 2 – (Action Required) – List B – Facility Modifications Less than \$50K (Priority 2)

Summary: Ratify facility modifications less than \$50K from List B.

Action Requested: Staff recommends 56 projects for a total of \$459,491 to be paid from funds previously encumbered for facility modifications less than \$50K.

Presenter: Mr. Patrick McGrath, Facilities Operations Manager

Action Item 3 – (Action Required) – List C – Cost Increases Over \$50K

Summary: Ratify facility modifications requiring cost increases over \$50K from List C.

Action Requested: Staff recommends five projects for a total cost increase to the Facility Modification program budget of \$304,680.

Presenter: Mr. Patrick McGrath, Facilities Operations Manager

Action Item 4 – (Action Required) – List D – Facility Modifications Over \$50K

Summary: Review recommended facility modifications over \$50K from List D.

Action Requested: Staff recommends 15 projects for a total cost to the Facility Modification Program Budget of \$2,844,759 with items #5 and #10 – FM-0055034 and FM-0057213 respectively being held for shared cost approval.

Presenter: Mr. Patrick McGrath, Facilities Operations Manager

Action Item 5 – (Action Required) – Energy Efficiency Projects

Summary: Review recommended energy efficiency facility modifications from List D.

Action Requested: Staff recommends three projects – items #16, 17, & 18 on List D – for a total cost to the Facility Modification Program Budget of \$139,830.

Presenter: Ms. Laura Sainz, Environmental Compliance & Sustainability Manager

Action Item 6 – Action Required) – List E – Court-Funded Facilities Requests (Facility Modifications)

Summary: Review Court-Funded Facilities Requests (Facility Modifications) from List E.

Action Requested: Staff recommends two CFRs for review and approval.

Presenter: Mr. Patrick McGrath, Facilities Operations Manager

Action Item 7 – (Action Required) – TCFMAC 2016 Annual Agenda

Summary: Review draft TCFMAC 2016 Annual Agenda.

Action Requested: Provide input and additions to draft document and approve release to E&P upon revision.

Presenter: Mr. Patrick McGrath, Facilities Operations Manager

Action Item 8 – (Action Required) – Quarterly Activity Report, Quarter 2 of Fiscal Year 2015-2016

Summary: Review and discuss the draft *Trial Court Facility Modification Advisory Committee Activity Report for Quarter 2, Fiscal Year 2015-2016*.

Action Requested: Provide input and additions to draft document and approve release to E&P upon revision.

Presenter: Mr. Patrick McGrath, Facilities Operations Manager

Action Item 9 – (Action Required) – Fiscal Year-End Process for Court-Funded Facilities Requests

Summary: Review and discussion of FY 15-16 CFR processing deadlines and overview of how the program has progressed this year.

Action Requested: Staff recommends approving the recommended year-end CFR deadline of March 14, 2016.

Presenter: Mr. Patrick McGrath, Facilities Operations Manager

III. DISCUSSION ITEMS (ITEMS 1-5)

Discussion Item 1 – Water Conservation Efforts Update

Summary: Update on water conservation policy implementation efforts.

Presenter: Ms. Laura Sainz, Environmental Compliance & Sustainability Manager

Discussion Item 2 – List F – Funded Facility Modifications on Hold

Summary: Review and discuss projects that have previously been funded by the committee, but that are on hold for various reasons.

Presenter: Mr. Patrick McGrath, Facilities Operations Manager

Discussion Item 3 – Placer Arraignment Court Project Update

Summary: Overview of facility modification progress to build arraignment court in Placer County, previously funded by the committee in January 2015.

Presenter: Mr. Nick Turner, Regional Manager

Discussion Item 4 – Seismic Study

Summary: Overview of Seismic Study findings previously introduced to the committee in April 2015.

Presenter: Mr. Jim Mullen, Senior Facilities Risk Manager

Discussion Item 5 – Prioritization Methodology

Summary: Update on revisions to Prioritization Methodology/Implementation Guideline.

Presenter: Mr. Patrick McGrath, Facilities Operations Manager, and Mr. Ken Levy, Attorney, Legal Services

IV. INFORMATION ONLY ITEMS (ITEMS 1-3)

Information Item 1 – Court Facilities Trust Fund Report on Q2 Expenditures

Summary: Informational report on FY 15-16 Q2 expenditures from CTF.

Information Item 2 – Report on Budget Reconciliation

Summary: Informational report on FY 15-16 budget reconciliation and spending plan, as well as completed and canceled facility modifications during the reporting period.

Information Item 3 – Judge So’s memorandum on Deadlines for Judicial Council-Sponsored Legislation

Summary: Memorandum from Judge So for all JCC committees on the timelines associated with the submittal of legislative proposals for possible Judicial Council sponsorship in 2017, together with the timeline for this year.

V. ADJOURNMENT

Adjourn to Closed Session



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TRIAL COURT FACILITY MODIFICATION ADVISORY COMMITTEE

MINUTES OF OPEN MEETING WITH CLOSED SESSION

December 7, 2015
12:00 p.m. – 1:30 p.m.
Teleconference

Advisory Body Members Present: Hon. Donald Cole Byrd, Chair, Hon. William F. Highberger, Vice-Chair, Hon. James L. Stoelker, Hon. Vanessa W. Vallarta, Hon. Jennifer K. Rockwell, Ms. Jeanine D. Tucker, Ms. Linda Romero Soles, and Ms. Christina M. Volkens

Advisory Body Members Absent: Mr. Michael M. Roddy, Hon. Brad Hill, and Hon. Patricia Lucas

Others Present: Mr. Curt Soderlund, Mr. Gerald Pfab, Mr. Patrick McGrath, Ms. M.R. Gafill Malloy, Mr. Nick Turner, Mr. Ken Kachold, Mr. Dan Hutton, Ms. Angela Guzman, Ms. Eunice Calvert-Banks, Mr. Kenneth Levy, Mr. Paul Menard, Mr. Brad Boulais, Ms. Karen Baker, Mr. Price Eres, Ms. Jamie Nguyen, Mr. Robert Cresswell and Ms. Hilda Iorga

OPEN MEETING

Call to Order and Roll Call

The chair called the meeting to order at 12:05 p.m. and took roll call.

Approval of Minutes

The advisory body reviewed and approved the minutes of the October 23, 2015 Trial Court Facility Modification Advisory Committee meeting.

PUBLIC WRITTEN COMMENT

No public comments were received.

ACTION ITEMS (ITEMS 1-6)

Action Item 1 – (Action Required) – List A – Emergency Facility Modification Funding (Priority 1)

Summary: Ratify emergency facility modifications from List A.

Action: *Reviewed and ratified 36 projects for a total of \$714,778 to be paid from funds previously encumbered for emergency funding.*

Action Item 2 – (Action Required) – List B – Facility Modifications Less than \$50K (Priority 2)

Summary: Ratify facility modifications less than \$50K from List B.

Action: Reviewed and ratified 144 projects for a total of \$1,558,464 to be paid from funds previously encumbered for facility modifications less than \$50K.

Action Item 3 – (Action Required) - List C – Cost Increases Over \$50K

Summary: Ratify facility modifications requiring cost increases over \$50K from List C.

Action: Reviewed and ratified four projects to receive cost increases. FM-0044237 was partially approved at this meeting for \$1.2 million. The remainder will be reviewed at a subsequent meeting date. The total cost increase to the Facility Modification Program Budget for all four projects is \$1,497,778.

Action Item 4 – (Action Required) - List D – Facility Modifications Over \$50K

Summary: Review recommended facility modifications over \$50K projects from List D.

Action: Reviewed and approved 16 projects for funding for a total cost to the Facility Modification Program Budget of \$3,477,639.

Action Item 5 – (Action Required) – List E – Court-Funded Facilities Requests (Facility Modifications)

Summary: Review Court-Funded Facilities Requests (Facility Modifications) from List E.

Action: Reviewed and approved five Court-Funded Facilities Requests, including Alameda Superior Court's request for a self-help center conversion (\$20,000); Courtroom modifications at Fresno Superior Court (\$22,686); Building assessments for Orange Superior Court (\$80,694); Entry modifications (Phase I) for San Bernardino Superior Court (\$19,300); and a Small Projects Annual Budget for San Francisco Superior Court (\$120,000).

Action Item 6 – (Action Required) – CFR Approval Authority

Summary: Review staff findings from committee's direction to mitigate delays in the execution of the CFR process.

Action: The committee directed staff to (1) develop a proposal for changes to small project budget values, and (2) engage all approval processes in parallel.

DISCUSSION ITEMS (ITEMS 1-4)

Discussion Item 1

Summary: Reviewed List F – Funded Facility Modifications on Hold. As of this meeting, there are 32 projects on hold with a total Facility Modification Program Budget Share of \$12,350,124. These projects are primarily on hold pending county share of funding commitment or a project manager assignment.

Discussion Item 2

Summary: Reviewed and discussed fines distribution examples as they relate to the facilities program. Court fines fund capital construction and facility modifications.

Discussion Item 3

Summary: Judicial Council staff gave an overview of the Judicial Council office consolidation. The Burbank office is scheduled to close in June 2017; satellite offices will close as leases expire before then. Facilities Management staff will be placed within court facilities, if they are not there already.

Discussion Item 4

Summary: Judicial Council staff indicated that the January 15, 2016 TCFMAC meeting will be held in a different room in the same building in Sacramento due to Judicial Council conference room meeting conflicts. Further details will be provided closer to the meeting date.

INFORMATION ONLY ITEMS (NO ACTION REQUIRED)

Information Item 1

Summary: Informational report on FY 15-16 budget reconciliation and spending plan, as well as completed and canceled facility modifications during the reporting period.

ADJOURNMENT

There being no further open meeting business, the meeting was adjourned at 1:16 p.m.

Approved by the advisory body on _____.



JUDICIAL COUNCIL
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TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

Meeting Date: 1/15/2016

**Action Item 1 – (Action Required) - List A – Emergency
Facility Modification Funding (Priority 1)**

Summary:

List A – Emergency Facility Modification Funding (Priority 1)

Total Project Count:	27
Total Potential FM Budget Share of Cost:	\$431,550

Supporting Documentation:

- List A - Emergency Facility Modifications (Priority 1)

Action Requested:

Staff recommends 27 projects for a total of \$431,550 to be paid from funds previously encumbered for emergency funding.



JUDICIAL COUNCIL
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TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

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Trial Court Facility Modification
Emergency and Priority 1 (List A)
11/14/2015 to 12/25/2015
Meeting Date 1/15/2016

	FM NUMBER	LOCATION	FACILITY NAME	BUILDING ID	PRIORITY	SHORT TITLE	TCFMAC FUNDED COST	FACILITY MODIFICATION PROGRAM BUDGET SHARE OF PRELIMINARY ESTIMATE	JOB STATUS	FACILITY MODIFICATION PROGRAM BUDGET % of COST
1	FM-0057118	Los Angeles	Compton Courthouse	19-AG1	1	Plumbing - Replace 20' of 2" Black cast iron pipe & fittings under ACM conditions. Employee restroom drain line cracked and leaked from 2nd flr to ground level.	\$ 13,819	\$9,139	Complete	66.13
2	FM-0057119	Los Angeles	Norwalk Courthouse	19-AK1	1	Plumbing - Replaced approx. 15 ft. of 2 inch black cast iron drain piping. Replace (30) 12x12x 5/8 damage ceiling tiles and remediate water damage. Water is dripping from 4th floor ceiling inside Department J Courtroom.	\$ 12,561	\$12,561	In Work	100
3	FM-0057125	Los Angeles	Pasadena Courthouse	19-J1	1	Plumbing - Replace 4' of failed 6" ductile piping on the incoming main fire supply line. Excavate 7'x10' area to provide access and remediate water damage once replacement line is installed. Work is immediately adjacent to 480 electrical supply lines so special cutting equipment is required during installation. Work is required to maintain fire system in the facility.	\$ 75,100	\$52,082	In Work	69.35
4	FM-0057150	San Bernardino	New San Bernardino Courthouse	36-R1	1	Plumbing - Replace approx. 96 SF of drywall ceiling. Remediate water damaged in the 1st floor HR storage room caused by a leaking supply line fitting in the 2nd floor Women's staff restroom.	\$ 7,461	\$7,461	Complete	100
5	FM-0057155	Los Angeles	San Fernando Courthouse	19-AC1	1	Electrical - Building ATS failed to transfer power to emergency generator. Replace 600A ATS, replace (10) 500 MCM copper lugs, install 20 LF of 500 MCM copper wire, and install (10) 500 MCM compression connections.	\$ 33,397	\$27,856	Complete	83.41
6	FM-0057159	Los Angeles	Van Nuys Courthouse East	19-AX1	1	HVAC - Replace (1) failed actuator. Failed actuator is causing Room 110 to be extremely cold. ACM environment.	\$ 6,520	\$5,851	In Work	89.74
7	FM-0057160	Los Angeles	Norwalk Courthouse	19-AK1	1	Roof - Water leak through the 7th floor into the 6th floor ceiling of Department S. Replace (6) 1'x1'tiles on both floors. Replace (1) damaged smoke detector within an ACM environment.	\$ 16,585	\$16,585	In Work	100
8	FM-0057161	Los Angeles	Norwalk Courthouse	19-AK1	1	Plumbing - Remove and replace a 35 LF of leaking 2inch drain pipe within an ACM environment.	\$ 16,291	\$16,291	In Work	100
9	FM-0057163	Los Angeles	Hollywood Courthouse	19-S1	1	Vandalism - Replace (1) broken main entrance glass door (31.5x71) in front of the courthouse. A person threw a rock breaking one of the glass doors.	\$ 10,025	\$9,132	Complete	91.09
10	FM-0057193	Los Angeles	Mental Health Court	19-P1	1	Plumbing - Replace 4 ft section of the main sewage line on the 1st floor, in the public hallway. Remediation within ACM Environment of 8Wx15Lx8H are. Main sewage line is cracked and the public restrooms had to be closed due to the back-up.	\$ 44,438	\$31,689	In Work	71.31
11	FM-0057194	Los Angeles	Compton Courthouse	19-AG1	1	Elevators, Escalators, & Hoists - Shorten elevator hoist ropes 16" on Elevator #5. The ropes is overstretched and tripping the comp sheave safety switch.	\$ 9,885	\$6,537	In Work	66.13
12	FM-0057196	Los Angeles	Pasadena Courthouse	19-J1	1	Plumbing - Replace failed lines from the water cooler including work in an ACM environment. Water remediation required in 4th fl. Dept. A chambers, 5th fl. Dep. D and Dep. D-1 chambers, ceiling into the 4th Floor, Dept. A - Supervising Judge's Chambers, damaging (16) 2'x2' ceiling tiles and the wall.	\$ 22,653	\$15,710	In Work	69.35
13	FM-0057199	Alameda	Wiley W. Manuel Courthouse	01-B3	1	Plumbing - Remediate flood damage in 5th floor holding area 108 and 4th floor holding area 104. Flooding was caused intentionally by in-custody.	\$ 5,375	\$5,375	In Work	100
14	FM-0057201	Los Angeles	Inglewood Courthouse	19-F1	1	Elevators - Custody elevator #5. Remove and restore Generator, strip and rewind armature, dip and bake parts, strip and rewind A/C end, dip and bake parts, replace all D/C field wires, replace 2 sleeve bearings, and replace brushes and lead wires.	\$ 65,000	\$48,464	In Work	74.56



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ADVISORY COMMITTEE

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Trial Court Facility Modification
Emergency and Priority 1 (List A)
11/14/2015 to 12/25/2015
Meeting Date 1/15/2016

	FM NUMBER	LOCATION	FACILITY NAME	BUILDING ID	PRIORITY	SHORT TITLE	TCFMAC FUNDED COST	FACILITY MODIFICATION PROGRAM BUDGET SHARE OF PRELIMINARY ESTIMATE	JOB STATUS	FACILITY MODIFICATION PROGRAM BUDGET % of COST
15	FM-0057205	Los Angeles	Stanley Mosk Courthouse	19-K1	1	Elevators, Escalators, & Hoists - Replace handrail guides/brackets for Escalator 2-1. Handrail and guide failed. This is a safety hazard.	\$ 7,650	\$7,440	In Work	97.26
16	FM-0057208	Los Angeles	Alhambra Courthouse	19-I1	1	Plumbing - Replace a cracked pressure regulator valve and remediate water damage in an ACM environment. A leak was reported coming from the sink in a cell on the second floor and leak onto the 1st floor public hallway.	\$ 8,673	\$7,459	In Work	86
17	FM-0057209	Los Angeles	Van Nuys Courthouse East	19-AX1	1	Plumbing - Replace failed toilet gaskets and remediate water damage in an ACM environment. Water is leaking from the ceiling into the 4th floor Department U, affecting (4) 2" x 2" tiles.	\$ 14,567	\$13,072	In Work	89.74
18	FM-0057217	Los Angeles	Chatsworth Courthouse	19-AY1	1	HVAC - Chiller #1 tripping on high motor temperature - Rebuild existing chiller; work to include two (2) new filter driers, a new sight glass, "O" rings and gasket, 10 Lf. Of 1 5/8" copper tubing and associated couplings and elbows, and four (4) new 1 5/8" refrigeration ball valves.	\$ 33,885	\$28,396	In Work	83.8
19	FM-0057219	Los Angeles	Alfred J. McCourtney Juvenile Center	19-AE1	1	County Managed - Exterior Finishes - Replace 3 broken exterior window. All (3) window are 2x4 in size. This includes emergency response.	\$ 2,348	\$2,348	In Work	100
20	FM-0057221	Los Angeles	Van Nuys Courthouse West	19-AX2	1	Plumbing - Install (1) ¾ 90 deg. elbow, and ¾ copper cap and remediate water damage, remove & replace 160 lineal feet of cove base, and prepped/mudded/sanded 25'x10' wall. Water is leaking from a 3/4" copper supply line, saturating the wall of the Basement conference room and breakroom B129.	\$ 14,505	\$11,674	In Work	80.48
21	FM-0057227	Los Angeles	Metropolitan Courthouse	19-T1	1	Electrical - Replace failed switch handle to ATS that controls the elevators. Due to brief power outage, no elevators at the courthouse are functioning. The ATS can't reset.	\$ 12,565	\$11,879	In Work	94.54
22	FM-0057231	Los Angeles	Stanley Mosk Courthouse	19-K1	1	Plumbing - Mechanical RM-823 domestic hot water tank has a quarter size hole at bottom of tank. Weld plate to cover hole and 2 additional areas. Replace approx. 1,300sf of ceiling tiles. Tank supplies hot water to 9th flr restrooms and kitchen. Work is done under ACM environment.	\$ 48,500	\$47,171	In Work	97.26
23	FM-0057232	Los Angeles	Compton Courthouse	19-AG1	1	Elevators, Escalators, & Hoists - Shorten Elevator hoist ropes 16" on Elevator #4. The ropes are overstretched & tripping the comp sheave safety switch.	\$ 9,885	\$6,537	In Work	66.13
24	FM-0057233	Los Angeles	Compton Courthouse	19-AG1	1	Elevators, Escalators, & Hoists - Elevator #11 is leaking hydraulic fluid from the jack shaft packing. Repack shaft to stop leaking.	\$ 9,986	\$6,604	In Work	66.13
25	FM-0057234	Los Angeles	Van Nuys Courthouse West	19-AX2	1	Plumbing - Replace failed push button for drinking fountain and replace (19) ceiling tiles. In custody jammed push button to drinking fountain on the fourth floor causing water to leak down pipe chase into the 2nd floor ceiling above the window #7 Clerk's Area.	\$ 9,880	\$7,951	In Work	80.48
26	FM-0057235	Los Angeles	Compton Courthouse	19-AG1	1	Plumbing - Replace 20' of 2" Black Cast Iron drain Pipe/Fittings. Replace 4' of 1" ceiling tiles. Remediate black water contamination. Water Leaked from the 7th flr public women's RR to 6th flr Dept. P Courtroom.	\$ 14,887	\$9,845	In Work	66.13
27	FM-0057239	Riverside	Banning	33-G1	1	Elevators, Escalators & Hoists - Remove and replace obsolete and damaged door operator and replace with new MOVFR II door operator; including new gate switch, door linkage, and all necessary wiring to the existing controller. This is the only elevator in the building and its outage is severely affecting operations within.	\$ 16,256	\$6,442	In Work	39.63
							\$542,697	\$431,550		



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Meeting Date: 1/15/2016

**Action Item 2 – (Action Required) - List B – Facility
Modifications Less than \$50K (Priority 2)**

Summary:

List B – Facility Modifications Less than \$50K (Priority 2)

Total Project Count:	56
Total Potential FM Budget Share of Cost:	\$459,491

Supporting Documentation:

- List B – Facility Modifications Less than \$50K (Priority 2)

Action Requested:

Staff recommends 56 projects for a total of \$459,491 to be paid from funds previously encumbered for facility modifications less than \$50K.



**JUDICIAL COUNCIL
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TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

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Trial Court Facility Modification

FMs Less Than \$50K (List B)

11/14/2015 to 12/25/2015

Meeting Date 1/15/2016

	FM NUMBER	LOCATION	FACILITY NAME	BUILDING ID	PRIORITY	SHORT TITLE	TCFMAC FUNDED COST	FACILITY MODIFICATION PROGRAM BUDGET SHARE OF PRELIMINARY ESTIMATE	JOB STATUS	FACILITY MODIFICATION PROGRAM BUDGET % of COST
1	FM-0057117	Los Angeles	Compton Courthouse	19-AG1	2	Elevator - The ropes for Elevator #6 is overstretched and tripping the comp sheave safety switch which is causing entrapments. Elevator hoist ropes must be shortened and tested for proper operation before releasing back into service.	\$3,761	\$2,487	In Work	66.13
2	FM-0057120	Los Angeles	Metropolitan Courthouse	19-T1	2	Interior Finishes - Reinforce approx. 25ft ceiling tile support brackets in an ACM environment. Spline Ceiling tiles; support brackets are not holding creating a safety issue. Ceiling is located in a court exclusive space.	\$4,847	\$4,847	In Work	100
3	FM-0057121	Los Angeles	Beverly Hills Courthouse	19-AQ1	2	Exterior Shell - Remove and replace approximately 15 linear feet and 6 wide damaged concrete and adjacent asphalt. Bottom of ramp at the loading dock in the rear of the building has damaged concrete, this is a trip hazard and a safety concern.	\$4,392	\$3,493	Complete	79.52
4	FM-0057122	San Diego	South County Regional Center	37-H1	2	COUNTY MANAGED Plumbing: Replace storm water pumps and approximately 300 linear feet of deteriorated storm drains and sewer piping from roof top to detention level. Scope of work includes permitting, inspection and county project management fees. Due to age and current condition of plumbing system had resulted in water intrusion throughout the facility.	\$30,464	\$30,464	FMU Final Review	100
5	FM-0057130	Los Angeles	Parking Structure-Edelman Court	19-Q2	2	Elevators, Escalators, & Hoists - Install new governor cable and re-babbit cable. Elevator #1 governor cable is worn and stretched.	\$4,499	\$3,149	In Work	69.99
6	FM-0057131	Los Angeles	Edmund D. Edelman Children's Court	19-Q1	2	Elevators, Escalators, & Hoists - Install carbon generator brushes for eight elevators. Elevator generator brushes are deteriorating and need replacing for Parking Elevator #1, Public Elevators #2 through #6, and Children's Elevators #7 & #8. Elevators will begin to fail and could lead to potential entrapments, and downed elevators.	\$3,299	\$2,309	In Work	69.99
7	FM-0057132	Alameda	Wiley W. Manuel Courthouse	01-B3	2	Vandalism - Replace (1) Tempered / laminated security glass 7" X 32 3/4" X 1" thick glass pane window in holding cell 110-1. Window was broken by in custody causing a security issue.	\$1,307	\$1,307	In Work	100
8	FM-0057133	San Joaquin	Manteca Branch Court	39-C1	2	Plumbing - Install 2" backflow prevention device (with concrete pad, cage, and bollards) on the domestic water system as required by the City of Manteca oer code. Item identified during the water audit.	\$10,279	\$10,279	In Work	100
9	FM-0057134	Calaveras	New San Andreas Courthouse	05-C1	2	Fire Protection - Install three new remote test switches to currently inaccessible duct detectors (1-2-150, 1-2-157 & 1-2-138) to facilitate completion of code required testing of the fire protection system.	\$6,287	\$6,287	In Work	100
10	FM-0057135	Santa Cruz	Watsonville Courthouse	44-B2	2	Elevators - Remove and replace jack seals on five (5) elevator cars - Elevator packing is leaking from (5) Elevator hydraulic ram seals and can cause elevator to shut down if not replaced, any number of elevator reduction would have a direct impact on access to the courts for staff/public/Judicial Officers.	\$15,838	\$15,838	In Work	100



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FMs Less Than \$50K (List B)

11/14/2015 to 12/25/2015

Meeting Date 1/15/2016

	FM NUMBER	LOCATION	FACILITY NAME	BUILDING ID	PRIORITY	SHORT TITLE	TCFMAC FUNDED COST	FACILITY MODIFICATION PROGRAM BUDGET SHARE OF PRELIMINARY ESTIMATE	JOB STATUS	FACILITY MODIFICATION PROGRAM BUDGET % of COST
11	FM-0057141	San Bernardino	Rancho Cucamonga Courthouse	36-F1	2	Electrical - Install (2) 2pole 208/240 - 30amp circuits with twist lock outlets and (1) 120V - receptacle in the 1st floor civil department. This work is needed to accommodate Appellate Court equipment.	\$3,511	\$3,511	In Work	100
12	FM-0057142	Riverside	Southwest Justice Center	33-M1	2	Exterior Shell - Restore (2) pair of rear entry exit doors that have failed due to building settling. Doors at this time do not open and are limiting public and employee access/egress to the building.	\$6,726	\$5,032	In Work	74.82
13	FM-0057143	Orange	Central Justice Center	30-A1	2	HVAC - Replace 2 HP water heating pump. Bearings are failing. Failure would result in loss of domestic hot water for areas of the 3rd floor.	\$8,089	\$7,375	In Work	91.17
14	FM-0057149	Solano	Law And Justice Center	48-A2	2	HVAC - Remove and replace (1) return fan motor and associated drive belts on Air Handler #16 - Motor bearings are beginning to fail and would affect courtrooms and chambers.	\$5,667	\$5,667	In Work	100
15	FM-0057157	Los Angeles	Santa Monica Court Annex	19-AP3	2	HVAC - Replace burnt economizer communication modules and fan motor. BAS system is non-functional which is affecting the A/C system of the entire Annex Building.	\$5,148	\$4,041	Complete	78.49
16	FM-0057158	Tulare	South County Justice Center	54-I1	2	Exterior - Vandalism - Replace (1) broken window (47 1/4" x 105 7/8") on 2nd floor overlooking the sallyport. Existing window was shot at and had both panes cracked.	\$5,837	\$5,837	In Work	100
17	FM-0057162	Los Angeles	Edmund D. Edelman Children's	19-Q1	2	Plumbing - Replace a failed 3/4" ball valve and install new copper fitting. Hot water is constantly leaking from a bathtub faucet located in the Shelter Care Restroom. ACM	\$2,303	\$1,612	In Work	69.99
18	FM-0057164	San Diego	South County Regional Center	37-H1	2	Elevators, Escalators, & Hoists - Shorten Hoist Ropes on Car #9. During a service call it was found that the stretching of the cable ropes do not meet with code or operational specifications.	\$7,200	\$7,200	Complete	100
19	FM-0057165	Orange	Harbor Justice Center-Newport Beach Facility	30-E1	2	HVAC - Replace failed exhaust fan. Parts are no longer available for failed fan.	\$4,600	\$3,879	In Work	84.32
20	FM-0057166	Riverside	Larson Justice Center	33-C1	2	Elevators, Escalators, & Hoists - Lighting -Replace failed lighting controller, ceiling mount, and power supply. 90% of the lighting have failed and is a safety hazard to employees, jurors, and public.	\$13,173	\$10,645	In Work	80.81
21	FM-0057169	San Bernardino	Rancho Cucamonga Courthouse	36-F1	2	HVAC - Replace faulty Main Base Board and Auxiliary Contacts. Chiller is experiencing intermittent faults for compressor overload. This work must be performed to ensure reliable cooling for the Courts MDF room.	\$7,467	\$5,679	In Work	76.05
22	FM-0057170	Los Angeles	Sylmar Juvenile Court	19-AF1	2	COUNTY MANAGED - HVAC - Install (2) new mini-split HVAC units 20 x 15 ft glass store front to enclose the weapon screening area with double doors. Current building design does not support cooling requirements for weapons screening. Work impacts common space and county is absorbing 65% of overall project cost.	\$32,080	\$32,080	FMU Final Review	100



JUDICIAL COUNCIL
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TRIAL COURT FACILITY MODIFICATION
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Trial Court Facility Modification

FMs Less Than \$50K (List B)

11/14/2015 to 12/25/2015

Meeting Date 1/15/2016

FM NUMBER	LOCATION	FACILITY NAME	BUILDING ID	PRIORITY	SHORT TITLE	TCFMAC FUNDED COST	FACILITY MODIFICATION PROGRAM BUDGET SHARE OF PRELIMINARY ESTIMATE	JOB STATUS	FACILITY MODIFICATION PROGRAM BUDGET % of COST
23	Los Angeles	Airport Courthouse	19-AU1	2	Elevator, Escalators, & Hoists - Key switches for custody elevators #5 & #10 are worn and non-operational. Key switches are required for elevator operation to access floors in custody elevators. Replace high security key switches on custody elevators #5 & #10 Car Operating Panels and hall fixtures for basement, 3rd, 7th, 8th, and 9th floors.	\$26,475	\$20,431	In Work	77.17
24	Orange	Harbor Justice Center-Newport Beach Facility	30-E1	2	HVAC - Cooling Tower - Replace fan propeller assembly, bushings, shaft, bearings and belt. Fan assembly and bearings are near failure.	\$25,591	\$21,578	FMU Final Review	84.32
25	Fresno	Fresno County Courthouse.	10-A1	2	Graffiti - Remove graffiti etched in the wood veneer on doors and courtroom entrance vestibules in 28 locations throughout the facility. Graffiti is visible in public areas of the courthouse.	\$28,278	\$28,278	FMU Final Review	100
26	Los Angeles	Whittier Courthouse	19-AO1	2	Elevators, Escalators, & Hoists - Replace failed door detector edge and sight guard on Elevator #1. Elevator #1 is not working due to damaged door detector edge and sight guard.	\$3,550	\$3,550	In Work	100
27	Orange	West Justice Center	30-D1	2	Plumbing - Replace failed domestic hot water heater with a new 75 gallon hot water heater. A hole developed in the bottom of the existing hot water heater causing the burner assembly to get wet, the pilot light will not stay lit resulting in complete loss of hot water to the entire facility.	\$4,000	\$3,627	In Work	90.68
28	Los Angeles	Compton Courthouse	19-AG1	2	HVAC - Replace damaged chilled water pump coupling inserts and condenser water pump motor coupling inserts. Coupling inserts are damaged, worn and cracked and needs to be replaced to prevent system failure.	\$3,023	\$1,999	In Work	66.13
29	San Bernardino	Fontana Courthouse	36-C1	2	Elevators, Escalators, & Hoists - Public Elevator #1 the data port on the CPU is bad. Currently computer diagnostics cannot be performed. Replace existing CPU #CP27C with failed comm port with new #CP37 CPU complete with software.	\$14,999	\$12,325	In Work	82.17
30	San Mateo	Municipal Court Building - Northern Branch	41-C1	2	HVAC - Remove and replace failed, existing 11" inline duct blower (1) - Blower motor seized and overheated causing smoke, setting off alarm.	\$2,553	\$2,124	In Work	83.21
31	Santa Clara	Hall of Justice (West)	43-A2	2	Plumbing - Replace (1) failed storm water sump pump - Possible flooding due to failed pump.	\$7,844	\$7,844	In Work	100
32	Los Angeles	San Fernando Courthouse	19-AC1	2	Fire Protection - 6" FEBCO Series 860 Domestic Backflow has check valve seats damage. Replace (2) check valve seat assemblies. Deficiencies found during PM SWO# 2504987.	\$3,973	\$3,314	In Work	83.41
33	Santa Clara	Morgan Hill Courthouse	43-N1	2	HVAC - Replace (1) failed 4 burner assembly - Failed boiler currently impacting the court's heating capacity.	\$1,769	\$1,769	In Work	100
34	Santa Clara	Morgan Hill Courthouse	43-N1	2	HVAC - Replace (1) failed impeller and (1) pump volute housing. Failed boiler currently impacting the court's heating ability.	\$3,931	\$3,931	In Work	100



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35	Los Angeles	Van Nuys Courthouse East	19-AX1	2	Elevator - Replace failed advancing motor and remediate damage to contactors and associated circuits. Elevator #3 was not landing properly at floors and the doors would open fully as car was 4 -6 away from landing and was still in motion.	\$4,477	\$4,018	In Work	89.74
36	San Diego	North County Regional Center - South	37-F1	2	COUNTY MANAGED - HVAC - Replace ceramic fiber module panels on side and rear of boiler # 1 in Central Plant. This work was performed by the County under Emergency Repairs.	\$2,492	\$2,492	In Work	100
37	Alameda	Hayward Hall of Justice	01-D1	2	Electrical - Replace (6) failed holding cell interview phones. Existing phones damaged by in-custodies causing inability to communicate with attorneys.	\$2,457	\$2,457	In Work	100
38	Riverside	Larson Justice Center	33-C1	2	Grounds and Parking Lot - Remove 21 dead trees. The current drought and water restrictions created unsafe conditions such as trip, fire, pest infestation, and security issues. Work is to be executed after hours.	\$11,110	\$8,978	In Work	80.81
39	San Diego	North County Regional Center - South	37-F1	2	Grounds and Parking Lot - Replace current roller drive operators with (2) chain drive slide gate operators with loop detectors and modify gate to work with the new operators. The gate operators frequently fail trapping Judges in the secure parking area. Roller drive system slips on the rail during high humidity and wet conditions.	\$14,919	\$14,919	In Work	100
40	Los Angeles	Pasadena Courthouse	19-J1	2	Plumbing - Replace damaged and non-functioning sump tank and pump. The sump pump is cracked and not functioning which could cause a flood if not replaced.	\$3,724	\$2,583	In Work	69.35
41	Los Angeles	East Los Angeles Courthouse	19-V1	2	HVAC - Install (1) new Blast Tube, (1) new Flange and (1) new Diffuser. Boiler #2 has a damaged blast-tube and diffuser.	\$7,301	\$5,674	In Work	77.72
42	Los Angeles	Compton Courthouse	19-AG1	2	Elevator - Shorten 16" of overstretched Elevator ropes. Custody Elevator #7 got stuck on the 7th floor with 2 deputies entrapped due to overstretched ropes.	\$3,761	\$2,487	In Work	66.13
43	Los Angeles	Santa Monica Courthouse	19-AP1	2	Interior Finishes - Replace (1) 60"x72" Bullet Resistant Glass at Teller/Traffic window. Existing glass has a 60" crack, compromising the glass integrity.	\$9,125	\$9,125	In Work	100
44	Los Angeles	Chatsworth Courthouse	19-AY1	2	Electrical - Replace Main Power and Processor Board . UPS System is on alarm and circuit board is burnt and shorted out. System failure affects the emergency lights in the court rooms and some hallways.	\$9,232	\$7,736	In Work	83.8
45	Los Angeles	Burbank Courthouse	19-G1	2	Plumbing - Install new 3" gate valve and factory repair kit. The device failed and does not comply with health/water department regulations.	\$5,228	\$4,745	In Work	90.76
46	Los Angeles	Clara Shortridge Foltz Criminal Justice Center	19-L1	2	Plumbing - Installed new Comfort heating make-up water line and plumbing. Water line is damaged and is leaking.	\$6,931	\$4,768	In Work	68.79
47	Los Angeles	Metropolitan Courthouse	19-T1	2	Fire Protection - Replace (33) defective & aged smoke detectors; Replacement is code required.	\$9,074	\$8,579	In Work	94.54
48	Los Angeles	Pasadena Courthouse	19-J1	2	Fire Protection - Replace (3) 75 feet fire hoses, and replace (1) fire hose nozzle. Units failed testing must be replaced for compliance.	\$3,442	\$2,387	In Work	69.35



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FM's Less Than \$50K (List B)

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	FM NUMBER	LOCATION	FACILITY NAME	BUILDING ID	PRIORITY	SHORT TITLE	TCFMAC FUNDED COST	FACILITY MODIFICATION PROGRAM BUDGET SHARE OF PRELIMINARY ESTIMATE	JOB STATUS	FACILITY MODIFICATION PROGRAM BUDGET % of COST
49	FM-0057240	Los Angeles	Pomona Courthouse South	19-W1	2	HVAC - Boiler #2 restoration - Install Six (6) boiler tube plugs. Boiler #2 tubes have deteriorated and required the tubes to be plugged.	\$3,879	\$3,535	In Work	91.14
50	FM-0057241	Placer	South Placer Justice Center	31-H1	2	Electrical - Replace 36 fixtures and ballasts in confined space above the ceiling with LED conversion fixtures - 10% of the lights have failed. The ballast for these fixtures are in an inaccessible area that does not permit safe access to change out the ballast if required, this project will remove the need to replace any ballast in the future.	\$7,681	\$7,681	In Work	100
51	FM-0057243	Alameda	George E. McDonald Hall of Justice	01-F1	2	Fire Protection - Fire suppression system - Replace two failed and leaking inspector test valves discovered during quarterly inspection.	\$3,210	\$3,210	In Work	100
52	FM-0057244	Los Angeles	Pasadena Courthouse	19-J1	2	Electrical - Replace defective exit and bug eye lights. Multiple emergency lights (exit signs and bug eyes) not working throughout the building. Defects found from annual EML-level IV PM.	\$4,580	\$3,176	In Work	69.35
53	FM-0057245	San Diego	North County Regional Center - Vista Center	37-F2	2	HVAC - Replace existing valve and actuator, with one (1) two-way shut off valve and (1) electronic actuator. Chilled water isolation valve is not closing all the way and cannot supply air warmer than 55 degrees.	\$7,580	\$7,580	In Work	100
54	FM-0057246	San Bernardino	San Bernardino Courthouse - Annex	36-A2	2	Elevators, Escalators, & Hoists - Replace faulty worm shaft seal and brake shoes at Public Elevator #1. Restore elevators Recall Peek-a-Boo function so that doors will not automatically open when in fireman recall mode. The existing worm shaft seal is defective and allowing worm gear oil to leak from the gear case.	\$14,640	\$14,640	In Work	100
55	FM-0057247	San Diego	North County Regional Center - South	37-F1	2	Elevators, Escalators, & Hoists - Replace failing Communication Circuitry between the car top controls and the main controller in the equipment room, replace the floor selector wiring and tape selector guides. Communication between car and control equipment above is intermittent, causing intermittent operation and rider entrapment.	\$5,434	\$5,434	In Work	100
56	FM-0057248	Sierra	Courthouse/Sheriff Station-Jail	46-A1	2	Interior Finishes - 2nd Floor ADA Restroom - Construct (1) ADA accessible restroom on the second floor near the elevator - The building does not currently have an ADA accessible restroom.	\$49,500	\$49,500	FMU Final Review	100
							\$502,537	\$459,491		



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ADVISORY COMMITTEE

Meeting Date: 1/15/2016

**Action Item 3 – (Action Required) - List C – Cost Increases
Over \$50K**

Summary:

List C – Cost Increases Over \$50K

Total Project Count:	5
Total Potential FM Budget Share of Cost:	\$304,680

Supporting Documentation:

- List C – Cost Increases Over \$50K

Action Requested:

Staff recommends five projects for a total cost increase to the Facility Modification program budget of \$304,680.



FM NUMBER	LOCATION	FACILITY NAME	BUILDING ID	PRIORITY	SHORT TITLE	TCFMAC FUNDED COST	FACILITY MODIFICATION PROGRAM BUDGET SHARE OF TCFMAC FUNDED COST	CURRENT COST ESITMATE	FACILITY MODIFICATION PROGRAM BUDGET SHARE OF CURRENT COST ESTIMATE	NOTES	FACILITY MODIFICATION PROGRAM COST INCREASE	JOB STATUS	FACILITY MODIFICATION PROGRAM BUDGET % OF COST
1 FM-0013992	Santa Barbara	Santa Maria Juvenile Court (New)	42-H1	2	Interior - Renovate - Weapons screening and new entrances needed - Currently building has no entry screening and needs to be renovated to accommodate the entry screening, county portion of building will have separate entry.	\$ 375,000	\$ 375,000	\$ 439,082	\$ 439,082	The project was delayed due to the County's delay on required approvals. After that, the project was mobilized, but then there was a two-month delay twice during construction start-up. The project was originally designed under 2010 CBC and additional changes were required when it was restarted and submitted under 2013 CBC.	\$ 64,082	Complete	100
2 FM-0019759	Los Angeles	Whittier Courthouse	19-AO1	2	HVAC - Remove and replace 39 year old non-compliant boilers due to AQMD regulations, failure to replace these boilers will lead to heavy daily fines; HEATING BOILER #1 and BOILER #2, 2,000,000 BTU each. Work will include the removal and replacement of the existing boiler pads, removal of ACM's and the addition of a dedicated electrical panel.	\$ 170,000	\$ 146,931	\$ 221,310	\$ 191,278	It was determined through plan review that a dedicated electrical panel, new circuit runs and conduit would be needed to support the new boilers. Also, the existing equipment pads were structurally unsound and required replacement.	\$ 44,347	In Work	86.43
3 FM-0051702	Mendocino	County Courthouse	23-A1	1	HVAC - Replace failed HVAC chillers - Replace two ea. 40 ton chillers that have failed, provide temp chiller until replacements are on site (6-8 weeks) including encroachment permit form city of Ukiah and required sound control elements, Replace damaged and failing cold water coils (8), and Steam Coils (8) at mechanical room, replace end of life control valves at Steam coils (8), Replace 4 failed reheat coils, 2 in mechanical space, 1 at DA office space and 1 on the 1st floor. Remediate ACM as required at the reheat coils approx. 60 sq. and at the mechanical room approx. 120sq ft.	\$ 827,832	\$ 559,780	\$ 891,035	\$ 602,518	This was originally two distinct FMs for reheat coils (FM-0049125) and Chiller/main coils (FM-0051702). During the significant delay in attaining county shared cost commitment, the systems failed, creating a P1 situation that were better dealt with combined than separately. Both original costs were approved by the committee, creating a combined cost amount of \$827,832. The cost increase covers the P1 response, unforeseen ACM & lead abatement, and additional piping work.	\$ 42,738	In Work	67.62



FM NUMBER	LOCATION	FACILITY NAME	BUILDING ID	PRIORITY	SHORT TITLE	TCFMAC FUNDED COST	FACILITY MODIFICATION PROGRAM BUDGET SHARE OF TCFMAC FUNDED COST	CURRENT COST ESITMATE	FACILITY MODIFICATION PROGRAM BUDGET SHARE OF CURRENT COST ESTIMATE	NOTES	FACILITY MODIFICATION PROGRAM COST INCREASE	JOB STATUS	FACILITY MODIFICATION PROGRAM BUDGET % OF COST
FM-4 0053442	Santa Clara	Palo Alto Courthouse	43-D1	2	Roof - Replace 22,000 sq. ft. of deteriorated roof, coping metal (1000 sq. ft.), Gravel stops (250 sq. ft.), Surface mount (450 sq. ft.), Twelve (12) roof drains, deteriorated over flow drains and remove twenty (20) existing 1" eye bolts. The roof is showing signs of cracking, ponding and roof leaks are evident in the building; the eye bolts are breaching the cant strip and will void the new roof warranty.	\$ 824,415	\$ 544,444	\$ 880,159	\$ 581,257	The work necessitated a complete barricade of the courthouse perimeter in order to perform work during normal business hours due to the City of Palo Alto's noise restrictions, and the replacement of 12 failing roof drains not included in the original scope.	\$ 36,813	In Work	66.04
FM-5 0056598	Imperial	Imperial County Courthouse	13-A1	1	Plumbing - A main water line break resulted in a flood. Isolate the affected area, drain the domestic water system, and replace approximately 2' of 3/4" copper pipe. The initial P1 response effort will include emergency responder mobilization, extraction, containment, and overnight crew supervision.	\$ 45,000	\$ 45,000	\$ 161,700	\$ 161,700	Initial Project estimate only included immediate water remediation. Upon completion of remediation work, additional scope identified was the relocation and restoration of critical court documents, as well as testing for and treatment of identified mold issues. Property damage from flood exceeded original estimates. Accounting now completed.	\$ 116,700	In Work	100
						\$ 2,242,247	\$ 1,671,155	\$ 2,593,286	\$ 1,975,835		\$ 304,680		



JUDICIAL COUNCIL
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TRIAL COURT FACILITY MODIFICATION
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Meeting Date: 1/15/2016

**Action Item 4 – (Action Required) - List D – Facility
Modifications Over \$50K**

Summary:

List D – Facility Modifications Over \$50K

Total Project Count:	15
Total Potential FM Budget Share of Cost:	\$2,844,759

Supporting Documentation:

- List D – Facility Modifications Over \$50K

Action Requested:

Staff recommends approving 15 projects for a total cost to the Facility Modification Program Budget of \$2,844,759, with items #5 and #10 – FM-0055034 and FM-0057213 respectively – being held for shared cost approval.



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FMs Greater Than \$50K (List D)

6/1/2005 to 12/25/2015

Meeting Date 1/15/2016

	FM NUMBER	LOCATION	FACILITY NAME	BUILDING ID	PRIORITY	SHORT TITLE	PRELIMINARY ESTIMATE	FACILITY MODIFICATION PROGRAM BUDGET SHARE OF PRELIMINARY ESTIMATE	CUMULATIVE TOTAL OF FACILITY MODIFICATION PROGRAM SHARE OF PRELIMINARY ESTIMATE	TOTAL SCORE RANK	FACILITY MODIFICATION PROGRAM % OF COST
1	FM-0056888	Santa Clara	Santa Clara Courthouse	43-G1	2	HVAC - Replace leaking, rusted 40 year old 65 ton Cooling Tower, VFD included. Existing equipment has leaks and failed component replacements. Increased number of hot calls is affecting operations.	\$ 260,489	\$ 260,489	\$ 260,489	30	100
2	FM-0057152	San Bernardino	Juvenile Dependency Courthouse	36-P1	2	Plumbing - Replace duplex domestic water skid with Grundfos Duplex domestic water skid, install (2) 5HP VFD drives, replace 15 LF of 2" copper pipe, replace (2) 2" brass unions, replace (2) 4.5" aluminum pressure gauges, replace (2) 2" copper tees, and replace (2) 2" ball valves. Duplex booster pump's main board has failed and parts are no longer available.	\$ 57,952	\$ 31,601	\$ 292,090	35	54.53
3	FM-0057236	Los Angeles	Downey Courthouse	19-AM1	2	Plumbing - Replace existing 8" Fire Main Check Valves and 4" Domestic Water Line Check Valves with Backflow Preventers. Perform fire watch and engineering study. During PMs for the domestic and fire main backflows it was discovered that both systems had been missing the backflow preventers.	\$ 96,125	\$ 80,457	\$ 372,547	35	83.7
4	FM-0010335	El Dorado	Johnson Bldg.	09-E1	2	Elevators, Escalators, & Hoists - Complete Elevator System Renovation - Work to include doors, operators, and controllers, hydraulic power units and associated equipment. Code upgrades will also be included which consist of HVAC, FACP and Fire Suppression Equipment. Evaluation by our third party consultant has found the system to be at risk and in a poor operating condition.	\$ 385,000	\$ 385,000	\$ 757,547	40	100
5	FM-0055034	Orange	Harbor Justice Center-Newport Beach Facility	30-E1	2	HVAC - BAS - Replace failed Siemens chiller control system with new non-proprietary Automated Logic system. Multiple components of the current system are failing on a daily basis and have resulted in complete shutdown and difficult restarts of the vital building system. Work to be completed on off-hours to not impact operations.	\$ 535,000	\$ 451,112	\$ 1,208,659	45	84.32
6	FM-0057094	Los Angeles	Santa Monica Courthouse	19-AP1	2	HVAC - Roof top hot water piping has deteriorated. Replace 200 LF of 2" copper piping, install (10) 2" copper couplings, install (2) 2" butterfly valves, install (1) 2" ball valve, install (16) pipe saddles and clamps, reinsulate 200 LF of hot water piping, and replace 210 SF of aluminum insulation jacket.	\$ 78,596	\$ 61,690	\$ 1,270,349	45	78.49
7	FM-0057123	San Bernardino	Big Bear Courthouse	36-I1	2	COUNTY MANAGED- Roof- Remove existing deteriorated three layer roof approx. 20,000SF and replace with new 20 year warranty, Title 24 compliant, roof system. Replace several roofing systems and counter flash ducting and mechanical roof penetrations as needed to make 100% weather tight. Work is necessary to prevent water intrusion in the rainy season.	\$ 76,104	\$ 76,104	\$ 1,346,453	50	100
8	FM-0052826	Ventura	Hall of Justice	56-A1	2	COUNTY MANAGED - Security - Basement Holding Area - Camera System Upgrade. Upgrade Basement Holding Camera System Recommended by County/MP.	\$ 374,616	\$ 374,616	\$ 1,721,069	55	100
9	FM-0056971	Los Angeles	Compton Courthouse	19-AG1	2	Interior Finishes - 30% of Dept 105 Public seating are damaged, un-repairable & a safety hazard to public attempting to use. Conduct Environmental testing & set-up 29'x15'x8' containment. Demo 93 existing damaged chairs. Existing anchoring bolts have sheared off requiring drilling new anchoring points. Drill 168 holes (42ft x 4 holes per ft) for new chair anchoring. Install 93 new American Seating plastic seating (similar style to existing) & secure w/epoxy.	\$ 90,973	\$ 90,973	\$ 1,812,042	60	100
10	FM-0057213	Tulare	Dinuba Division of the Tulare Superior Court	54-E1	2	Roof - Install new 30,000 sf, 80 mil PVC membrane roofing system to replace existing built-up asphalt roof. Install new coping cap and raise all roof curbs to a minimum of 8. Existing roofing is failing with severe blistering and cracks.	\$ 665,000	\$ 332,500	\$ 2,144,542	60	50



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11	FM-0057216	Humboldt	Humboldt County Courthouse (Eureka)	12-A1	2	HVAC - Replace failed AHU Hot and Cold Coils and Condensate Pans- Install new stainless steel condensate Drain pans (AHU 6,7 &8), install new Heating & Cooling coils (AHU 4,5,6,7 & 8)including ACM abatement and condensate pumps for Pans in AHU 5,6,7 & 8.	\$ 379,860	\$ 379,860	\$ 2,524,402	60	100
12	FM-0057187	San Diego	South County Regional Center	37-H1	2	Interior Finishes - Remove 5 existing sound wall panels and install new fixation system to back of panels to prevent delaminating from walls, restore material on edges of panels and reinstall in courtroom. Sound panels are falling off walls, fabric on panels is detaching. Panels are contacting patrons/staff and is a safety issue.	\$ 57,943	\$ 57,943	\$ 2,582,345	65	100
13	FM-0055154	Lassen	New Susanville Courthouse	18-C1	2	HVAC BAS - Upgrade the building automated system (BAS) to allow full function control of all HVAC equipment throughout the building. The upgrade will allow full control access the maintenance shop desktop computer and by remote access via the internet, and resolve overheating in the first floor security office, trend before and after. This remote courthouse experiences harsh climate and frequent equipment outages. Full functioning control access through the BAS is critical to maintain court operations.	\$ 90,000	\$ 90,000	\$ 2,672,345	67	100
14	FM-0057200	Kern	Bakersfield Superior Court	15-A1	2	Interior finish - Floor tile - Remove and Replace 1926 SF of loose, cracked and lifting ACM floor tiles with new 12"x12" vinyl tiles and 180 LF of wall base. Floor tiles are cracked and lifting.	\$ 83,676	\$ 52,415	\$ 2,724,759	75	62.64
15	FM-0057173	Merced	New Downtown Merced Courthouse	24-A8	2	Exterior Shell - Restore exterior building shell. Caulk windows (96 ea), retexture exterior stucco. Apply an elastomeric paint coating to entire exterior (26,400 sf), including the Sally Port to be coated with an elastomeric paint. Exterior has extensive damage from water penetration and ledges have deteriorated allowing water penetration into the building.	\$ 120,000	\$ 120,000	\$ 2,844,759	85	100
16	FM-0031636	Sacramento	Carol Miller Justice Center	34-D1	3	Grounds and Parking - Parking lot lighting - Retrofit the existing parking lot lighting from high pressure sodium lighting to new more efficient LED lighting. Remove and replace total of 13 light poles with two fixtures per pole. Better Energy Efficiency.	\$ 35,000	\$ 34,213	\$ 2,878,972	20	97.75
17	FM-0057144	Orange	West Justice Center	30-D1	3	HVAC - Install four (4) 15 HP and one (1) 10 HP 480V ABB Variable Frequency Drive (VFD) with bypass for Chillers #1, 2, and 3. Abrupt starts have damaged couplings between the pumps and motors.	\$ 41,475	\$ 37,618	\$ 2,916,590	38	90.7
18	FM-0056913	Sacramento	Gordon Schaber Sacramento Superior Court	34-A1	3	Electrical - Replace existing Compact Fluorescent lamps (CFLs) in all Courtrooms and Elevator Lobbies throughout the court with R-30 LED lamps - The existing CFLs throughout the building have failed, by replacing the existing CFLs with LED, this project will significantly reduce energy consumption and heat load throughout the facility.	\$ 68,000	\$ 68,000	\$ 2,984,590	40	100
19	FM-0055186	Stanislaus	Modesto Juvenile Court	50-B1	3	Security Enhancement - Clerk's County BR Resistance - Relocate existing counter to provide room for security door, Install BR Level 3 glass with rated speaker grills on top of counter, apply BR protection to lower portion of counter, and patch back carpet as required. Existing counter is not protected and court wants to relocate screening such that public have direct access to the clerk's without screening (necessitating the proposed protection).	\$ 55,000	\$ 55,000	\$ 3,039,590	40	100
20	FM-0056974	Humboldt	Humboldt County Courthouse (Eureka)	12-A1	3	Furniture and Equipment - Replace Jury Box seating in courtroom 1 & 4 (26 chairs). Current chairs are failing and replacement parts are no longer available.	\$ 65,000	\$ 65,000	\$ 3,104,590	43	100



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21	Nevada	Joseph Center	29-B1	3	Interior Finishes - Transaction casework and layout - Install a glass enclosure on top of the existing 27 foot long transaction counter, including replacement of adjacent half door with full length door. To include modification of counter to allow for an ADA window and four additional transaction windows and barrier between the public and staff / money drawer. Current counter and layout cited in a security evaluation and through court audit.	\$ 25,800	\$ 25,800	\$ 3,130,390	45	100
22	Merced	New Downtown Merced Courthouse	24-A8	3	Electrical-Energy lighting initiative to replace three (3) wall pack units, twelve (12) shoe box fixtures, four (4) in ground lights, eighteen (18) fluorescents lamps and install one (1) LED light fixture. All lighting fixtures will be upgraded to energy efficient fixtures for cost saving on utilities.	\$ 33,300	\$ 33,300	\$ 3,163,690	45	100
23	Los Angeles	Whittier Courthouse	19-AO1	3	HVAC - Restore operations to Cooling Towers #1 & #2. Cooling Tower #1: Replace shaft, (2) bearings, bushing, driven sheave, electric water level probe assembly and drain valve. Cooling Tower #2: Replace 7 1/2 hp. fan motor, shaft, (2) bearings, driven sheave, driver sheave and belt. Provide Fan balancing on Chillers 1 & 2 once all mechanical work has been completed. Deficiencies were found during PM.	\$ 102,349	\$ 88,460	\$ 3,252,150	45	86.43
24	Los Angeles	Pasadena Courthouse	19-J1	3	Electrical - Retrofit 128 light fixtures to receive new LED light bulbs which will require containment for an included encapsulation of existing fire proofing above light panels. 60% of the lights are out in main lobby which is a safety concern for weapons screening and walking traffic.	\$ 86,500	\$ 59,988	\$ 3,312,138	45	69.35
25	Los Angeles	Alfred J. McCourtney Juvenile Center	19-AE1	3	Interior Finishes - Entrance doors to courtrooms 285 & 426 rattle when closed and are considered disruptive. Replace (4) sets of custom uneven 5'x7' double 90 minute fire rated doors, replace (4) Von Duprin 9947LF 36" less bottom rod push bars with 26D finish, replace (4) special order Von Duprin 9947LF 24" less bottom rod push bars with 26D finish, install (4) sets of Pemko aluminum meeting stiles, and install (4) 4-1/2" x 4-1/2" ball bearing pin hinges.	\$ 85,000	\$ 85,000	\$ 3,397,138	45	100
26	Amador	New Amador County Courthouse	03-C1	3	Security- Safety - Remove the 4 existing exterior windows on the east exterior wall of the building and replace them with 4 new dark tinted ballistic resistant units - The existing window glazing does not provide any ballistic resistant protection.	\$ 23,622	\$ 23,622	\$ 3,420,760	50	100
27	San Diego	Juvenile Court	37-E1	3	Grounds and Parking Lot - Court employee parking lot is deteriorated and severely cracked. Several areas present safety/trip/liability hazards. Due to deterioration it is recommended to cold mill approximately 1,100 SF down to the sub grade (4" depth) in (2) areas to correct pavement failure. The remaining 14,400 SF will be cold milled down to 1 1/2" to provide a level base for the new surface course of asphalt; apply prime coat, waterproofing and tack coat to 14,400 SF.	\$ 70,850	\$ 70,850	\$ 3,491,610	50	100
28	Los Angeles	Alhambra Courthouse	19-I1	3	Plumbing - Remove and replace 7 recessed wall drinking fountains and 1 surface mount ADA drinking fountain. Eight drinking fountains in the public areas of the courthouse are deteriorated and are not operational.	\$ 37,098	\$ 31,904	\$ 3,523,514	55	86
29	Los Angeles	Chatsworth Courthouse	19-AY1	3	Plumbing - Remove and replace 8 high-low recessed drinking fountains and 3 ADA wall hung drinking fountains. Drinking fountains in the public areas of the courthouse are not operational.	\$ 60,063	\$ 50,333	\$ 3,573,847	55	83.8



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30	FM-0053476	San Joaquin	Manteca Branch Court	39-C1	3	Energy Efficiency - Lighting - Replace a total of 305 light fixtures throughout the facility. Remove: (19) T12 light fixtures, (73) Compact Fluorescents, (201) T8 Light Fixtures, (2) Incandescent Light Fixtures and (10) Metal Halide Light Fixtures. All fixture will be replaced with LED fixture	\$ 69,115	\$ 69,115	\$ 3,642,962	55	100
31	FM-0053492	San Joaquin	Lodi Branch - Dept. 2	39-D2	3	Energy Efficiency - Lighting - Replace a total of 141 light fixtures throughout the facility. Remove: (16) Compact Fluorescents, (109) T8 Light Fixtures, and (12) Incandescent Light Fixtures. All fixtures will be replaced with LED fixture	\$ 35,955	\$ 35,955	\$ 3,678,917	55	100
32	FM-0054905	Los Angeles	Torrance Courthouse	19-C1	3	Grounds and Parking Lot - Replace asphalt, Slurry coat and restripe parking lot (285,000sq)	\$ 265,000	\$ 225,621	\$ 3,904,538	55	85.14
33	FM-0057042	San Mateo	Hall of Justice	41-A1	3	COUNTY MANAGED - Plumbing - **Water Conservation Project** - Replace all domestic water fixtures w/new water saving fixtures; Install sub meters (2) at Water Cooling Towers.	\$ 156,229	\$ 82,333	\$ 3,986,871	55	52.7
34	FM-0057137	Amador	New Amador County Courthouse	03-C1	3	Energy Efficiency - Electrical - Replace 339 T-8 Fluorescent Bulbs with LED, Replace 271 CFL Bulbs (Various 2 and 4 pin bases and 13-42watt) with LED.	\$ 36,000	\$ 36,000	\$ 4,022,871	55	100
35	FM-0052775	San Francisco	Civic Center Courthouse	38-A1	3	Exterior Walls - Prepare and apply anti-graffiti coating to all exterior walls from grade to 10ft high (approx. 6700sqft) - janitorial efforts are having minimal results, time consuming and causing public hazard at sidewalks	\$ 62,248	\$ 62,248	\$ 4,085,119	58	100
36	FM-0052331	San Diego	Kearny Mesa Traffic Court	37-C1	3	Grounds and Parking Lot - Slurry coat, re-stripe the parking lot and paint the curbs as required. The striping is fading to where directional arrows and lane markings are, making it difficult for people to see.	\$ 18,771	\$ 18,771	\$ 4,103,890	60	100
37	FM-0052763	Santa Barbara	Santa Maria Courts Building G	42-F5	3	Roof Access - Replace Roof Access Window with Door/Landing/Handrailing - Safety Hazard.	\$ 28,896	\$ 27,882	\$ 4,131,771	60	96.49
38	FM-0052781	Solano	Hall of Justice	48-A1	3	Security - Interior Finishes - Secure transaction counter - Install approximately 100 lineal feet of barrier wall and public transaction counter with twelve (12) 4 wide forced entry resistant laminated glass transaction windows, to ensure the safety of the family law clerks. There have been numerous security incidents involving disgruntled public customers including punching, spitting and verbal altercations.	\$ 260,145	\$ 260,145	\$ 4,391,916	60	100
39	FM-0056719	Shasta	Main Courthouse	45-A1	3	Security - Replace the courthouse storefront glass with shatter proof Lexan materials. The courthouse has been vandalized with the front door glass broken out several times the past few years. This project will minimize damage to the storefront and eliminate broken glass shards.	\$ 11,922	\$ 11,922	\$ 4,403,838	60	100
40	FM-0045287	Glenn	Historic Courthouse	11-A1	3	HVAC - Two (2) Carrier Split Systems - Install two (2) Carrier or equivalent split systems to provide air to the Judge's Office and CEO's Office - SAFETY, ENERGY.	\$ 24,579	\$ 24,579	\$ 4,428,417	65	100
41	FM-0052382	Butte	Butte County Courthouse	04-A1	3	Holding Cell - Construct (3) new holding cell. The single in-custody holding cell located in the older section of the courthouse is currently holding criminal cases and will be use for the expansion. The project goal is to accommodate larger number of simultaneous in-custody classifications and increase overall holding capacity.	\$ 288,960	\$ 288,960	\$ 4,717,377	65	100
42	FM-0053493	San Joaquin	Manteca Branch Court	39-C1	3	Energy Efficiency- HVAC; Replace 15 year old 3-ton package unit with energy efficient model.	\$ 9,871	\$ 9,871	\$ 4,727,248	65	100



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43	FM-0054927	Los Angeles	Glendale Courthouse	19-H1	3	Grounds and Parking Lot - Replace concrete employee patio (1,000sf). Concrete patio is cracked and not level in several areas. In addition, of section of the patio is missing concrete. Health and Safety risk to employees, that could trip and fall.	\$ 16,000	\$ 14,486	\$ 4,741,735	65	90.54
44	FM-0055147	Los Angeles	Parking Structure Lot 94 Airport Courthouse	19-AU2	3	Exterior Shell - Restore stairways (15,00 sq. ft. of surface area). Stairways are badly rusted and need to be restored, rust starting to eat through metal frame causing damage to the metals integrity.	\$ 127,757	\$ 98,590	\$ 4,840,325	65	77.17
45	FM-0051535	Los Angeles	West Covina Courthouse	19-X1	3	Elevator (Wheelchair lift) - Units 1 - 3, Replace defective parts, make adjustments, service and return to safe operation. Currently units operate with the door open which is unsafe to the public. This work is also needed to comply with ADA access requirements.	\$ 28,184	\$ 23,396	\$ 4,863,720	68	83.01
46	FM-0053551	Solano	Solano Justice Building	48-B1	3	Interior Finishes - EARTHQUAKE - Remediate all cracks and aesthetic damage created by earthquake throughout building in secured hallways, courtrooms 101-104, and jury courtyard scaffolding is required. Epoxy injection at concrete wall, 35 lin ft. and approx. 650 sq ft of drywall and stucco repairs.	\$ 20,099	\$ 20,099	\$ 4,883,819	69	100
47	FM-0051115	Santa Clara	Downtown Superior Court	43-B1	3	Energy Efficiency measure - Install 1 new Variable Frequency Drive (VFD) on the existing chilled water pump, install a deferential pressure sensor (DP) and re-program the BAS to modulate the chilled water flow- this will reduce energy consumption-expected pay back is 19.6 years.	\$ 58,896	\$ 58,896	\$ 4,942,715	70	100
48	FM-0051519	Contra Costa	George D. Carroll Courthouse	07-F1	3	Energy Efficiency Project - Electrical - Install new lighting control system; Install 66 new occupancy sensors; Retrofit 36 four lamp light fixtures to 2 lamp fixtures; Engineering and design - Energy savings \$14,000.00 per year	\$ 222,699	\$ 167,002	\$ 5,109,717	70	74.99
49	FM-0051527	San Luis Obispo	Courthouse Annex	40-A1	3	Interior Finishes - Replace existing warn and defective seating with new auditorium style fixed seating - 16 standard seats and 2 ADA seats. Work is needed to maintain acceptable courtroom seating.	\$ 22,941	\$ 22,941	\$ 5,132,658	70	100
50	FM-0051776	Los Angeles	Clara Shortridge Foltz Criminal Justice Center	19-L1	3	Plumbing - Rebuild drinking fountains' water supply piping lines, filtration system and cooling (optional)system to put back drinking fountains in operational condition in all floors' public hallways	\$ 95,293	\$ 65,552	\$ 5,198,210	70	68.79
51	FM-0052782	Merced	New Downtown Merced Courthouse	24-A8	3	Security - Expand the vestibule and add a covered staging area - Remove the existing store front and provide a separate storefront in the new location, level the existing alcove concrete to expand the new interior security vestibule, construct a new 1,800 SF covered walkway and staging area, this will require a single 400 SF tilt concrete panel, sixteen (16) column footings, two (2) new 3'6" power activated storefront doors, transparent roof panels at the covered walkway and staging areas, two new cameras at the staging area and approximately 800 SF of flooring and t-bar ceiling at the lobby and vestibule. This work is required to alleviate security issues at the main entry due to inadequate circulation.	\$ 704,856	\$ 704,856	\$ 5,903,066	70	100



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52	FM-0052829	Kings	Avenal Court	16-C1	3	Exterior Shell - Remove, replace, or restore approximately 80 lf of 2 1/2" x 11" bottom ledger, 48 lf of 2" x 6" fascia and trim, and 96 lf of 1" x 12" fascia; remove small section of existing white gutter and install 25 lf gutter and 1 down spout to match as close to exterior brown color; caulk and patch trim areas as required to receive paint; paint all exterior brown color only - Existing wood fascia and trim is cracking, splitting, and deteriorating due to fungus and weather damage.	\$ 22,167	\$ 12,859	\$ 5,915,925	70	58.01
53	FM-0053393	Los Angeles	S. Bay Municipal Traffic Court Trailer	19-C4	3	Roof - Overlay existing roof with new PVC roof system approximately 4,00 sq. ft. Due to roof system currently being in poor to fair condition, remaining service life is less than 5 years. Overlay of existing roof system will bring the building to good condition.	\$ 47,678	\$ 40,593	\$ 5,956,518	70	85.14
54	FM-0052420	Orange	West Justice Center	30-D1	3	HVAC - Fall Protection - Design, build and install a custom service platform w/catwalk to access the top of the cooling tower during routine & predictive maintenance. Provide access ladder w/safety cage and gate to access elevated walkway. Add fall protection where necessary to provide safe access and to comply with OSHA regulations.	\$ 70,878	\$ 64,272	\$ 6,020,791	74	90.68
55	FM-0053444	Contra Costa	Bray Courts	07-A3	3	Interior Finishes - Earthquake Restoration of cracks and aesthetic damages to approx. 7100 sq ft of the interior building	\$ 46,812	\$ 40,034	\$ 6,060,824	75	85.52
56	FM-0052941	Los Angeles	Mental Health Court	19-P1	3	Roof - Overlay existing roof with new PVC roof system approximately 27,000 sq. ft. Due to roof currently being in poor to fair condition, overlay of existing roof will bring it to good condition.	\$ 327,681	\$ 233,669	\$ 6,294,494	77	71.31
57	FM-0051874	Solano	Hall of Justice	48-A1	3	Grounds and Parking Lot - Replace cracked and heaved/settled portions of concrete walkway to eliminate potential tripping hazards.	\$ 26,081	\$ 18,992	\$ 6,313,486	79	72.82
58	FM-0046917	Alameda	Hayward Hall of Justice	01-D1	3	Interior Finishes - Safety - Replace damaged carpet in Room 521 Jury assembly area. There's a 10' split in the carpet. Impact to Court-Jury deliberation room. Jurors can trip and fall	\$ 5,224	\$ 5,224	\$ 6,318,710	80	100
59	FM-0052844	Ventura	Juvenile Courthouse	56-F1	3	COUNTY MANAGED - Interior Finishes - Replace All Interior Door Hardware Failing - Low Quality/Failing - County Managed Recommended by County/MP - Bldg was built in 2005. Per County, "Hardware is of low quality, failing and is no longer being made.	\$ 73,204	\$ 73,204	\$ 6,391,914	80	100
60	FM-0056759	Los Angeles	Airport Courthouse	19-AU1	3	Elevators, Escalators, & Hoists - Remove and replace laminate on doors of Elevator #1 on floors 1, 6, 7, and 8, Elevator #2 on floors 1, 5, 8 and 9, Elevator #3 on floors 3, 6, 7, 8 and 9 and Elevator #4 on floors 1, 2, 5, and 8. Elevators 1-4 have several doorways on different floors delaminating. This is a safety hazard as its possible for clothing to be caught in the door causing bodily harm or the door skins falling off and striking passengers outside the elevators.	\$ 209,737	\$ 161,854	\$ 6,553,768	80	77.17
61	FM-0050684	Santa Clara	Old Courthouse	43-B2	3	Energy Efficiency Retrofit Project - Install occupancy sensors for lighting control in core restrooms on floors 1-3 - EEM 5	\$ 16,727	\$ 16,727	\$ 6,570,495	85	100
62	FM-0052843	Ventura	East County Courthouse	56-B1	3	ENERGY EFFICENCY - COUNTY MANAGED - Electrical - Interior Lighting Retrofit	\$ 129,518	\$ 129,518	\$ 6,700,013	85	100
63	FM-0057115	Mendocino	County Courthouse	23-A1	3	Roof - Cut in five (5) 18" x 18" fire rated ceiling hatches to obtain visibility to roof drains from within the building in ACM Environment.	\$ 16,528	\$ 11,176	\$ 6,711,189	85	67.62
64	FM-0040499	Fresno	Fresno County Courthouse.	10-A1	3	Electrical - Install a pole mounted solar panel and pole mounted LED light that will cast on the flag 24-7. This will allow the flags to remain flying 24-7 and be consistent with the US Flag Code	\$ 8,615	\$ 8,615	\$ 6,719,804	90	100



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65	Los Angeles	Edmund D. Edelman Children's Court	19-Q1	3	Elevator - Elevator Renovation - Complete renovation of fourteen (14) geared traction elevators. Work will include but not be limited to, car frames and platforms, buffers and safeties, hoistway entrance frames, doors and pit equipment, new AC gearless machines, micro-processor control systems, regenerative VVVF AC drives, fly ball governors, current code required wiring, interior and lobby control panels, car and hall door panels with new doors, counterweights and (see addtl description)	\$ 4,741,771	\$ 3,318,766	\$ 10,038,570	90	69.99
66	Los Angeles	Clara Shortridge Foltz Criminal Justice Center	19-L1	3	Electrical - Installation of a Automatic A-B Transfer Switch from Generator #1 to back-up Generator #2 for emergency power backup. Need to install an Automatic Transfer Switch, if Generator #1 fails, Generator #2 will automatically start.	\$ 60,340	\$ 41,508	\$ 10,080,077	90	68.79
67	Orange	Betty Lou Lamoreaux Justice Center	30-B1	3	Exterior - Safety-Security - Install new metal awning with post and anchors. (126LF x 7'W) at front entrance and side of building. Members of the public are in long lines which causes discomfort for the public during inclement and hot weather.	\$ 62,598	\$ 50,047	\$ 10,130,125	95	79.95
68	Los Angeles	Pasadena Courthouse	19-J1	3	Interior Finishes - Replace Aluminum molding channels throughout the 1st floor. Aluminum molding channels are falling, personnel may get hurt or trip over, safety hazard.	\$ 9,509	\$ 6,594	\$ 10,136,719	95	69.35
69	Los Angeles	Pasadena Courthouse	19-J1	3	HVAC - Pneumatic controls that control the HVAC unit are not working properly. Replace pneumatic controls to improve overall system performance.	\$ 14,634	\$ 10,149	\$ 10,146,868	95	69.35
70	Kern	Shafter/Wasco Courts Bldg.	15-E1	3	Security - Enhance parking by adding Judges Secure Parking and Access to the Courthouse - Branch suffers from lack of secure parking.	\$ 76,230	\$ 76,230	\$ 10,223,098	95	100
71	Santa Clara	Morgan Hill Courthouse	43-N1	3	Energy Efficiency Project - Retrofit Exterior Parking Lot Lighting from 250w Metal Halide to 150w LED lamps	\$ 63,508	\$ 63,508	\$ 10,286,606	95	100
72	Sacramento	Gordon Schaber Sacramento Superior Court	34-A1	3	Plumbing - To abate and remove two (2) abandoned boilers and associated plumbing and equipment - Boilers have been decommissioned and abandoned in place and are occupying valuable space.	\$ 100,104	\$ 100,104	\$ 10,386,710	95	100
73	Los Angeles	Parking Structure Lot 59- Whittier Admin CTR	19-AO2	3	Grounds and Parking Lot - Install new safety enclosures throughout the garages existing openings for the first 2 floors. Install new rolling safety gate (with card reader), electrical installation to the panel and low voltage (for new gate motor) and approx. 550 LF of new welded iron fencing and mesh.	\$ 153,654	\$ 132,803	\$ 10,519,513	95	86.43
74	Butte	Butte County Courthouse	04-A1	3	Grounds and Parking Lot - Fence/Security - Install 990 linear feet of 9' gauge chain link fencing at 7' high. Install one 4' wide by 7' high swing gate on the West side of the fence line. - Security issues	\$ 35,015	\$ 35,015	\$ 10,554,528	98	100
75	Napa	Historical Courthouse	28-B1	3	Interior Finishes - Renovate jury assembly room - Remove fabric wall panels around air ducts and patch and paint walls, for soundproofing	\$ 5,476	\$ 5,476	\$ 10,560,004	100	100
76	San Mateo	Traffic/Small Claims Annex	41-A2	3	Exterior Shell - Paint Exterior of Building at Awning over Doors Due to Rust and Items Removed from Walls	\$ 6,899	\$ 6,899	\$ 10,566,903	100	100
77	Mendocino	County Courthouse	23-A1	3	Energy Efficiency Project - Electrical Lighting - Change Light bulbs, install photocell and sensors - Swap 234 T12 Bulb and ballast to T8 install 3 occupancy sensors, install 3 photo cells	\$ 66,703	\$ 45,105	\$ 10,612,007	100	67.62
78	Mono	New Mammoth Lakes Courthouse	26-B2	3	Interior Finishes - Refurbish bench on the 2nd floor approximately 156 LF. These sections of bench have become warped, split and cupped to the point where they are not only unsightly, but uncomfortable and potentially unsafe.	\$ 19,761	\$ 19,761	\$ 10,631,768	103	100



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79	FM-0040539	Orange	Central Justice Center	30-A1	3	HVAC - Replace Air Handling units for improved control-efficiency - The air handlers are beyond their replacement life cycle	\$ 1,860,793	\$ 1,860,793	\$ 12,492,561	105	100
80	FM-0050686	Santa Clara	Santa Clara Courthouse	43-G1	3	Energy Efficiency Retrofit Project -Install VFD on cooling tower fan and implement CWT reset - EEM 4	\$ 33,808	\$ 33,808	\$ 12,526,369	110	100
81	FM-0051356	Del Norte	Del Norte County Superior Court	08-A1	3	Energy Efficiency Project - Electrical - Modify/Change - Change existing T12 bulbs to T8 Bulbs, change out existing Light Switches to Occupancy Sensors in courtrooms	\$ 19,683	\$ 19,683	\$ 12,546,052	110	100
82	FM-0052830	Ventura	Hall of Justice	56-A1	3	COUNTY MANAGED - Electrical - 4160 Volt Breaker Upgrade. Replace 36yr old Breakers to improve reliability of e-system	\$ 91,073	\$ 91,073	\$ 12,637,125	110	100
83	FM-0034443	San Mateo	Traffic/Small Claims Annex	41-A2	3	Exterior Shell - Paint exterior of building (2 floors) Power wash, Prepare and Patch, Caulk - Due to Concrete Spalling, Expansion Joint Deterioration, Faded Paint	\$ 50,360	\$ 50,360	\$ 12,687,485	115	100
84	FM-0039351	Ventura	East County Courthouse	56-B1	3	Plumbing - Install Low Flow Water Fixtures - Water Conservation & Efficiency	\$ 13,128	\$ 8,107	\$ 12,695,592	115	61.75
85	FM-0041050	Los Angeles	Bellflower Courthouse	19-AL1	3	Exterior Shell- Grind, sand and refinish rusted and damaged handrails on 2nd through 4th Floor exterior balconies. Court Administrator concerned about condition. Paint flaking and sharp edges are a problem	\$ 42,813	\$ 42,813	\$ 12,738,405	115	100
86	FM-0040339	Madera	Sierra Courthouse	20-D1	3	Security - Install fencing for sheriff and staff secured parking - reduce potential custody escapes or attacks - provide safety for court staff and patrons	\$ 167,594	\$ 113,964	\$ 12,852,369	118	68
87	FM-0028372	Solano	Hall of Justice	48-A1	3	Grounds and Parking Lot - Fencing - 30K sf, Install secured fencing with card reader access for judges parking lot for security from the public - Contingency Only	\$ 146,751	\$ 146,751	\$ 12,999,120	120	100
88	FM-0044063	Orange	Central Justice Center	30-A1	3	Exterior- Roof - replace deteriorated roof mounted non-OSHA compliant equipment tie offs with OSHA approved roof equipment tie-offs.	\$ 230,163	\$ 209,840	\$ 13,208,960	120	91.17
89	FM-0051373	Alameda	Wiley W. Manuel Courthouse	01-B3	3	Energy Efficiency project - HVAC - Install VFD's - install (2) VFD for EF 1&2,	\$ 176,372	\$ 147,800	\$ 13,356,759	120	83.8
90	FM-0051385	Alameda	Berkeley Courthouse	01-G1	3	Energy Efficiency Project - Electrical - Install Reflective window film, photo cells, occupancy sensors- 79 windows of reflective tint, 2 photo cells at lobby and stairwell, install occupancy sensors in courtrooms	\$ 46,117	\$ 46,117	\$ 13,402,876	120	100
91	FM-0051473	Alameda	George E. McDonald Hall of Justice	01-F1	3	Energy Efficiency Project - HVAC - Restore Economizer Dampers and Actuators, install VFD (4) - Restore Damper and Actuators (5), install 2 VFD to Supply and Return Fan on unit #1, install 2 VFD to Primary Chilled Water Pumps	\$ 86,530	\$ 86,530	\$ 13,489,406	120	100
92	FM-0040579	Merced	Old Court	24-A1	3	HVAC-Demolish two (2) existing HVAC evaporator condensers-HVAC condensers are obsolete and were replaced with new energy efficient package units. Includes crane, trucking and dump fees	\$ 12,922	\$ 12,922	\$ 13,502,328	130	100



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6/1/2005 to 12/25/2015

Meeting Date 1/15/2016

	FM NUMBER	LOCATION	FACILITY NAME	BUILDING ID	PRIORITY	SHORT TITLE	PRELIMINARY ESTIMATE	FACILITY MODIFICATION PROGRAM BUDGET SHARE OF PRELIMINARY ESTIMATE	CUMULATIVE TOTAL OF FACILITY MODIFICATION PROGRAM SHARE OF PRELIMINARY ESTIMATE	TOTAL SCORE RANK	FACILITY MODIFICATION PROGRAM % OF COST
93	FM-0053022	Riverside	Larson Justice Center	33-C1	3	Grounds and Parking Lot - East Parking Lot - Create and install 80 parking stalls out of perimeter landscape around the current lot. The recent closure of the County lot behind the courthouse, closure of the Court Annex/County building next door and its parking lot, and the building of a County Law building next door have created a serious parking issue in the immediate area of the Larson Justice Center resulting in a 200+ parking stall loss. Customers are currently parking on the landscape.	\$ 485,040	\$ 391,961	\$ 13,894,289	130	80.81



JUDICIAL COUNCIL
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TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

Meeting Date: 1/15/2016

Action Item 5 – (Action Required) – Energy Efficiency Projects

Summary:

Energy Efficiency Projects from List D

Total Project Count:	3
Total Potential FM Budget Share of Cost:	\$139,830

Supporting Documentation:

- List D – Facility Modifications Over \$50K

Action Requested:

Staff recommends three projects – items #16, 17, & 18 on List D – for a total cost to the Facility Modification Program Budget of \$139,830.

Action Item 5

Energy Efficiency Projects

1. Gordon B. Schaber
 - Install LED lighting in courtrooms
2. Carol Miller Justice Center
 - Install LED lighting in parking lot
3. West Central Justice
 - Install VFDs



JUDICIAL COUNCIL
OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

Meeting Date: 1/15/2016

**Action Item 6 – (Action Required) – List E – Court-Funded
Facilities Requests (Facility Modifications)**

Summary:

Review Court-Funded Facilities Requests (Facility Modifications) from List E.

- San Diego Superior Court requests a small project annual budget of \$15,000
- Santa Barbara Superior Court requests one facility modification totaling \$128,653

Supporting Documentation:

- List E – Court-Funded Facilities Requests (Facility Modifications)

Action Requested:

Staff recommends two Court-Funded Facilities Requests for review and approval.



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OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

DRAFT

Trial Court Facility Modification
Court-Funded Facilities Requests (CFR) (List E)

Open Meeting Items

Meeting Date 1/15/2016

ITEM #	CFR NUMBER	COUNTY	BUILDING ID	FACILITY NAME	LEASE, LICENSE, OR FM	CFR DESCRIPTION	CFR TERM	FUND SOURCE	CURRENT YEAR COSTS FY 15-16 (Includes existing costs prior to CFR term)	BUDGET YEAR COSTS	TOTAL CFR COMMITMENT (CFR Term)	REVIEW NOTES - Real Estate and Facilities Management, Capital Program, and Finance
1	37-CFR023	San Diego	37-A2	Hall of Justice	Annual Budget	Convert existing Rule 10.810 MOU into Rule 10.810/Small Project IBA to allow for small CFR FMs (less than \$15,000 each) throughout the fiscal year.	One-Time	TCTF	\$ 15,000	\$ 15,000	\$ 15,000	Pending
2	42-CFR010	Santa Barbara	42-F4	Santa Maria Courts, Bldg F	Facility Modification	The wall separating the two existing jury assembly rooms severely limits the current needs of the jury operations. Removal of the wall and fixed theatre seating (and replacement with accordion wall and stackable seating) could turn the two rooms into one multi-purpose room better serving the public called to jury duty in Santa Maria as well as creating a flexible meeting and training facility on the court campus.	One-Time	Non-TCTF	\$ 128,653	\$ 128,653	\$ 128,653	Pending



JUDICIAL COUNCIL
OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

Meeting Date: 1/15/2016

Action Item 7 – TCFMAC Annual Agenda

Summary:

Review draft TCFMAC 2016 Annual Agenda.

Supporting Documentation:

- Draft Annual Agenda

Action Requested:

Provide input and additions to draft document and approve release to E&P upon revision.

Trial Court Facility Modification Advisory Committee

Annual Agenda—2016

Approved by E&P: _____

I. ADVISORY BODY INFORMATION

Chair:	Hon. Donald Cole Byrd, Presiding Judge of the Superior Court of California, County of Glenn
Staff:	Mr. Patrick McGrath, Facility Operations Manager, Real Estate and Facilities Management

Advisory Body's Charge: Rule 10.65. Trial Court Facility Modification Advisory Committee

(a) Area of focus

The committee makes recommendations to the council on facilities modifications, maintenance, and operations; environmental services; and utility management.

(b) Additional duties

In addition to the duties specified in rule 10.34, the committee:

- (1) Makes recommendations to the council on policy issues, business practices, and budget monitoring and control for all facility-related matters in existing branch facilities.
- (2) Makes recommendations to the council on funding and takes additional action in accordance with council policy, both for facility modifications and for operations and maintenance.
- (3) Collaborates with the Court Facilities Advisory Committee in the development of the capital program, including providing input to design standards, prioritization of capital projects, and methods to reduce construction cost without impacting long-term operations and maintenance cost.
- (4) Provides quarterly and annual reports on the facilities modification program in accordance with the council policy.

(c) Membership

The committee consists of members from the following categories:

- (1) Trial court judges; and
- (2) Court executive officers.

The committee includes the chair and vice-chair of the Court Facilities Advisory Committee, as non-voting members.

Advisory Committee Comment

The Judicial Council policy referred to in the rule is contained in the *Trial Court Facility Modifications Policy* adopted by the council.

In the execution of Rule 10.65, the committee oversees and approves a \$65 million budget for facility modification expenditures at California courts.

Advisory Body’s Membership: The committee consists of members from the following categories: Trial court judges and court executive officers. The committee includes the chair and the vice-chair of the Court Facilities Advisory Committee as non-voting members.

- Chair: Hon. Donald Cole Byrd, Presiding Judge of the Superior Court of California, County of Glenn (Voting Member)
- Vice-Chair: Hon. William F. Highberger, Judge of the Superior Court of California, County of Los Angeles (Voting Member)
- Hon. Jennifer K. Rockwell, Judge of the Superior Court of California, County of Sacramento (Voting Member)
- Hon. James L. Stoelker, Judge of the Superior Court of California, County of Santa Clara (Voting Member)
- Hon. Vanessa W. Vallarta, Judge of the Superior Court of California, County of Monterey (Voting Member)
- Mr. Michael M. Roddy, Court Executive Officer, Superior Court of California, County of San Diego (Voting Member)
- Ms. Linda Romero Soles, Court Executive Officer, Superior Court of California, County of Merced (Voting Member)
- Ms. Jeanine D. Tucker, Court Executive Officer, Superior Court of California, County of Tuolumne (Voting Member)
- Ms. Christina M. Volkers, Court Executive Officer, Superior Court of California, County of San Bernardino (Voting Member)
- Hon. Brad R. Hill, Chair of the Court Facilities Advisory Committee, Administrative Presiding Justice of the Court of Appeal, Fifth Appellate District (Non-voting Member)
- Hon. Patricia M. Lucas, Vice-Chair of the Court Facilities Advisory Committee, Judge of the Superior Court of California, County of Santa Clara (Non-voting Member)

Subgroups/Working Groups: *N/A*

Advisory Body’s Key Objectives for 2016:

- Implement Rule 10.65 – *Trial Court Facility Modification Advisory Committee*
- Implement Policy – *Trial Court Facility Modifications Policy*;
- Implement Charge – *Trial Court Facility Modifications Working Group Charge*; and
- Increase legislative and executive branch understanding of trial court facility operations and funding needs.
- Revise TCFMAC Implementation Guideline for the Facility Modification Policy and Court Funded Request Procedure
- Implementation and evaluation of an update to the Seismic data set developed during the Transfer Process
- Increase and implement water conservation and energy efficiency efforts and best practices

II. ADVISORY BODY PROJECTS

#	Project	Priority	Specifications	Completion Date/Status	Describe End Product/ Outcome of Activity
I.	<p>Trial Court Facility Modification Advisory Committee (TCFMAC) provides continuous review of proposed facility modification projects that have been identified as potential projects by judges, court staff, regional service providers, VFA, Inc., and Judicial Council staff. These potential projects are evaluated by the Judicial Council’s Real Estate and Facilities Management staff and are evaluated using specific criteria pursuant to the Judicial Council policy and then presented for review to the advisory committee.</p> <p>Judicial Council staff and the TCFMAC meet in-person or via teleconference every 30 to 60 days to review the proposed projects. The advisory committee does not always agree with staff recommendations and does not always agree with staff application of specific criteria resulting in the prioritization. The proposed project list is reviewed and upon concurrence of the advisory committee, projects are either approved or denied for execution by staff.</p>	1	<p>Judicial Council Direction: <i>Trial Court Facility Modifications Policy, Section 5.B and Trial Court Facility Modifications Working Group Charge</i></p> <p>Origin of Project: Judicial Council direction</p> <p>Resources: Real Estate and Facilities Management (REFM), Capital Programs (CP), and Office of Security (OS).</p> <p>Key Objective Supported: Goal VI: Branchwide Infrastructure For Service Excellence - The judicial branch will enhance the quality of justice by providing an administrative, technological and physical infrastructure that supports and meets the needs of the public, the branch and its justice system and community partners, and that ensures business continuity.</p>	Ongoing	<p>Facility modifications are reviewed and either accepted or denied by the advisory committee.</p> <p>Approved projects receive funding allocations and then staff executes the projects.</p>

#	Project	Priority	Specifications	Completion Date/Status	Describe End Product/ Outcome of Activity
2.	<p>TCFMAC provides ongoing oversight to Judicial Branch facilities Operations & Maintenance spending via annual budget allocation approval and re-evaluation as needed throughout the year.</p> <p>The committee also provides recommendations to the Judicial Council on facilities funding-related issues and policies.</p>	1	<p>Judicial Council Direction: <i>Trial Court Facility Modifications Working Group Charge</i></p> <p>Origin of Project: Judicial Council direction</p> <p>Resources: Real Estate and Facilities Management (REFM), Capital Programs (CP), and Office of Security (OS).</p> <p>Key Objective Supported: Goal VI: Branchwide Infrastructure For Service Excellence - The judicial branch will enhance the quality of justice by providing an administrative, technological and physical infrastructure that supports and meets the needs of the public, the branch and its justice system and community partners, and that ensures business continuity.</p>	Ongoing	Justify the ongoing operations and maintenance expenditures and submit annual budget allocation proposal in addition to policy proposals as needed.
3.	<p>As of December 14, 2012, the advisory committee is responsible for providing ongoing oversight of policy issues related to the operations and maintenance of existing facilities, noncapital-related real estate transactions, energy management, and environmental management and sustainability. Typical duties include:</p> <ul style="list-style-type: none"> • Review the Judicial Council Preventive Maintenance Plan • Support the Court Facilities Advisory Committee (CFAC) in the development of the 	1	<p>Judicial Council Direction: <i>Trial Court Facility Modifications Policy, Section 5.B and Trial Court Facility Modifications Working Group Charge</i></p> <p>Origin of Project: Judicial Council direction</p> <p>Resources: Real Estate and Facilities Management (REFM), Capital Programs (CP), and Office of Security (OS).</p> <p>Key Objective Supported: Goal VI: Branchwide Infrastructure For Service Excellence - The judicial branch will enhance the quality of justice by providing an administrative, technological and physical infrastructure that supports and meets the needs of the public, the branch and its</p>	Ongoing	Justify the ongoing operating expenses of the Judicial Council's existing building portfolio and assist the Capital Programs with design input that will reduce the long term operating and maintenance cost of future facilities.

#	Project	Priority	Specifications	Completion Date/Status	Describe End Product/ Outcome of Activity
	<p>Capital Program with an emphasis on design methods to reduce construction cost without impacting long-term operations and maintenance cost.</p> <ul style="list-style-type: none"> Implement an energy management plan that will leverage utility rebates, energy saving materials, and other energy conservation tasks to make the California courts as sustainable as possible. <p>Review and approve Court-Funded Facilities Requests including lease-related costs; allowable court operations expenditures under rule 10.810 of the California Rules of Court, and other facility improvements that are not allowable court operations expenditures under rule 10.810.</p>		<p>justice system and community partners, and that ensures business continuity.</p>		
4.	<p>The advisory committee will submit the following <i>Court Facilities: Trial Court Facility Modification Quarterly Activity Reports</i> to the Judicial Council as information only items:</p> <ul style="list-style-type: none"> <i>Quarter 1 of Fiscal Year 2015–2016</i> in December 2015. The report will summarize actions taken by the advisory 	1	<p>Judicial Council Direction: <i>Trial Court Facility Modifications Policy</i>, Section 5.E and <i>Trial Court Facility Modifications Working Group Charge</i></p> <p>Origin of Project: Judicial Council direction</p> <p>Resources: Real Estate and Facilities Management (REFM), Judicial Council Support Services (JCSS), and Editing/Graphics Group (EGG).</p>	<p>Submittal planned for the Judicial Council’s December 2015 (Q1), February 2016 (Q2), June 2016 (Q3), and August 2016</p>	<p>Provide an information only report to the Judicial Council detailing the advisory committee’s activities and a list of projects authorized for funding in the specified quarter.</p>

#	Project	Priority	Specifications	Completion Date/Status	Describe End Product/ Outcome of Activity
	<p>committee for the months of July 2015, August 2015, and September 2015.</p> <ul style="list-style-type: none"> • <i>Quarter 2 of Fiscal Year 2015–2016</i> in February 2016. The report will summarize actions taken by the advisory committee for the months of October 2015, November 2015, and December 2015. • <i>Quarter 3 of Fiscal Year 2015–2016</i> in June 2016. The report will summarize actions taken by the advisory committee for the months of January 2016, February 2016, and March 2016. • <i>Quarter 4 of Fiscal Year 2015–2016</i> in August 2016. The report will summarize actions taken by the advisory committee for the months of April 2016, May 2016, and June 2016. 		<p>Key Objective Supported: Goal VI: Branchwide Infrastructure For Service Excellence - The judicial branch will enhance the quality of justice by providing an administrative, technological and physical infrastructure that supports and meets the needs of the public, the branch and its justice system and community partners, and that ensures business continuity.</p>	(Q4) meetings.	
5.	<p>The advisory committee will submit the <i>Court Facilities: Budget Allocations for Statewide Trial Court Facility Modifications and Planning in Fiscal Year 2016–2017</i> to the Judicial Council as an action item in July 2016.</p>	1	<p>Judicial Council Direction: <i>Trial Court Facility Modifications Policy, Section 5.C and Trial Court Facility Modifications Working Group Charge</i></p> <p>Origin of Project: Judicial Council direction</p> <p>Resources: Real Estate and Facilities Management (REFM), Judicial Council Support Services (JCSS), and Editing/Graphics Group (EGG).</p>	Submittal planned for the Judicial Council’s July 2016 meeting	Request the Judicial Council review the facility modification and operations and maintenance budget report for fiscal year 2016-2017. If approved, staff will implement the budget.

#	Project	Priority	Specifications	Completion Date/Status	Describe End Product/ Outcome of Activity
			<p>Key Objective Supported: Goal VI: Branchwide Infrastructure For Service Excellence - The judicial branch will enhance the quality of justice by providing an administrative, technological and physical infrastructure that supports and meets the needs of the public, the branch and its justice system and community partners, and that ensures business continuity.</p>		
6.	<p>The advisory committee will submit the <i>Annual Report of the Trial Court Facility Modification Advisory Committee for Fiscal Year 2015-2016</i> to the Judicial Council as an information only item in December 2016.</p>	1	<p>Judicial Council Direction: <i>Trial Court Facility Modifications Policy, Section 5.C and Trial Court Facility Modifications Working Group Charge</i></p> <p>Origin of Project: Judicial Council direction</p> <p>Resources: Real Estate and Facilities Management (REFM), Judicial Council Support Services (JCSS), and Editing/Graphics Group (EGG).</p> <p>Key Objective Supported: Goal VI: Branchwide Infrastructure For Service Excellence - The judicial branch will enhance the quality of justice by providing an administrative, technological and physical infrastructure that supports and meets the needs of the public, the branch and its justice system and community partners, and that ensures business continuity.</p>	<p>Planned for submittal to the Judicial Council's December 2016 meeting</p>	<p>Provide the Judicial Council a report detailing the advisory committee's activities and a list of projects authorized for funding from the past fiscal year.</p>
7.	<p>Develop and propose concepts for consideration for the branch Budget Change Proposals (BCPs). Submittal to the Judicial Council in July 2016.</p>	1	<p>Judicial Council Direction: Operational Plan Objective</p> <p>Origin of Project: To be proposed by REFM management team</p>	<p>Planned for submittal to the Judicial Council's July 2016 meeting</p>	<p>Increase funding allocations for the facility modification and operations and maintenance programs.</p>

#	Project	Priority	Specifications	Completion Date/Status	Describe End Product/ Outcome of Activity
			<p>Resources: Real Estate and Facilities Management (REFM), and Capital Programs (CP)</p> <p>Key Objective Supported: Goal VI: Branchwide Infrastructure For Service Excellence - The judicial branch will enhance the quality of justice by providing an administrative, technological and physical infrastructure that supports and meets the needs of the public, the branch and its justice system and community partners, and that ensures business continuity.</p>		
8.	Finalize the Implementation Guideline for the Facility Modification Policy and Court Funded Request Procedure.	1	<p>Judicial Council Direction: Operational Plan Objective</p> <p>Origin of Project: To be proposed by Real Estate and Facilities Management (REFM)</p> <p>Resources: Real Estate and Facilities Management (REFM), and Legal Services (LSO)</p> <p>Key Objective Supported: Goal VI: Branchwide Infrastructure For Service Excellence - The judicial branch will enhance the quality of justice by providing an administrative, technological and physical infrastructure that supports and meets the needs of the public, the branch and its justice system and community partners, and that ensures business continuity.</p>	To be completed before July 2016	Update guidelines to align with updated Facility Modification Policy.
9.	Update the CFR procedure to increase the allowable expenditure threshold for Small Project Work.	1	<p>Judicial Council Direction: <i>Court-Funded Facilities Requests Procedure</i></p> <p>Origin of Project: To be proposed by Real Estate and Facilities Management (REFM)</p>		

#	Project	Priority	Specifications	Completion Date/Status	Describe End Product/ Outcome of Activity
			<p>Resources: Real Estate and Facilities Management (REFM)</p> <p>Key Objective Supported: Goal VI: Branchwide Infrastructure For Service Excellence - The judicial branch will enhance the quality of justice by providing an administrative, technological and physical infrastructure that supports and meets the needs of the public, the branch and its justice system and community partners, and that ensures business continuity.</p>		

III. STATUS OF 2015 PROJECTS:

#	Project	Completion Date/Status
1	Advisory Committee Meetings	Ongoing
2	Operations and Maintenance Oversight	Ongoing
3	Court Facilities: Trial Court Facility Modification Quarterly Activity Report, Quarter 1 of Fiscal Year 2014-2015	Report submitted to Judicial Council as information only item on February 19, 2015
4	Court Facilities: Trial Court Facility Modification Quarterly Activity Report, Quarter 2 of Fiscal Year 2014-2015	Report submitted to Judicial Council as information only item on April 17, 2015
5	Court Facilities: Trial Court Facility Modification Quarterly Activity Report, Quarter 3 of Fiscal Year 2014-2015	Report submitted to Judicial Council as information only item on June 26, 2015
6	Court Facilities: Trial Court Facility Modification Quarterly Activity Report, Quarter 4 of Fiscal Year 2014-2015	Report submitted to Judicial Council as information only item on August 21, 2015
7	Court Facilities: Budget Allocations for Statewide Trial Court Facility Modifications and Planning in Fiscal Year 2015-2016	Judicial Council reviewed and approved the budget report on August 20, 2015
8	Court Facilities: Annual Report of the Trial Court Facility Modification Advisory Committee for Fiscal Year 2014-2015	Report submitted to Judicial Council as information only item on December 11, 2015

9	Budget: Fiscal Year 2016-2017 Budget Requests for Trial Court Facilities Operations Needs	Completed August 20, 2015, results from DOF pending January 2016 release of Gov't budget
10	Status finalization of the Trial Court Facility Maintenance Pilot Program	Completed as of July 7, 2015. Results reported to the council as part of FY 14-15 Annual Report on December 11, 2015.
11	Finalization of the Implementation Guideline for the Facility Modification Policy and Court Funded Request Procedure	Coordination with Legal Services; project completion extended to July 2016

IV. Subgroups/Working Groups - Detail

<p>Subgroups/Working Groups: <i>N/A</i></p>
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JUDICIAL COUNCIL
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TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

Meeting Date: 1/15/2016

Action Item 8 – Quarterly Activity Report, Quarter 2 of Fiscal Year 2015-2016

Summary:

Review draft *Trial Court Facility Modification Advisory Committee Activity Report for Quarter 2, Fiscal Year 2015-2016*.

Supporting Documentation:

- Draft Q2 Report

Action Requested:

Provide input and additions to draft document and approve release to E&P upon revision.



JUDICIAL COUNCIL OF CALIFORNIA

455 Golden Gate Avenue · San Francisco, California 94102-3688

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REPORT TO THE JUDICIAL COUNCIL

For business meeting on: February 26, 2016

Title	Agenda Item Type
Court Facilities: Trial Court Facility Modification Quarterly Activity Report for Quarter 2 of Fiscal Year 2015–2016	Information Only
	Date of Report
	January 4, 2016
Submitted by	Contact
Trial Court Facility Modification Advisory Committee	Patrick McGrath, 916-643-8051
Hon. Donald Cole Byrd, Chair	patrick.mcgrath@jud.ca.gov

Executive Summary

The Trial Court Facility Modification Advisory Committee (TCFMAC) has completed its facility modification funding for the second quarter of fiscal year 2015–2016. In compliance with the *Trial Court Facility Modifications Policy*, the advisory body is submitting its *Trial Court Facility Modification Quarterly Activity Report: Quarter 2, Fiscal Year 2015–2016* as information for the council. This report summarizes the activities of the TCFMAC from October 1, 2015, to December 31, 2015.

Previous Council Action

The Trial Court Facility Modification Working Group was established by Judicial Council policy in 2005. The working group first met in April 2006 and operated under the *Trial Court Facility Modifications Policy*,¹ adopted by the Judicial Council in 2005 and revised on December 12, 2014. The working group's primary oversight responsibilities included reviewing statewide facility modification requests and approving facility modification funding.

The working group's charge was formalized by the Judicial Council on December 14, 2012, and the working group was assigned additional oversight responsibility for the operations and

¹ As adopted in 2005, the policy was known as the *Prioritization Methodology for Modifications to Court Facilities*. When it was revised in 2012, the name also changed. See www.courts.ca.gov/documents/jc-20120727-itemG.pdf.

maintenance of existing facilities, noncapital-related real estate transactions, energy management, and environmental management and sustainability. On April 25, 2013, the working group's status was elevated to that of advisory committee.

An updated Court-Funded Facilities Request (CFR) approval process was submitted and approved by the Judicial Council on August 23, 2013, requiring all CFRs to be reviewed and approved by the TCFMAC. These submittals may include lease-related costs (e.g., lease payments and operating costs, repairs, or modifications required by a lease); allowable court operations expenditures under rule 10.810 of the California Rules of Court (e.g., equipment, furnishings, interior painting, flooring replacement or repair, furniture repair, or records storage); and other facility improvements that are not allowable court operations expenditures under rule 10.810 (e.g., facilities operations, maintenance, repairs, and modifications, but not capital projects), if they would improve a court's functioning or reduce ongoing court operating costs.

Reports previously approved by the Judicial Council are available at www.courts.ca.gov/2567.htm under Research and Reports: Conditions in Our Courts.

Methodology and Process

Funding decisions were based on the prioritization and ranking methodologies in accordance with the *Trial Court Facility Modifications Policy*. Facility modifications are assigned one of six priority categories: Priority 1—Immediate or Potentially Critical; Priority 2—Necessary, but Not Yet Critical; Priority 3—Needed; Priority 4—Does Not Meet Current Codes or Standards; Priority 5—Beyond Rated Life, but Serviceable; and Priority 6—Hazardous Materials, Managed but Not Abated. These categories are based on methods commonly used by private-sector facility management firms. Facility modifications that are determined to be Priority 1 are to be addressed immediately and regardless of whether the court occupies a shared-use facility. With current budget constraints, the TCFMAC predominantly approves facility modification projects at the Priority 1 and Priority 2 levels. Delaying TCFMAC approval of these projects would cause continued court closures, operational failures, and undue risk to continued court operations.

Policy and Cost Implications

During the second quarter of fiscal year (FY) 2015–2016, the TCFMAC reviewed and approved a total of 362 facility modifications for a total projected cost of \$21,492,723. The Facility Modification Program's share of these projects totals \$18,123,570. These approved projects are limited to Priority 1 emergency projects and Priority 2 critical needs projects. Among other urgently needed projects, the committee approved 12 roof replacement projects in addition to the regular roof maintenance and repair projects. The committee also ratifies emergency projects, including a significant number of HVAC and electrical repairs. Please see Attachment A for a detailed list of all approved projects during the second quarter of FY 2015–2016.

During this quarter, 11 projects required additional funds in excess of \$50,000 from their original estimates. The Facility Modification Program's share of these cost increases totals \$2,487,473.

Projects that required excess costs of this magnitude were largely projects where project managers encountered unforeseen site or equipment conditions.

During this quarter, 12 Court-Funded Facilities Requests (CFR) were reviewed and approved by the TCFMAC. These included leases for the Superior Courts of San Diego, Santa Clara and Tulare Counties, and small-project CFRs for the Superior Courts of Alameda, Fresno, Humboldt, Los Angeles, Orange, San Bernardino, and San Francisco Counties. See Attachment B for a detailed list of CFRs approved by the TCFMAC during the second quarter of FY 2015–2016.

Implementation Efforts

The TCFMAC saw a change in leadership this quarter with the Chief Justice’s appointment of existing member Judge Donald Cole Byrd to the role of committee chair after the retirement of previous chair Judge David Power. The committee also welcomed new member Judge Jennifer K. Rockwell of the Sacramento Superior Court this quarter. Prior to her appointment as judge in the traffic division, Judge Rockwell was Chief Counsel for the California Department of Finance. Under the new chair, the committee conducted two meetings—one in person in Sacramento on October 23, 2015, and one via teleconference on December 7, 2015—to review facility modification (FM) funding requests and to discuss the topics below.

- The committee conducted its regular review of facility modification projects lists: A (Emergency and Priority 1); B (FMs Under \$50K); C (Cost Increases Over \$50K); D (FMs Over \$50K Eligible for Funding); E (Court-Funded Facilities Requests); and F (Funded FMs on Hold).
- The committee received an update on water conservation efforts in support of the Judicial Council’s Water Conservation Policy adopted earlier this year. These efforts include usage audits and regular meetings with courts on conservation practices.
- The committee prepared and submitted its FY 2014-2015 Annual Report to the Judicial Council. The report provides an overview and details on the committee’s activities and budget expenditures over the course of the year.
- The committee reviewed and approved the *Trial Court Facility Modification Quarterly Activity Report for Quarter 1 of Fiscal Year 2015-2016*.
- The committee received an informational overview and update on the Facilities Policies Working Group’s charge and activities.

Finally, please see the examples on the next pages of facility modifications projects that have been completed during this quarter. These examples illustrate the varied problems that California courthouses face on a regular basis, from emergency repairs and mitigation to projects identified during preventive maintenance rounds and readings. In any circumstance, it is the committee’s emphasis, with Judicial Council facility management staff, to provide dedicated service and resolution to court users and employees throughout the state.

Completed Courthouse Project Spotlights

Priority 2 Project—Elevator Renovations at Santa Clara County Hall of Justice West—FM-0022152

The elevators at the Hall Of Justice West in Santa Clara County were in poor running condition and the court staff, the public, and the Sherriff's while transporting in custody's were suffering from multiple elevator entrapments. A Facility Modification project was awarded to Enovity under the JOC contract to refurbish the elevators which included the replacement of pulleys, belts, motors and other major components. The replacement of the obsolete, worn-out 30 year old gear wheels to gearless and the addition of smoke guards to the cabs, per the State Fire Marshal's inspection, were included in this project. Due to the complexity of their only being (1) in-custody and (1) public/staff elevator over the four-month duration of the project, there was huge coordination and teamwork with the JCC Facilities Management Unit, Court Management Staff and the Sherriff's Office to schedule the in-work rotation of the elevators. Weekly meetings took place through completion of this project to ensure the Court and the transportation of In-Custodies was not affected. Final project cost was \$679,541.



Far Left:
Before –
photo of
the
mechanical
room while
removing
the old,
obsolete
gear
wheels.

Near Left:
After –
new
gearless
wheels.

Priority 2 Project—Construction of New Courtroom in Existing Space at Betty Lamoreaux Justice Center, Orange County—FM-0050564

With the closure of the Harbor Justice Center – Laguna Hills Facility, the Orange County Superior Court lost four courtrooms in July 2013. The Betty Lou Lamoreaux Justice Center was not able to absorb the additional Family Law hearings with its given courtroom space and necessitated an additional courtroom. Existing Domestic Violence Assistance Program work space was converted into the new courtroom and the DVAP was relocated to an alternate location.

Final project cost was \$828,251.



Left: Before – court-exclusive work space.
Right: After – new courtroom.

Next Steps

The *Trial Court Facility Modification Quarterly Activity Report: Quarter 3, Fiscal Year 2015–2016* will be submitted to the Judicial Council in June 2016.

Attachments

1. Attachment A: *TCFMAC-Funded Project List: Quarter 2, Fiscal Year 2015–2016*
2. Attachment B: *Court-Funded Facilities Requests (CFR): Quarter 2, Fiscal Year 2015–2016*



JUDICIAL COUNCIL
OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

Attachment A

TCFMAC-Funded Project List
Quarter 2, Fiscal Year 2015-2016

#	FM NUMBER	LOCATION	FACILITY NAME	BUILDING ID	PRIORITY	SHORT TITLE	PRELIMINARY ESTIMATE	FACILITY MODIFICATION PROGRAM SHARE OF PRELIMINARY ESTIMATE	FACILITY MODIFICATION PROGRAM SHARE % OF COST
1	FM-0009593	Butte	Butte County Courthouse	04-A1	2	Security - Replace the existing and antiquated Identification card access control system to a DSX access control system. The buildings' Identification card system is no longer manufactured or supported. The current servers and operating systems are outdated and will not support an updated access control system. System failures have had adverse effect on Court operations.	\$ 74,672	\$74,672	100
2	FM-0017557	Los Angeles	Compton Courthouse	19-AG1	2	Plumbing - Replace failed Pressure Relief Valves on 2nd, 4th, 6th & 8th floors; valves are inoperable and require replacement. Replace failed Domestic Water Booster Pump package.	\$ 389,860	\$257,814	66.13
3	FM-0019392	Los Angeles	Downey Courthouse	19-AM1	2	Electrical - Replace two (2) 3.15M BTU Boilers and one (1) 750Kw Generator. Replacement is required in order to comply with current AQMD standards.	\$ 796,699	\$ 666,837	83.70
4	FM-0025652	Ventura	Hall of Justice	56-A1	2	COUNTY MANAGED - Audience Seating, Dept 22 Ceremonial Courtroom - Remove and replace 102 audience seats (all) in this Courtroom. Damage includes torn fabric, exposed framework and 18 seats damaged beyond repair.	\$ 70,000	\$70,000	100
5	FM-0037757	Merced	Old Court	24-A1	2	Interior Finishes - Refurbish a 65+ year old Terrazzo lobby floor that is approximately 2,000 square feet. Floor has numerous cracks where many are more pronounced than others. Floor presents a higher risk to high heeled shoes than flatware shoes.	\$ 101,008	\$101,008	100
6	FM-0041057	Los Angeles	Edmund D. Edelman Children's Court	19-Q1	2	HVAC - Replace metal front filters - System failure imminent	\$ 11,522	\$ 11,522	100
7	FM-0041137	Los Angeles	Alhambra Courthouse	19-I1	2	Electrical - Replace one (1) 250Kw Generator. ACM abatement required. Replacement is required in order to comply with current AQMD standards.	\$ 448,388	\$385,614	86
8	FM-0050594	Santa Barbara	Santa Barbara Figueroa Division	42-B1	2	Security - Add handcuff portals to 8 cell doors - Security Risk/High	\$ 3,096	\$ 3,096	100
9	FM-0051229	Santa Barbara	Santa Barbara Figueroa Division	42-B1	2	Interior Finishes - Reinstall electronic high volume record filing system. System was removed as part of a P1 effort re-installation is required to return court to fully operational status.	\$ 50,000	\$50,000	100
10	FM-0052970	Los Angeles	Whittier Courthouse	19-AO1	2	Roof - Remove and replace existing one story section of roof with new and overlay 5 story section of roof with torch applied system. Renovation required due to age and water penetration.	\$ 742,000	\$641,311	86.43
11	FM-0052981	Los Angeles	East Los Angeles Courthouse	19-V1	2	Roof - Remove and replace existing failing roof system with new PVC roof system (30,625).	\$ 715,093	\$555,770	77.72
12	FM-0052988	Los Angeles	San Fernando Courthouse	19-AC1	2	Roof - Remove and replace existing failing roofing systems on main deck, 2nd and 3rd floor Northeast decks as well as machine room roofs at the main roof (approximately 38,000) with a SBS roof System. Roof metal will be replaced as needed.	\$ 807,176	\$673,266	83.41
13	FM-0053002	Los Angeles	Monrovia Training Center	19-N1	2	Roof - Remove and replace existing roof system at eleven different areas (20,000 SF). Due to the poor condition of these areas, recommended removal and replacement of existing and building metal will bring entire building roof to good condition.	\$ 450,000	\$316,305	70.29
14	FM-0053003	Los Angeles	Alhambra Courthouse	19-I1	2	Roof - Remove and replace existing roof with new SBS roof system - Remove and replace approximately 31,800sf of failing built up roof system. Work will include new building metal, vents and walk pads as needed.	\$ 699,821	\$601,846	86
15	FM-0053004	Los Angeles	Van Nuys Courthouse West	19-AX2	2	Roof - Remove and replace existing failing roof with new SBS roof system - Work to include replacing approximately 25,000sf of failing built up roof, two roof drains, re-coat the Heli-Stop and replace building metal as needed.	\$ 585,070	\$470,864	80.48



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16	FM-0053030	Los Angeles	Glendale Courthouse	19-H1	2	Roof - Remove and replace existing roof with new SBS roof system - Work to include replacing approximately 34,000sf of failing built up roof, restore roof drains, install tapered insulation as needed and replace building metal if not re-usable.	\$ 757,338	\$685,694	90.54
17	FM-0053394	Los Angeles	Torrance Courthouse	19-C1	2	Roof - Remove and replace 40,000 square feet of the existing main deck and lower deck sections with new SBS roof system / Due to roof decks currently failing and leaking. Work to include new building metal, vent jacks and equipment curbs as needed	\$ 845,633	\$719,972	85.14
18	FM-0053460	Los Angeles	Edmund D. Edelman Children's Court	19-Q1	2	Roof - Remove and replace 43,000 sf of existing roof with new SBS roof system, currently the existing roof is in poor to fair condition at best, work will replace the roof at three building sections at various levels. New building metal and curbs will be replaced as needed. (No work to be done on the Heli - Stop).	\$ 946,000	\$662,105	69.99
19	FM-0053549	Los Angeles	Downey Courthouse	19-AM1	2	Roof - Remove and replace existing main deck, lower east deck and lower west deck (approximately 34,000 sf) with a SBS type roof system - Due to main and lower decks are past due and beginning to leak during rainy weather.	\$ 753,487	\$630,669	83.7
20	FM-0053554	Los Angeles	Pomona Courthouse South	19-W1	2	Roof - Remove and replace existing roof with new SBS roof system at main deck (23,220 sq. ft.), lower north deck (2,838 sq. ft.), and lower south deck (2,838 sq. ft.). Roofing metal will be replaced as needed.	\$ 682,895	\$622,391	91.14
21	FM-0053561	Los Angeles	Metropolitan Courthouse	19-T1	2	Electrical - Failed Exterior Lighting - Replace a total of 98 exterior Mercury Vapor, High Pressure Sodium, and Fluorescent Light fixtures with high efficient LED fixtures. Remove and replace the failed lights and ballasts in 16 soffit areas (Each approximately 8'x8'). Building exterior lighting fixtures/poles have broken lenses, sockets, bulbs and ballasts making the area dark at night, safety issue. Parts are no longer available due to fixtures being outdated.	\$ 176,525	\$166,887	94.54
22	FM-0054101	Los Angeles	Santa Monica Courthouse	19-AP1	2	Roof - Remove and replace 53,000 sf of existing roof with new SBS roof system, currently the existing roof is in poor to fair condition at best, work will replace the roof at three building sections at various levels. New building metal and curbs will be replaced as needed.	\$ 1,114,341	\$874,646	78.49
23	FM-0054644	Los Angeles	Edmund D. Edelman Children's Court	19-Q1	2	Grounds and Parking Lot - Replace waterproof membrane, sprinklers, and landscaping in planter on the exterior of the Courthouse near County Council Chambers. Due to years of deterioration the waterproofing membrane in the planter leaks through when there is excessive water present. This was the cause of a serious leak into the County Council Chambers in January 2014.	\$ 30,000	\$ 20,997	69.99
24	FM-0054783	Los Angeles	Airport Courthouse	19-AU1	2	Vandalism - Glass on elevators #1-4, glass panes on flrs 3 & 8 and men's public restrooms mirrors (all floors) have been vandalized by graffiti being etched into them. Need to remove etching to help prevent future vandalism/safety hazards. Resurface 24 windows and 33 mirrors with multistage polishing to remove graffiti, approximately 2 hrs per window. Remove 3 windows on 3rd flr due to deep etching and install (3) 105" x 65" x 1/2" laminated clear green Solex windows.	\$ 72,260	\$55,763	77.17
25	FM-0054878	Solano	Hall of Justice	48-A1	2	Interior finishes - Atrium Doors - Replace worn-out and failing atrium door hardware on eight doors to include closers and pull handles and locks and pivot hinges and stops -Doors don't close causing a security issue.	\$ 41,011	\$ 29,864	72.82
26	FM-0054960	Solano	Hall of Justice	48-A1	2	Roof - Replace roof. Phase II of existing/funded Phase I FM#50740	\$ 1,341,198	\$ 976,660	72.82
27	FM-0055052	Ventura	Hall of Justice	56-A1	2	Exterior Shell - South Side Rotary Exit Door - Door Mechanism Failed/Non-Op - Repairs not possible due to age and condition. Replacement is required.	\$ 93,813	\$93,813	100



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28	FM-0056596	Lassen	New Susanville Courthouse	18-C1	2	Security - Supply and install new Daikin mini split FTX24LVJU to monitoring office including all Electrical, line set and roof jack - The existing security is required to maintain site monitoring 24/7. Building design does not provide 24x7 support to this area. High weekend temps will cause the equipment premature equipment failure.	\$ 24,494	\$ 24,494	100
29	FM-0056653	Los Angeles	Torrance Courthouse	19-C1	1	Elevator - Custody elevator #4 - Replace defective parts (1) earthquake plate, (4) cover plate kits, (4) elSCO seismic retainers, (8) stud support washers, (24) hex nuts, (4) roller glides and(1) can of LPS cutting fluid. Elevator had cracked roller guide and during the replacement other critical renovations were identified.	\$ 10,050	\$10,050	100
30	FM-0056654	Alameda	Juvenile Justice Center	01-C3	1	Plumbing - Water leak - Remediate wet interior finishes to include approximately 300 square feet of carpet and lower parts of adjacent sheetrock walls with dehumidifiers and fans - Work was performed on off hours and a Sunday.	\$ 4,538	\$4,538	100
31	FM-0056655	Shasta	Justice Center	45-A2	2	COUNTY MANAGED - HVAC Controls Upgrade - The pneumatic controls that operated the HVAC system at the Jail/Justice Center are leaking and obsolete. This project replaces the original control system with Johnson digital controls.	\$ 25,000	\$25,000	100
32	FM-0056657	Los Angeles	Metropolitan Courthouse	19-T1	2	Interior Finish - Remove furniture and stretch carpets in 4 Depts. The carpets are lifting and creating ridges causing a tripping hazard.	\$ 7,720	\$7,720	100
33	FM-0056659	Santa Clara	Santa Clara Courthouse	43-G1	2	Plumbing - Water heater has failed - Replace 1 each 74 gal. domestic hot water heater - Hot water is intermittent.	\$ 4,896	\$4,896	100
34	FM-0056660	Los Angeles	Compton Courthouse	19-AG1	2	Electrical - Replace (40) Defective 175W HID bulbs with 32W CFL bulbs by modifying existing wiring & conduit directly to bulb sockets and bypassing the defective ballasts on a total of 6 different floors in (14) court exclusive depts.	\$ 3,956	\$3,956	100
35	FM-0056661	San Bernardino	New San Bernardino Courthouse	36-R1	2	Security - Secure parking gate was hit by a sheriff's bus and bus damaged the sensor. Gates were inoperable due to failed photo eye. and the gate door was stuck open. Replaced two failed photo eyes on the rolling gates to the secured parking lot. ABM manually secured and opened gates daily until delivery of the replacement photo eye sensors.	\$ 2,671	\$2,671	100
36	FM-0056662	Los Angeles	Pomona Courthouse South	19-W1	2	Plumbing -Install (1) new Acorn stainless steel sink, (1) new Acorn stainless steel toilet; modify existing drain & water lines to accommodate new fixtures. The current porcelain sink & toilet in lock up cell #1 on the first floor are broken and need to be replaced by stainless steel.	\$ 9,603	\$8,752	91.14
37	FM-0056664	Los Angeles	Compton Courthouse	19-AG1	2	HVAC - Replace (2) deteriorated canvas flex connectors for Supply Fan #1 & Exhaust Fan #2. The canvas flex connector are breaking & the connectors have no more flex in them; this condition allows air to escape which can cause damage to ducting & can also cause motor strain.	\$ 3,273	\$2,164	66.13
38	FM-0056666	San Diego	Kearny Mesa Traffic Court	37-C1	2	HVAC - The Indoor evaporator fan motor is deteriorated. Replace one existing 3 ton evaporator fan coil and install one new required R-22 Thermostatic Expansion Valve (TXV). Need to replace the fan coil to prevent future downtime.	\$ 5,556	\$5,556	100
39	FM-0056667	San Diego	Kearny Mesa Traffic Court	37-C1	2	Plumbing - Leaking Water Heater - Remove and replace one, 100 Gallon Water Heater, and extract water from the public hallway.	\$ 3,208	\$3,208	100
40	FM-0056668	Contra Costa	Bray Courts	07-A3	2	Plumbing - Provide remediation for flood on the second and third floors caused by a malfunctioning toilet; Provide two laborers for 6 hours to dry out the second and third floor jury rooms and hallways; Provide 2 dehumidifiers, 12 fans for three days - Toilet malfunctioned and flooded the hallways and jury rooms on two floors.	\$ 6,485	\$6,485	100



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41	FM-0056671	Los Angeles	Inglewood Juvenile Court	19-E1	2	Electrical - Install (2) new 20amp 120v electrical outlets in marked out spots on the wall in the old pay phone area; run approx. 20LF of conduit & wiring inside wall, over top, and down to new dedicated 20amp breakers installed on existing breaker box located inside nearby IT closet. Currently two vending machines are poorly located in 2 separate areas on the first floor and the location is away from departments & public waiting areas.	\$ 4,438	\$3,585	80.78
42	FM-0056672	San Diego	North County Regional Center - Vista Center	37-F2	2	Electrical - Exit signs are dim and may not be visible in case of an emergency. Need to replace the exit signs as this a potential safety issue. Isolate electrical circuit and replace 50 exit signs. Install 50 exit signs with battery backup.	\$ 4,775	\$4,775	100
43	FM-0056676	San Diego	North County Regional Center - Vista Center	37-F2	1	Interior Finishes - Smoke Restoration - Replacement of 30 sq ft drywall, 260 pieces of 12x12 ceiling tiles, primer all painted walls with Kilz and apply final coat of paint, install 240 sq ft new carpet, replacement of 6 light fixture lens and thermostat. Short in personal fan unit creted a fire impacting Attorney / Client Mediation Room between Dept. 15 and 17. Room is unavailable and restoration is needed to restore room to use.	\$ 55,463	\$55,463	100
44	FM-0056682	Los Angeles	Bellflower Courthouse	19-AL1	1	HVAC - Condenser pump has failed and bearings seized, causing Chiller #2 to trip due to high pressure. Need to replace condenser pump and motor.	\$ 20,443	\$15,933	77.94
45	FM-0056683	Contra Costa	Arnason Justice Center	07-E3	2	Grounds and Parking Lot - Cut down and remove (13) 25 ft trees that have grown to where they are blocking the views of the security cameras; Grind the stumps and remove the debris; Plant 13 small, drought tolerant shrubs in place of the trees. The trees are blocking camera views of the entry to the Judges parking lot, the sally port entrance, the employee parking lot, and two public entrances to the Courthouse. This work is recommended by JCC Security Operations.	\$ 5,843	\$5,843	100
46	FM-0056684	Los Angeles	Metropolitan Courthouse	19-T1	1	Plumbing - Drain Line Leak - Remove and replace 50' of 3" cracked Cast iron pipe and extract approximately 10 gallons of water. Drain restriction in the 1st floor snack bar creating water to leak down to the Level A Sheriff's Women's Locker Room affecting 9'x7' hard lid ceiling. 9'x7'x9.5' ACM containment erected in locker room and 3 a stage wipe down on 12'x10' area on the 1st floor was required.	\$ 15,000	\$14,181	94.54
47	FM-0056685	Lake	South Civic Center	17-B1	2	Interior Finishes - Install a baby changing station in both men's and women's restrooms.	\$ 1,268	\$938	74
48	FM-0056687	Los Angeles	Metropolitan Courthouse	19-T1	2	Plumbing - Rebuild booster pump #3 that is leaking. Currently the pump is leaking water and if it is not rebuilt, the pump could fail effecting water pressure to the upper floors which include all the bathrooms, cooling towers and boilers.	\$ 4,992	\$4,719	94.54
49	FM-0056688	Orange	West Justice Center	30-D1	2	Electrical - Uninterrupted Power Source (UPS) - Replace the Synchron AC Power Board, DC Power Board and Inverter Control Board for Emergency Egress Lighting UPS 4. The emergency lights in Courtrooms W10 and W12 have failed. This was very disruptive to the Courtrooms.	\$ 4,802	\$4,354	90.68
50	FM-0056689	Los Angeles	Clara Shortridge Foltz Criminal Justice Center	19-L1	2	Plumbing - Toilet and Urinal Angle shut off valves replacement. Replace approx. 30 failed and damaged 1.5" angle shut off on urinals and 3.5" angle shut off valves on toilets in various restrooms from P-Level up to the 15th floor.	\$ 4,978	\$3,424	68.79
51	FM-0056690	Los Angeles	Alhambra Courthouse	19-I1	2	HVAC - The motor on AHU #4 has bad bearings & is ready to fail; if AHU#4 goes down the entire 4th floor will be without air flow for heating/cooling. Replace (1) 25HP motor on Air Handler Unit #4 inside roof top mechanical room using special rigging; re-use existing guards, belts, pulley, & commission motor to operate.	\$ 4,539	\$3,904	86



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52	FM-0056691	San Diego	East County Regional Center	37-I1	2	Plumbing - Piping above the T-bar ceiling grid in the 5th floor D.A. office area was cracked and needed replacing. Replaced 10' section of 2" piping and fittings.	\$ 2,454	\$1,662	67.71
53	FM-0056692	San Diego	Juvenile Court	37-E1	2	HVAC - Boiler #2 motor and pump have failed. Re-build one (1) pump and replace one (1) motor; install re-built pump.	\$ 4,524	\$3,376	74.62
54	FM-0056693	Los Angeles	Compton Courthouse	19-AG1	2	Fire Protection - Replace Fire Pump #1 heat exchanger core, install new gaskets & seals, thermostats and alternator belts. Fire Pump #1 heat exchanger has a water leak. Heat exchanger is meant to keep diesel engine at an allowable temperature while running.	\$ 30,761	\$ 20,342	66.13
55	FM-0056695	Solano	Hall of Justice	48-A1	2	Elevators -Remove protruding wires from concrete wall inside hoist way based on DIR notice.	\$ 3,432	\$2,499	72.82
56	FM-0056696	Los Angeles	Downey Courthouse	19-AM1	1	HVAC - AHU-3 is not operating properly - AHU-3 solenoid valve must be replaced and strainer must be unclogged. The failed system is affecting the cooling of the elevator - mechanical room. Excessive heat in the elevator room can affect the performance of the elevator equipment.	\$ 6,145	\$5,143	83.7
57	FM-0056697	Los Angeles	Bellflower Courthouse	19-AL1	1	HVAC - Replace failed VFD & Motor. AHU #3 Return fan 5HP VFD is not operating and 5 HP Motor has shorted out. Currently the third floor has inadequate cooling due to the air handler not functioning properly.	\$ 9,435	\$7,354	77.94
58	FM-0056698	Riverside	Larson Justice Center	33-C1	1	Fire Protection- Remove and replace failed 10" fire service DCDS backflow assembly device (N. side of building) with new 10" backflow and relocate above ground per CA plumbing code. Current backflow is located in below ground vault and is leaking. Vault will be back-filled and compacted prior to new installation.	\$ 35,236	\$28,474	80.81
59	FM-0056699	Los Angeles	Glendale Courthouse	19-H1	2	Fire Protection - Remediate non-code compliant conduit penetrations - Install fire stopping at several areas in the basement ceiling/floor concrete at conduit penetrations. The concrete spawled when drilled exposing rebar in areas and fire stopping was never installed. Spawled areas to be patched with a cementitious material. Work was identified by the State Fire Marshal.	\$ 4,298	\$3,891	90.54
60	FM-0056700	San Bernardino	Needles Courthouse- Dept. N-1	36-K2	2	COUNTY MANAGED- Roof- Replace / reseal roof as needed in an approx. 7,200SF area, replace and counter flash ducting and mechanical roof penetrations as needed to make 100% weather tight. Work is necessary to prevent water intrusion in the rainy season.	\$ 10,249	\$10,249	100
61	FM-0056701	Los Angeles	Bellflower Courthouse	19-AL1	1	Elevators, Escalators, & Hoists - Remove damaged and broken Elevator car doors; install new 42"x93" Stainless steel elevator doors. Elevator #2 has cracked welds and damaged doors that are beyond repair and non-operational. This leaves the Court public elevators down to 50% operable and elevator lobbies overcrowded.	\$ 8,344	\$6,503	77.94
62	FM-0056702	Contra Costa	Arnason Justice Center	07-E3	2	Exterior Shell - Vandalism - Replace damaged ADA powered door opener/closer. An angry member of the public slammed the door open, damaging the exit door.	\$ 9,006	\$9,006	100
63	FM-0056703	San Mateo	Municipal Court Building - Northern Branch	41-C1	2	HVAC - Expansion Tank - Replace failed existing expansion tank w/new bladder tank - Existing expansion tank has failed forcing blow off valve to vent hot water.	\$ 6,191	\$5,152	83.21
64	FM-0056704	Los Angeles	Alhambra Courthouse	19-I1	2	Vandalism - Prime and paint (16) 10' tall aluminum columns - (8) on the 2nd floor, (8) on the 3rd floor. The aluminum columns have been vandalized with offensive & obscene words & pictures.	\$ 3,756	\$3,230	86
65	FM-0056706	Los Angeles	Pomona Courthouse South	19-W1	2	Elevators, Escalators, & Hoists - Elevator will not power up. Swing panel boards and power supply for elevator #3 have failed. Replace faulty swing panel boards and power supply for elevator #3 and return elevator to service.	\$ 10,495	\$9,565	91.14



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66	FM-0056708	Los Angeles	Downey Courthouse	19-AM1	2	Elevators, Escalators, & Hoist - Elevator Failure - Remove and replace 1 emergency light and 1 alarm board in the elevator, validate proper operation of seismic derailment wire in the elevator hoist way.	\$ 3,331	\$2,788	83.7
67	FM-0056709	Los Angeles	Pasadena Courthouse	19-J1	1	Holding Cell - The inner door inside Lock Up holding cell B in the basement is not closing properly due to a very old & defective automatic door closer that has worn out internal gears; this affects the Sheriff's safety. Fabricate failed hardware and rebuild the automatic door closer. Original unit is no longer manufactured.	\$ 10,453	\$7,249	69.35
68	FM-0056710	San Diego	North County Regional Center - Department 34 Trailer	37-F4	2	HVAC - Compressor has failed- Install compressor heat pump, reversing valve, compressor contactor, and replacement filter drier. Area becomes warm due to lack of air conditioning.	\$ 2,865	\$2,865	100
69	FM-0056712	Tulare	South County Justice Center	54-I1	1	HVAC - Glycol Leak - Isolate leak and replace failed parts. Thermal Energy Storage Tank #2 is leaking 30% glycol mixture into the tank. Tank #2 is not operational due to the leak and the ice system is not providing necessary cooling to the building.	\$ 30,000	\$30,000	100
70	FM-0056713	Santa Clara	Old Courthouse	43-B2	2	HVAC- Boiler has failed- Replace (2) pressure gauges, (1) liquid fill gauges, (1) PRV, Re-wire 1 controller and Re-program for proper operation - - Required to maintain the required heating capability	\$ 5,103	\$5,103	100
71	FM-0056714	Santa Clara	Downtown Superior Court	43-B1	2	HVAC - Replace (4) failed& leaking heating hot water isolation valves and (1) Bearing assembly -Insufficient heating capacity	\$ 4,889	\$4,889	100
72	FM-0056715	Los Angeles	Van Nuys Courthouse East	19-AX1	2	Exterior Shell - Broken glass in the secured clerk's area. Removed broken glass and temporarily boarded up affected area with (2) sheets of 3/4 inch plywood. Install (1) 1/4" grey safety laminated glass in customers gasket storefront system approx. 48" x 30".	\$ 5,000	\$4,487	89.74
73	FM-0056716	Los Angeles	Clara Shortridge Foltz Criminal Justice Center	19-L1	1	Plumbing - Replace cracked water pipes inside of the wall in the Law Library Conference Room #602-8. Remove and renovate 4ft x 3ft damaged area and a new cut-off valve to minimize future damage. ACM work required. Leak was caused by water the pipes "hammering" inside the wall. Approximately 80 gallons of water leaked into affected areas. Water leaked down to the 5th floor Clerks area.	\$ 65,665	\$45,171	68.79
74	FM-0056717	Los Angeles	Airport Courthouse	19-AU1	2	Plumbing - Failing Backflow Preventer – Remove and replace one failing backflow preventer in the 10th floor chiller room. Code required.	\$ 2,488	\$1,920	77.17
75	FM-0056718	Los Angeles	Metropolitan Courthouse	19-T1	2	HVAC - Replace failed motor to Cooling tower #2. Motor has grounded out and non-operational. Currently cooling tower #1 is in operation but to maintain the comfort cooling in the building, the Cooling Tower #2 motor must be replaced.	\$ 9,972	\$9,428	94.54
76	FM-0056720	Los Angeles	Chatsworth Courthouse	19-AY1	2	Electrical - The inverter board & power supply for the Uninterruptible Power System (UPS) are not working and need to be replaced; the UPS backs up power to multiple areas of the courthouse including the emergency lights which are critical. Replace (1) inverter board & power supply for 7KW DSPM Inc. power panel for the UPS.	\$ 10,806	\$9,055	83.8
77	FM-0056721	Los Angeles	Bellflower Courthouse	19-AL1	2	Elevators, Escalators, & Hoists: Renovate Generator Motors- The Generator and Motors on Elevators 1, 2, 3, & 4 have accumulated a large amount of carbon dust build up over time which can cause the generators / motors to fail to ground. The failure of these elevators may result in passenger entrapments.	\$ 20,954	\$ 16,332	77.94



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78	FM-0056722	Los Angeles	Parking Structure Lot 94 Airport Courthouse	19-AU2	2	Electrical - Remove and replace 40- UPS batteries to the emergency circuit backup inverter system for the parking structure. They no longer accept a charge.	\$ 26,779	\$20,665	77.17
79	FM-0056723	Los Angeles	Compton Courthouse	19-AG1	2	Plumbing - Rebuild deteriorated/failing Hot water pumps 1 & 2. Hot water pump isolation valves have failed necessitating draining the buildings hot water loops to replace the pumps. Demo insulation and (4) 4in gate valves, replace with new 4in lug type butterfly isolation valves. Remove and rebuild (2) existing hot water pumps and re-install pumps.	\$ 40,224	\$26,600	66.13
80	FM-0056725	San Diego	East County Regional Center	37-I1	2	Plumbing - Boiler #3 has failed due to flue gas condensing in system as a result of boiler not reaching 110 degree inlet temperature within 2-4 minutes of start-up. Demo existing failed boiler and install (1) new Raypak MVB 2003 1,999,000 BTU boiler. Install (1) Raypak Z12 Condensate Neutralizer Kit, (1) Raypak Cold Water Starter Kit (to eliminate flue gas condensing), 10LF of 2-1/2" copper pipe, 10LF of 1-5/8" x 1-5/8" channel framing and (6) copper elbows.	\$ 77,329	\$52,359	67.71
81	FM-0056726	Los Angeles	Pasadena Courthouse	19-J1	1	Plumbing - Replace leaking sink and drain pipe. 6th Floor Janitor's Closet sink drain pipe leaked and water has leaked down into the 5th Floor Judges Lounge.	\$ 5,000	\$3,468	69.35
82	FM-0056727	Los Angeles	Edmund D. Edelman Children's Court	19-Q1	2	HVAC - Chiller #2 will not operate properly due to high motor bearing temperature due to a blockage in the motor cooling line. Remove and replace failed economizer.	\$ 5,540	\$3,877	69.99
83	FM-0056728	Los Angeles	Edmund D. Edelman Children's Court	19-Q1	1	HVAC - Restore chiller#1 with a Rydlyme treatment and tube brushing on Chiller #1. Scale and calcium buildup inside of the condenser tubes which is causing poor heat transfer at condenser barrel. Building system not cooling the facility. Court is impacted.	\$ 15,254	\$10,676	69.99
84	FM-0056729	Kern	Arvin/ Lamont Branch	15-H1	2	Plumbing - Replace failed 3" 90 degree pipe in the main domestic water. Line is located in the lawn area on the north side. Install new 90, pipe and fittings.	\$ 3,783	\$2,304	60.91
85	FM-0056730	Napa	Criminal Court Building	28-A1	2	HVAC - Failed Condenser Fan on Condenser 2 of Mammoth AC1; replace bearings, shaft, blade, pulley, belts and motor sheave. Bearing and sheaves failed, damaging condenser fan.	\$ 8,494	\$8,494	100
86	FM-0056731	Los Angeles	El Monte Courthouse	19-O1	2	Electrical - The diesel transfer pump is currently leaking during operation and has a bad motor. Replace existing pump and motor with skid mounted 4GPM diesel pump and 1/3HP 120V AC motor; includes new filter & assembly.	\$ 5,714	\$3,321	58.12
87	FM-0056732	Contra Costa	Arnason Justice Center	07-E3	2	Elevator - Install three (3) Expanding doorway flood barriers and cove base for wall barrier - Remove the sound proofing approximately 12" off the floor; Seal electrical penetrations in the three (3) elevator mechanical rooms; Label the annular sensor in the generator belly tank's secondary containment - Work is required by code.	\$ 14,410	\$14,410	100
88	FM-0056733	Kern	Bakersfield Superior Court	15-A1	2	HVAC - Restore AHU 21 to full functionality, bearings and shaft were damaged/worn on AHU 21 rendering Public Defender's offices and Jury Services lobby with minimal cooling. Installed a new shaft, (2) new bearings and removed existing long shaft from blower wheel.	\$ 11,030	\$6,909	62.64
89	FM-0056736	Alameda	Fremont Hall of Justice	01-H1	2	Plumbing - HVAC - Replace two (2) each failed and leaking isolation valves and one (1) each failed pneumatic control valve for hot water heating coil in ceiling.	\$ 4,992	\$3,964	79.4
90	FM-0056737	Mendocino	County Courthouse	23-A1	2	Interior Finishes - Sound deadening material - install sound deadening material in vestibule between courtrooms A & B on 1st floor, and landing, approx 480 Sq ft. currently this vestibule is producing noise that is disrupting court proceedings.	\$ 2,354	\$1,592	67.62



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91	FM-0056738	San Diego	North County Regional Center - Department 34 Trailer	37-F4	2	HVAC - Package Units #1 & #2 supply HVAC to interior spaces and were non-operational causing uncomfortable conditions and potential health issues. Removed and replaced compressors and fan motors in Package Units #1 and #2.	\$ 5,612	\$4,345	77.42
92	FM-0056739	Del Norte	Del Norte County Superior Court	08-A1	2	HVAC - Replace damaged Vent/Louver - Remove the existing rusted and failing outside air intake vent/Louver and replace with a new stainless steel version to match the existing unit. Stainless steel required due to the location of the building next to the ocean.	\$ 2,800	\$1,716	61.27
93	FM-0056740	Los Angeles	Airport Courthouse	19-AU1	2	Elevators, Escalators, & Hoists - Power supply to Elevator #4 is not working and needs to be replaced. Replace non-working Power Supply on Elevator #4.	\$ 4,121	\$3,180	77.17
94	FM-0056741	San Diego	County Courthouse	37-A1	1	Plumbing - A sewer line above the ceiling failed - Remove and replace 10 ft. section of 4 inch cast iron sewer line. Extract black water resulting from the failed sewer line, disinfect all horizontal and vertical surfaces, office equipment and carpet in Room 3005. Remove and replace all ceiling tiles in room 3005. Work is per ACM protocols.	\$ 11,658	\$11,658	100
95	FM-0056743	San Diego	North County Regional Center - Traffic Annex	37-F3	2	Plumbing - Septic sump pumps have failed, this will cause backup in the supported trailers plumbing system. Replace (2) existing 100V, 1/2HP sump pumps including new check valves, and 4ft of 2 inch ABS piping.	\$ 4,994	\$4,994	100
96	FM-0056745	Los Angeles	Inglewood Courthouse	19-F1	1	Plumbing - Domestic water line was leaking on the 6th floor. Replace 6 feet of defective 1/2" copper water supply line above the ceiling inside Room 603. Enclosed barrier 6' x 6' x 10' for AVCM. Replaced 4 - damaged ceiling tiles.	\$ 30,055	\$22,409	74.56
97	FM-0056746	Los Angeles	Stanley Mosk Courthouse	19-K1	1	Plumbing - Replace failed domestic water handle and remediate water damage in Room 105E break room. Water saturated 300 sq feet.	\$ 12,102	\$11,770	97.26
98	FM-0056747	Alameda	Hayward Hall of Justice	01-D1	2	HVAC - Replace failed HV cable splices on chiller line power in control panel, includes (3) 760 amp terminal blocks in starter cabinet, and (6) copper feeders.	\$ 5,433	\$5,433	100
99	FM-0056748	Los Angeles	Metropolitan Courthouse	19-T1	1	Plumbing - Failing Sewage Ejector Pumps #1 & #2 - Restore Ejector Pump #1 and replace cracked leaking piping for Ejector Pump #2. Sewage Ejector Pump #1 motor is not working and Sewage Ejector Pump #2 has a cracked discharge line.	\$ 20,067	\$18,971	94.54
100	FM-0056749	San Diego	North County Regional Center - South	37-F1	2	Grounds and Parking Lot - Judges' secure exit gate will not open. The overhead wheels that support the door are seized. The main control circuit board and control relay have failed. In the event of an emergency situation, egress could be inhibited. Damage to vehicles could occur using the entry gate as an exit. Replace (1) main circuit board, (1) control relay and (4) truck rollers.	\$ 6,088	\$4,094	67.24
101	FM-0056751	San Bernardino	San Bernardino Courthouse	36-A1	2	Plumbing - Abandoned 8" cast iron drain line is leaking into court space. Cleanly cut 8" break and concrete filled waste line. Install permanent cap.	\$ 10,471	\$10,014	95.64
102	FM-0056753	Yolo	Traffic Court	57-A3	1	Utilities - Replace failed hardware on exterior sprinkler system. Remediate water damage in courtroom office area within ACM protocols.	\$ 6,287	\$6,287	100
103	FM-0056755	San Bernardino	Victorville Courthouse-Dept. N-1	36-L1	2	COUNTY MANAGED- Parking Lot- Demo approx. 205,938SF 3 inch depth of asphalt and resurface with approx. 205,938SF 3 inch thick asphalt & re-stripe. Demo concrete sidewalks and pour new ADA sidewalks and parking approx. 1,750SF, install truncated domes, and signage to bring up to code. Slurry seal new asphalt. Currently parking is not up to ADA code in some areas and the asphalt in the parking lot has numerous cracks, pot holes, and uneven areas that pose a tripping hazard.	\$ 342,744	\$342,744	100



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104	FM-0056756	Los Angeles	Edmund D. Edelman Children's Court	19-Q1	2	Fire Protection - State Fire Marshal inspection deficiencies - Throughout courthouse, Seal (120) 6" penetrations with intumescent fire caulking, install 120 glow-in-the-dark one sided exit signs; replace 25 damaged labels on fire doors. Kitchen area replace damaged fire door with 90 minute fire rated door and a 6' door coordinator. Loading dock replace (1) pair of double doors with mortis locks, 2 closers and door vision glass.	\$ 49,959	\$34,966	69.99
105	FM-0056757	Los Angeles	Edmund D. Edelman Children's Court	19-Q1	2	Interior Finishes - Stairwell #3 stair risers/nosing have deteriorate over time with many breaking off. Broken risers/nosing present a tripping/safety hazard in stairwell and need to be replaced with ADA/OSHA compliant tread. Demo existing tread/riser covers and addition 6" of tile/linoleum per step. Drill 1/4" holes in concrete for countersunk masonry screws, 4 screws per stair (628 fasteners). Install (157) 4.5' W Flexmaster black/yellow safety renovation treads.	\$ 71,602	\$50,114	69.99
106	FM-0056758	Los Angeles	Santa Clarita Courthouse	19-AD1	2	County Managed - HVAC - Remove and Replace failing boiler #2 at the Santa Clarita Civic Center Power Plant. Remove and replace expansion tank. Install new burners and controls.	\$ 40,720	\$ 40,720	100
107	FM-0056762	Orange	Central Justice Center	30-A1	2	HVAC - Remove and replace failed ABB-VFD for HVAC unit #13 (OM00015825) with a new Nema 1 ABB-VFD (with bypass), current damaged VFD is in by-pass mode and is requiring immediate replacement to avoid system failure.	\$ 5,109	\$4,658	91.17
108	FM-0056763	Los Angeles	Airport Courthouse	19-AU1	1	Grounds and Parking Lot -Sally Port Roll up motor failed. Installed (1) new SGH motor operator, a new loop detector, photo eye, and coil cord.	\$ 4,858	\$3,749	77.17
109	FM-0056764	San Diego	South County Regional Center	37-H1	2	Elevators, Escalators, & Hoists - Elevator #9 car equipment replacement. Elevator floor level buttons are malfunctioning and need to be replaced. Install 3 failing handrails using a bolt-through fastening system. Install 2 car Level Indicator Buttons. Work is code required.	\$ 9,087	\$9,087	100
110	FM-0056766	San Diego	Juvenile Court	37-E1	2	Grounds and Parking Lot -Damaged underground conduit causing light out above parking space #6 at Secured Judges parking. Underground conduit has been crushed/broken at several spots and the wiring is damaged. Install 45' new underground conduit and wiring to restore power to the affected parking lot pole. Hand dig required to protect irrigationand control wiring.	\$ 7,951	\$7,951	100
111	FM-0056768	Los Angeles	Torrance Courthouse	19-C1	1	Exterior Shell - Sheriff's custody bus hit the sallyport gate and damaged the guiderails making the gate nonfunctional causing a safety/security situation for the court. Replaced 2- damaged guiderails.	\$ 12,677	\$10,793	85.14
112	FM-0056773	Los Angeles	Stanley Mosk Courthouse	19-K1	1	Plumbing - Water leak in Room 323 Judge's Lounge; Approx. 2 sq ft of carpet affected and 4 ceiling tiles. 4th floor Mechanical Room had water leak due to backed up floor drain. Replace 4 damaged ceiling tiles, remove and replace 60 ft. of insulation under ACM conditions.	\$ 15,195	\$14,779	97.26
113	FM-0056774	Los Angeles	Santa Monica Courthouse	19-AP1	1	HVAC - Chilled water pump #3 motor is burned out and the impeller is locked causing the pump to not operate, affecting the HVAC system to the building. Replace chill water pump and motor for proper operation.	\$ 17,565	\$13,787	78.49
114	FM-0056775	Los Angeles	Compton Courthouse	19-AG1	2	HVAC - AHU #6 is very loud and disrupting court proceedings due to bad motor bearings. Replace 40 hp supply fan motor, pulley and belts before the motor fails and causes further damage to the air handler.	\$ 9,384	\$6,206	66.13
115	FM-0056776	Los Angeles	Stanley Mosk Courthouse	19-K1	2	Interior Finishes - Remove and replace third floor corridorfire doors. Units are cracked, missing proper hardware, and is non-repairable. Replacement is code required.	\$ 6,640	\$6,458	97.26
116	FM-0056777	Los Angeles	Torrance Courthouse	19-C1	2	HVAC - Return fan #3 has bad bearings and a worn out shaft, replacement will prevent down time and costly damage to additional components in the future. Replace (2) bad bearings & (1) custom built shaft, re-assemble pulleys & belts, and return to proper operation.	\$ 9,029	\$7,687	85.14



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117	FM-0056779	Los Angeles	Pasadena Courthouse	19-J1	2	Elevators, Escalators, & Hoists - Replace (3) hoistway limit switches on passenger elevators #1, #2, & #3. Current limit switches are not functioning properly and need to be replaced.	\$ 8,362	\$5,799	69.35
118	FM-0056782	Los Angeles	Compton Courthouse	19-AG1	2	Grounds and Parking Lot - Vandals/homeless continually break into the irrigation and gas meter cage leaving waste, creating health hazards and unplugging Irrigation timers. Need to demo existing fence and install heavy duty fence with security screen. Demo 57 LF existing chain link fence and posts. Install 57 LF of 14'H wrought iron fence with 1"x 1" pickets and (1) 14'H x 4'L matching gate. After installation of wrought iron fence weld on 7'H x 57'L 1/2" expanded steel security mesh.	\$ 52,772	\$34,898	66.13
119	FM-0056783	Los Angeles	Compton Courthouse	19-AG1	2	Fire Protection - Sprinkler and Pipe Deficiencies - . Replace 10 LF of corroded 6" standpipe in 14th floor mechanical room. Replace PRVs on flrs 1 - 7. Install 100 Marc Star Model E sprinkler heads throughout building. Replace water flow switches on flrs 2, 6, and 7 and water flow detectors on flrs 4, 6, 11, and 12. Work found during Level IV PM.	\$ 56,884	\$37,617	66.13
120	FM-0056784	Yuba	Yuba County Courthouse	58-A1	2	COUNTY MANAGED - ADA Compliance: Replace 5 sets of double outer doors, remove 5 pairs of inner Courtroom doors, install automatic openers/closers on new doors. Door frame modifications will require working within an ACM environment. An ADA accessibility complaint was received which has initiated this project.	\$ 100,000	\$100,000	100
121	FM-0056785	Los Angeles	Pomona Courthouse South	19-W1	2	Interior Finishes - ACM Abatement - Abatement on fireproofing material on ceiling, 1-beam, and work down walls toward floor. Re-spray fireproofing. Debris to be disposed of in accordance with regulations. Abatement to address Fire Safety Correction notice from State Fire Marshal.	\$ 239,919	\$218,662	91.14
122	FM-0056786	San Diego	East County Regional Center	37-I1	2	Interior Finishes - Replace deteriorated spline ceiling tile with 760-sq. feet of 2 x 4 fire rated ceiling tiles and aluminum concealed spine T-bar grid system, replace current recess mercury vapor bulbs with eighteen (18) 36-Watt LED bulbs and 8-Inch recess light fixtures. Scope of work includes scaffolding set up and removal to access 40-foot ceilings, relocating fire sprinklers & smoke detectors below grid to remain compliance, and dispose of hazardous waste. Currently, 66% of antiquated mercury vapor bulbs are burned out, product is no longer available, and debris from deteriorated spline ceiling is falling and posing as a safety hazard.	\$ 56,874	\$ 56,874	100.00
123	FM-0056787	Los Angeles	Glendale Courthouse	19-H1	1	HVAC - Replace 2 defective compressors, replace defective TXV unit and install Electronic Expansion Valve. Set-up temporary cooling(1-120 ton Chiller Unit, 2-Air Handlers, 1-222kva generator, 1-300kva generator). In addition, create a design for a new HVAC system. The following HVAC units failed and not able to provide cooling to the building.	\$ 333,347	\$301,812	90.54
124	FM-0056787	Los Angeles	Glendale Courthouse	19-H1	2	HVAC- Replace two (2) defective coils in AHU#2 and two (2) expansion valves. Provide and install new sheaves for AHU #1 & #3. County installed coil units are incorrectly sized and have caused chiller pump failures.	\$ 65,000	\$ 58,851	90.54
125	FM-0056788	Los Angeles	Van Nuys Courthouse East	19-AX1	1	HVAC - 2nd floor DA (East) Wing, the entire wing has no HVAC circulation, office temperatures are too warm. Replace faulty damper, faulty damper actuator, blown damper access door and trunk line. Environmental testing, set up containment at HVAC access point and restore cooling to entire East Wing.	\$ 20,110	\$18,047	89.74
126	FM-0056789	Los Angeles	Whittier Courthouse	19-AO1	1	Elevator, Escalators, & Hoists - Remove and replace door hoist way gibs and door edge. Public Elevators 1 & 2 are not operating and are stuck on the first floor.	\$ 15,691	\$13,562	86.43
127	FM-0056791	Kern	Bakersfield Superior Court	15-A1	2	HVAC - Restore FAN Unit 6 to full functionality for Chilled Water Cooler, failed heat strip rendered FAN Unit 6 offline and prevented cooling to IT Server Room. Replace defective heater and faulty PSI switch.	\$ 2,383	\$1,493	62.64



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128	FM-0056792	San Francisco	Civic Center Courthouse	38-A1	2	Security - Replace failed one (1) operator, one (1) Motor gear box, one (1) controller, one (1) 80' bronze header and multiple relays on ADA door located in courtroom 613 on 6th floor.	\$ 6,775	\$6,775	100
129	FM-0056793	San Diego	East County Regional Center	37-I1	2	Plumbing - Replace 30' of 2" Cast Iron pipe and 20' of 3" Cast Iron roof drain pipe and install (3) 2" Cast Iron fittings and bands and replace damaged ceiling tiles above meeting room. Second floor Family Law Office meeting room has cracked piping and fittings above the T-bar ceiling that leak and need to be replaced.	\$ 5,766	\$3,904	67.71
130	FM-0056794	Los Angeles	Stanley Mosk Courthouse	19-K1	2	Electrical - Install (3) new 20AMP electrical outlets in room 258, Administrator's office on the 2nd floor; remove (1) existing outlet currently mounted on the floor. Currently there is one electrical outlet mounted to the floor which is a tripping hazard as well as a potential fire hazard due to multiple extension cords & power bars all running through a single outlet.	\$ 7,617	\$7,408	97.26
131	FM-0056795	San Diego	North County Regional Center - Vista Center	37-F2	2	Holding Cell - Remove existing non-working lock and install a new #12 deadlock with two new keys for access panel. Plumbing chase access panel is locked and there is no key to open it. Access is required in an emergency.	\$ 5,749	\$5,749	100
132	FM-0056796	Los Angeles	Stanley Mosk Courthouse	19-K1	1	Elevators, Escalators, & Hoists - Escalator 5 to 4 Hill Street side - Replace burnt coil and brake pads and returned escalator to service. Escalator 5 to 4 Hill Street side had a burnt coil causing the brake to pick and burn the pads.	\$ 5,737	\$5,580	97.26
133	FM-0056797	Los Angeles	Hall of Records	19-AV1	2	COUNTY MANAGED - Roof - Install new roof base over the elevator shaft.	\$ 17,200	\$ 17,200	100
134	FM-0056798	Monterey	Monterey Courthouse	27-C1	2	COUNTY MANAGED - Energy Management System (EMS) - Replace building EMS (server and operating system) to include: demo replace 2 plant controllers, 8 space temp sensors, 4 duct temp sensors, 4 strap on temp sensors, a current sensor relay, a mixed IO modular, 1 analog input module and relay, installation of set points, graphics, and training. - EMS currently inoperable.	\$ 27,200	\$ 27,200	100
135	FM-0056799	Santa Cruz	Main Courthouse	44-A1	2	Plumbing - Holding Cells 1-5 - Replace leaking (5) Prison Toilet/Sink combination units to include; (4) new units, (1) new ADA unit, install pneumatic flushing mechanism (all units), new waste line for 3 units, core drilling, rebar installation where needed, remove current remote flush option, install master water shutoff at control board - Units are aged and failing regularly, parts are obsolete, ACM testing required, impact to court operations due to volume of in custodies is a constant threat, due to part availability units can be down weeks at a time even during P1 events.	\$ 172,897	\$172,897	100
136	FM-0056800	Los Angeles	Pasadena Courthouse	19-J1	2	HVAC - Failing AHU 10 and AHU 11 - Remove and replace 1 cold water coil, 1 hot water coil, 4'x12 stainless steel drain pan, 4 gate valves, 2 balancing valves, 2 pressure gauges and 2 thermometers on each AHU #10 & #11. Air handler coils are leaking and the drain pans have deteriorated. ACM testing and containment required prior to work.	\$ 169,122	\$117,286	69.35
137	FM-0056802	San Bernardino	Barstow Courthouse	36-J1	2	Interior Finishes - Room 110 Self-help office expansion- Remove (96SF) wall between Rm 109 and 110. Manage with ACM contaminant requirements (10SF.patch carpet, touch up paint, and rewire light switch). Expansion needed since there will soon be significant additional traffic due to upcoming re-opening of the branch and reallocation of Court resources.	\$ 18,532	\$18,532	100
138	FM-0056803	Los Angeles	San Fernando Courthouse	19-AC1	2	Interior Finishes - Remove and replace audience, jury, and witness seating in Dept. H, J, and N. Dept H, N, and J (63) audience seating, (14) jury box seating, and (1) witness chair. Totaling (189) Audience seating, (42) jury box seating, and (3) witness chairs. Existing seating is old and constantly breaking, parts are not available for repairs. Safety hazard with seating failing with public use.	\$ 114,000	\$114,000	100



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139	FM-0056806	Los Angeles	Burbank Courthouse	19-G1	2	HVAC - Install (1) 2-ton 24,000 BTU Mitsubishi ductless split system with remote, condensate pump and drain line. Install 150' of power wiring, 300' of 3/4" conduit, 30 AMP breaker, 30 AMP disconnect and (2) 30 AMP fuses. Observation/control booth for Lockup was not in original HVAC design. Current use with full time staff and increased electrical load than the original design makes area excessively hot.	\$ 23,895	\$ 21,687	90.76
140	FM-0056807	Los Angeles	Clara Shortridge Foltz Criminal Justice Center	19-L1	2	Exterior Shell - Windows were vandalized by graffiti/etching. A safety concern, the windows need to be replaced and install anti-graffiti film to prevent future graffiti. East 1st Flr: Replace 3 windows, Install film on 20 windows (734SF). North 1st Flr: Replace 4 windows, Install film on 49 windows (1550SF). West 1st Flr: Install film on 8 windows (284SF). South 1st Flr: Replace 12 windows, Install film on 31 windows (971SF). South 2nd Flr: Replace 6 windows, Install film on 20 windows (640SF).	\$ 162,815	\$112,000	68.79
141	FM-0056809	San Bernardino	Victorville Courthouse-Dept. N-1	36-L1	2	COUNTY MANAGED - HVAC- Install a new 1.5 ton mini-split system unit to provide appropriate levels of cooling and air flow to the Judge's Chambers. Relocate existing T-Stat & ducting in the chambers to supply 3 offices alone. Courthouse is in a desert area, reaching extreme hot temperatures in the summer months, making it uncomfortable for staff. County has made several attempts to have the existing unit adequately supply all 4 rooms all to which has not had success.	\$ 4,500	\$4,500	100
142	FM-0056811	Los Angeles	Sylmar Juvenile Court	19-AF1	2	Interior Finishes - Floor tiles 108 sq.ft. of tile are coming unglued from the floor, the adhesive used to secure the tiles to the floor contain ACM. Remove and replace along with 42 ft of cove base. Continuing degrading condition is becoming hazardous.	\$ 8,992	\$8,992	100
143	FM-0056813	San Joaquin	Manteca Branch Court	39-C1	2	Vandalism - Safety - Replace broken skylight window above public space. Lift required to replace glass	\$ 3,508	\$3,508	100
144	FM-0056814	Los Angeles	Airport Courthouse	19-AU1	2	Exterior Shell - The In-Floor door closers for the cafeteria (leading to the parking meters) are worn out and do not function properly. The doors do not close automatically and need new door closers/closing arms to be installed. Replace In-Floor door closers with (4) Rixson free swing arms and (4) surface mount closers.	\$ 4,385	\$3,384	77.17
145	FM-0056815	Los Angeles	Parking Structure Lot 94 Airport Courthouse	19-AU2	2	Plumbing - 10" Backflow failed and it is unrepairable. Remove existing backflow device and install a new backflow unit.	\$ 10,333	\$7,974	77.17
146	FM-0056816	Los Angeles	Torrance Courthouse	19-C1	2	HVAC - Cooling tower is running at very high temperatures due to a bad breaker that is tripping & pitted contactors that need to be replaced. Remove and Replace (3) bad contactors & (1) bad breaker.	\$ 4,707	\$4,008	85.14
147	FM-0056818	Stanislaus	Turlock Superior Court	50-D1	2	Interior Finishes - Stretch failing carpet. Anchor audience seating to concrete in the courtroom.	\$ 6,345	\$6,345	100
148	FM-0056819	Los Angeles	Airport Courthouse	19-AU1	2	Fire Protection - Replace Speaker near room 697 that does not sound upon activation of alarm. Adjust Tamper switch on Bypass Upstream Valve and Tamper switch on Main Pump Discharge Valve in the Fire Pump Room. Restore stairwell doors that do not unlatch upon activation of alarm in Stairwell #5 - Floors 9, 7, 3; Stairwell #4 - Floors 9, 4, 2; Stairwell #3 - Floors 3 & 10; Stairwell #2 - 10th Floor; Stairwell #1 - 9. Work is code required.	\$ 3,364	\$2,596	77.17



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#	FM NUMBER	LOCATION	FACILITY NAME	BUILDING ID	PRIORITY	SHORT TITLE	PRELIMINARY ESTIMATE	FACILITY MODIFICATION PROGRAM SHARE OF PRELIMINARY ESTIMATE	FACILITY MODIFICATION PROGRAM SHARE % OF COST
149	FM-0056820	Los Angeles	Bellflower Courthouse	19-AL1	2	Fire Protection - Existing Simplex 2000 fire panel is ground faulting and reading false trouble calls that could lead to false alarms and subsequent court evacuations. Need to upgrade existing panel to a modern 4100ES with capability of supporting future upgrades. Demo existing system & install new Simplex 4100ES, (1) addressable smoke detector above fire alarm control panel (FACP), (1) horn strobe above FACP and (1) LCD enunciator.	\$ 48,064	\$ 37,461	77.94
150	FM-0056821	Humboldt	Humboldt County Courthouse (Eureka)	12-A1	2	HVAC - Replace (6) corroded and failed return air dampers, (5) corroded and failed outside air dampers and linkages on AHU-5,6,7,8 and 9. Replace (12) pneumatic damper actuators. Currently dampers are severely corroded and linkages are broken.	\$ 77,551	\$77,551	100
151	FM-0056829	Los Angeles	Pomona Courthouse South	19-W1	1	Roof - Rain water penetrated the roof. Rain water leaked into the 5th and 4th floors and the 3rd floor Dept. C, Room 302. ACM remediation & containment, dry leak affected areas and replace wet and damaged ceiling tiles.	\$ 20,150	\$18,365	91.14
152	FM-0056830	Riverside	Hall of Justice	33-A3	1	HVAC - Chiller #2 - Remove and replace failed purge pump. The failed pump has rendered the chiller inoperable and leaving the building insufficiently cooled.	\$ 7,255	\$7,255	100
153	FM-0056831	Los Angeles	Metropolitan Courthouse	19-T1	1	Roof - Rain Water penetrating the roof of the 1st Floor Sheriff Vehicle Inspection Station. Replace approximately 350 sq ft of ceiling tiles have been affected by the leak/rain water. 450sf ACM containment and remediation.	\$ 25,100	\$25,100	100
154	FM-0056832	San Diego	South County Regional Center	37-H1	2	COUNTY MANAGED - Replace exhaust pipe on emergency generator at Central Plant, this generator supports emergency power to South County Regional Center, current system has failed and is out of compliance with local authorities.	\$ 3,242	\$3,242	100
155	FM-0056833	Los Angeles	Pomona Courthouse South	19-W1	1	Roof - Rain water penetrating roof and leaking into the 6th floor Public Hallway Dept. P & Dept. R. Leak has been contained to the 6th floor. CM remediation & containment, dry leak affected areas.	\$ 15,050	\$13,717	91.14
156	FM-0056834	Los Angeles	Monrovia Training Center	19-N1	1	Roof - Rain water is penetrating and leaking into the 1st floor Large Lock-up Cell. CM remediation & containment, dry leak affected areas. Remediate damaged roofing penetrations and fan unit cowlings.	\$ 15,102	\$10,615	70.29
157	FM-0056835	Los Angeles	Mental Health Court	19-P1	1	Roof - Water is leaking into the 1st floor Lock-up Control Room. Rain water is leaking at the sergeants desk area; affecting an 8ft x 8ft area & 10x10ft ACM areas. Replaced failed drain hardware.	\$ 15,075	\$10,750	71.31
158	FM-0056836	Los Angeles	Van Nuys Courthouse East	19-AX1	1	Roofing - Renovate failed roofing seams and mitigate water damage to 7th floor Women's public restroom creating a slip hazard and safety situation. Secure and clean up under ACM requirements.	\$ 16,585	\$14,883	89.74
159	FM-0056838	Orange	Harbor Justice Center Newport Beach Facility	30-E1	2	Electrical - Replace three severely rusted light poles in the parking lot. Two poles were in immediate danger of falling and have been removed. All parking lot lighting is necessary, so the poles must be replaced.	\$ 7,730	\$6,518	84.32
160	FM-0056839	Santa Clara	Hall of Justice (East)	43-A1	2	HVAC - Replace (1) each failed blower assembly - Boiler is currently out of service - Reduced heating capacity to the court - Boiler #04 has failed.	\$ 3,615	\$3,615	100
161	FM-0056840	San Bernardino	San Bernardino Courthouse - Annex	36-A2	2	HVAC - Replace failed compressor, worn condenser motor and fan blade, filter drier, starter caps, and contactor. Split system serving the 1st floor data room is down due a failed compressor. Replacement required to ensure adequate cooling of the data room to prevent possible heat related damage to critical court network equipment.	\$ 3,755	\$3,589	95.58
162	FM-0056841	Contra Costa	George D. Carroll Courthouse	07-F1	2	Interior finishes - Vandalism Grind, sand, and buff out profanity and drawings etched into (10) steel beams. - Graffiti carved into the beams and window frames outside of the Jury Assembly Room.	\$ 2,140	\$2,140	100



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163	FM-0056842	San Bernardino	San Bernardino Courthouse	36-A1	2	Interior Finishes - Dept. S-53 Chambers the paint on plaster wall is bubbled due to condensate leak. Need to dry wall and repaint, this work is necessary in order to restore the Courtroom to its original condition. Utilize an air injection system and dehumidifier to dry approximately 50SF of plaster wall that was dampened by a condensate leak. Encapsulate lead blistered paint areas and repaint wall.	\$ 5,098	\$5,098	100
164	FM-0056844	Napa	Criminal Court Building	28-A1	2	HVAC - Remove existing EOL Drift Mist Eliminators and reinstall (7) mist eliminators on top and (14) each mist eliminators on side of the Mammoth Package Air Handler - Several (8) eliminators failed.	\$ 3,519	\$3,519	100
165	FM-0056845	Humboldt	Humboldt County Courthouse (Eureka)	12-A1	2	COUNTY MANAGED - Fire System - Expand system - Install expansion pack for fire panel (Notifier NFS2-640), to allow existing AHU duct detectors (8) to be attached to Fire system.	\$ 4,721	\$4,721	100
166	FM-0056846	San Mateo	Hall of Justice	41-A1	2	COUNTY MANAGED - Electrical - Connect court UPS equipment to the emergency power supply per estimate 150232 Rev 2. This is a County responsibility.	\$ 5,061	\$5,061	100
167	FM-0056847	Los Angeles	Downey Courthouse	19-AM1	1	Elevators, Escalators, & Hoists - Renovate Judge's Elevator #5 leaking Worm Gear and Bad Shaft. Work required to preclude system failure.	\$28,031	\$23,462	83.7
168	FM-0056848	Santa Clara	Old Courthouse	43-B2	2	HVAC - Replace leaking, rusted 40 year old 75 ton Cooling Tower and 110 ton Chiller, Piping and VFD included. Existing equipment has continual leaks and failed component replacements. Increased number of hot calls is affecting operations.	\$ 590,244	\$590,244	100
169	FM-0056849	Los Angeles	Stanley Mosk Courthouse	19-K1	2	Interior Finishes - Abate 825 SF of ACM linoleum flooring and ACM mastic between linoleum and floor. Install new linoleum tile. Remove and later replace 16 rows of 7 seats (112 seats). Dept. 11 Room 246 VCT flooring contains ACM and due to prior floods is delaminated and buckling. Flooring is a tripping hazard to public/court staff and a liability to the court.	\$ 48,739	\$48,739	100
170	FM-0056854	Los Angeles	East Los Angeles Courthouse	19-V1	1	HVAC - Cooling Tower #1 VFD and 15 HP motor are not functioning creating Cooling Tower #2 to run at 60 degree chill water temp which is not sufficient for comfort cooling to support the building. Replace VFD and motor for Cooling Tower #1.	\$ 20,758	\$16,133	77.72
171	FM-0056855	Los Angeles	Monrovia Training Center	19-N1	1	HVAC - The DX system is leaking refrigerant which is causing the compressor to shut down on high head temperature. Not able to cool the building. Replace defective King Valve and restore system to operation.	\$ 15,509	\$10,901	70.29
172	FM-0056856	Merced	New Downtown Merced Courthouse	24-A8	2	Roof - Replace failed VFD - VFD stopped working.	\$ 10,469	\$10,469	100
173	FM-0056857	Stanislaus	Turlock Superior Court	50-D1	2	HVAC: Replace Existing 5-Ton Package Unit. Unit is failed beyond repair (Compressor). Unit replacement required - Age 30+ years.	\$ 11,083	\$11,083	100
174	FM-0056859	Shasta	Main Courthouse	45-A1	2	Interior Finishes - Remove failed existing floor closers, and furnish and install (4) new Rixson 27 90 degree floor closers with new offset arms and make adjustments for proper operation and locking. The glass doors leading into the admin floor lobby slam shut, this is a safety hazard as the glass may break.	\$ 6,402	\$4,463	69.71
175	FM-0056860	Santa Cruz	Main Courthouse	44-A1	2	Plumbing - Vandalism Holding cell #5, Remove previously fabricated and installed block off plate, Install new sink components and modify to fit existing combi unit. Sink compartment of unit is currently out of service, sink in not usable due to damage from vandalism.	\$ 3,377	\$3,377	100



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176	FM-0056862	Santa Cruz	Main Courthouse	44-A1	2	HVAC - Replace existing rooftop AHU to include integral VFD, install VAV controller and sensors for VAV conversion, install VAV boxes in zones and integrate existing reheat coil, replace chilled water valve and roof piping insulation, integrate controls with new BAS, tie in new actuator and sensors into local controller - Existing unit is constant volume zone reheat chiller water AHU, it is exhausted and at end of life, inefficient, ineffective. Replacement will enhance monitoring and control.	\$ 68,425	\$67,816	99.11
177	FM-0056866	San Diego	East County Regional Center	37-I1	2	Interior Finishes - Dept. 1 Gallery seating is deteriorated posing public safety and health risk. Replace seating components and upholstery on 75 spectator seats, backs, and other miscellaneous hardware.	\$ 11,458	\$ 11,458	100
178	FM-0056867	Los Angeles	Van Nuys Courthouse East	19-AX1	1	HVAC - 5th floor Supply motor for HVAC #5 has failed causing temperatures to rise. Replace bad supply motor and restore cooling to 5th floor.	\$ 7,500	\$6,731	89.74
179	FM-0056868	Los Angeles	Stanley Mosk Courthouse	19-K1	1	Plumbing - 1st floor Room 111A, Remove and replace a 20' section of 4" inch cast iron sewage pipe and fittings. Pipe is cracked and leaking through the ceiling. Install (4) new 24"x24" ceiling tiles and restore the carpet. ACM Work required.	\$ 15,075	\$14,662	97.26
180	FM-0056869	Los Angeles	Burbank Courthouse	19-G1	1	HVAC - Chiller #1 is failing - Fabricate shaft and 3 fan wheels to match existing cooling tower model. Chiller #1 is failing and not providing cooling. Dept. 1G, Clerk's area and Civil area is too warm.	\$ 12,050	\$10,937	90.76
181	FM-0056870	Los Angeles	Glendale Courthouse	19-H1	1	Plumbing- Replaced pipes that were leaking. 3 section of ¾ inch copper pipe, (1) ¾ union, & (1) ¾ inch ball valve, 30x40 affected area (Men's public restroom, women's restroom, hallway to 272F, Dep. 5, Dep. F, traffic, jury room, and hallway to public jury room), Prep ACM work in 10x10 area of plaster ceiling and (7) 7x7 critical barriers, extract 100 gallons of contaminated water.	\$ 15,100	\$13,672	90.54
182	FM-0056871	Los Angeles	Pomona Courthouse South	19-W1	2	Plumbing - Replace failed roof drain with new No-Hub 3" roof drain, drain ring. Replace 2-3 feet of failed drain pipe under the roof deck, reseal roof deck around drain unit. Work required in ceiling area above Sheriff's office.	\$ 5,281	\$ 4,813	91.14
183	FM-0056872	Los Angeles	Chatsworth Courthouse	19-AY1	2	Plumbing - Replace failed and leaking water supply hardware and install new 2 1/2 three piece ball valve in public men's restroom and 1 1/2 ball valve in the women's restroom. Work impacts Public Men's Restroom and 2nd floor Women's Restroom inside Dept. 2700.	\$ 5,266	\$ 4,413	83.8
184	FM-0056873	Los Angeles	Clara Shortridge Foltz Criminal Justice Center	19-L1	2	Fire Protection - Fire sprinkler located in Elevator Shaft is not to code and must be removed per SFM notification. Permit will not be released until work is complete.	\$ 2,902	\$ 2,902	100
185	FM-0056874	Los Angeles	Edmund D. Edelman Children's Court	19-Q1	2	Fire Protection - Replace (52) Sprinkler Heads and Escutcheons and Replace (20) outdated pressure gauges throughout building. Also Fire Pump Room, Riser #2 replaced failed coupling.	\$ 12,416	\$ 8,690	69.99
186	FM-0056875	Los Angeles	Metropolitan Courthouse	19-T1	2	Vandalism - Vandalism in the public restrooms on floors #5-8 is creating a safety issue to staff and public. Etching on sinks, bathroom partition walls, toilet seats and mirrors. Install graffiti mirror film on 16 mirrors, remove and replace 28 toilet seats, paint and epoxy sinks, and sand/paint the restroom walls and partition doors.	\$ 10,232	\$ 9,673	94.54
187	FM-0056876	Contra Costa	Wakefield Taylor Courthouse	07-A2	2	Electrical - Replace Failed 20 Amp circuit breakers on panels #E1 and #V1; Breakers were found to be failing during IR scans.	\$ 4,344	\$ 4,344	100
188	FM-0056877	San Diego	Juvenile Court	37-E1	2	Elevators, Escalators, & Hoists - Elevator cab interior panels are badly damaged and deteriorated. Current system delaminating including failure of metal fixtures creating potential safety issues. Install 7 new laminate material on cab panels.	\$ 7,848	\$ 5,856	74.62



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189	FM-0056878	Santa Clara	Downtown Superior Court	43-B1	1	Elevators - Replace failed elevator components (2) communication boards , one (1) car operating panel interface board , seventeen (17) Floor push buttons, six (6) key switches, one (1) ADA phone, one (1) Emergency light board, two (2) PI boards, three (3) emergency light batteries, one (1) fire service cabinet fixture, and two (2) seismic/fire button jewels (seismic, fire). - Elevator #4 has failed due to water intrusion damaging controls and is non operational at this time.	\$39,371	\$39,371	100.00
190	FM-0056879	Los Angeles	Edmund D. Edelman Children's Court	19-Q1	2	Electrical - Existing 2000A Westinghouse ATS has failed. Replacement parts are no longer available. Demo existing and install 1 new 2000A ATS with microprocessor controls and NEMA 1 cabinet. Install five 50 LF (250 LF) runs of 500 MCM cable for low side and 120 LF of 500 MCM cable for high side. Install 9 500 MCM lugs. Building power will be shut off for 12 hours while ATS is replaced.	\$ 108,896	\$ 76,216	69.99
191	FM-0056882	Napa	Criminal Court Building	28-A1	2	Security - Correct failed Andover Access Control System - Current system software, operating system, input/output and control modules are not operational, causing perimeter, holding cell, in-custody transport, secure space and Courtroom security/safety issues.	\$ 133,300	\$ 133,300	100
192	FM-0056883	Los Angeles	Pomona Courthouse South	19-W1	2	HVAC - Due to age/corrosion Cold & Hot Water Coils for 3rd, 6th and 7th flr Air Handler Units are leaking and need to be replaced. Leaking coils have caused deterioration of condensation pans and floor drains; both will be replaced. Spring Isolators on AHU-5 require replacement. Perform environmental testing, set up containments. Install 10 new 680lb Fail Safe Spring isolators. Replace 2 cold water coils, 1 hot water coils with custom made coils. Replace condensate drain pans with custom units.	\$ 379,957	\$ 346,293	91.14
193	FM-0056884	San Diego	County Courthouse	37-A1	2	Interior Finishes - Ceiling tiles in the Press Room are deformed, stained and have become weak and brittle due to past leaks. The potential for ceiling tiles to fall is present with resulting ACM contamination. Remove, dispose and replace approximately 1,050 sq. ft. of ceiling tiles per ACM protocols.	\$ 17,411	\$ 17,411	100
194	FM-0056886	Mono	New Mammoth Lakes Courthouse	26-B2	1	HVAC - Redesign and install new components for the snow melt system. Modification are required in order to allow safe ingress and egress to the building during the winter months.	\$35,247	\$35,247	100.00
195	FM-0056889	Napa	Historical Courthouse	28-B1	2	HVAC - Replace failed Package AC compressor (1 of 2), replace return air fan belts, bearings, shaft and sheaves - Unit is not operationally effective causing room temps of 78-85 degrees.	\$ 30,649	\$ 30,649	100
196	FM-0056890	Los Angeles	Airport Courthouse	19-AU1	2	Plumbing - Replace 9 valves, 12 flanges. Rebuild (2) 15HP pumps and (1) 7.5 HP pump. Replace (1) 15 HP ODP motor and (1) motor mounting. Domestic water pumps are deteriorated and require replacement. 60% of system has failed. Loss of the last pump will result in the courthouse losing water supply.	\$ 41,416	\$ 31,961	77.17
197	FM-0056891	Mendocino	County Courthouse	23-A1	2	Interior Finishes - Modification - Family Law In-custody Courtroom 'F' judicial officer, clerk and parties at high security risk due to small size and configuration of old Muni courtroom also with poor acoustics. Bench and witness stand modification to reconfigure and reorient for safe proceedings and accurate court reporter operations.	\$ 19,207	\$ 19,207	100
198	FM-0056892	Los Angeles	Stanley Mosk Courthouse	19-K1	2	Electrical - Relocate existing electrical outlets from the floor to the wall. Currently there are electrical outlets located on the floor in multiple workstations in room 102; chords and plugs in the floor outlets are being kicked and damaged causing major safety hazards.	\$ 7,069	\$ 6,875	97.26
199	FM-0056893	Santa Clara	Morgan Hill Courthouse	43-N1	2	HVAC - Replace (1) thermal expansion valve, system oil charge, filter dryer and (1) new isolation valve evacuate system. dedicated cooling system for IT equipment has failed components and is not operational at this time.	\$ 6,779	\$ 6,779	100



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200	FM-0056894	Fresno	B.F. Sisk Federal Courthouse	10-O1	2	HVAC - Replace failed heat exchange on boiler #3. Materials covered under warranty. Replacement labor is not, replacement required to provide sufficient building heat.	\$ 11,117	\$ 11,117	100
201	FM-0056898	Los Angeles	Airport Courthouse	19-AU1	2	Elevator - Replace failed Amp traps and lower sheave switch on Elevator #4. Unit is inoperable at this time.	\$ 2,290	\$ 1,767	77.17
202	FM-0056899	Los Angeles	Airport Courthouse	19-AU1	2	Plumbing - Replace failed Airtrol valve on heater water expansion tank (boiler) #2. Unit has failed and not allowing water to pass through.	\$ 2,814	\$ 2,172	77.17
203	FM-0056900	Fresno	B.F. Sisk Federal Courthouse	10-O1	2	Electrical - Replace the bad underground wiring from the O Street pedestrian gate call box to inside the building with direct burial Cat 6 wire - Call box is not functioning due to damaged wiring.	\$ 2,825	\$ 2,825	100
204	FM-0056901	Los Angeles	Burbank Courthouse	19-G1	2	Electrical - Run new conduit and install new UL rated exit signs with emergency lighting combo and replace power efficient exit signs with e-lighting where needed. Currently there are no UL rated Exit signs in the 1st & 2nd secured hallways (1953 side of building). The City of Burbank Fire Marshall has requested the installation of exit signs with emergency lighting.	\$ 2,750	\$ 2,496	90.76
205	FM-0056902	El Dorado	Johnson Bldg.	09-E1	2	Exterior Shell - Install Roof Access Ladder and walk off mat, to allow access to the Penthouse mechanical room from the exterior of the building - Currently access to the Penthouse mechanical room is through the county owned Jail, this requires escorting from the County Sheriff which disrupts the operation of the Jail and delays contractor access.	\$ 11,494	\$ 11,494	100
206	FM-0056903	Alameda	Hayward Hall of Justice	01-D1	2	Plumbing - Replace sink faucet broken by unknown vandal - Replace approximately 10 square feet of water damaged wallboard & six ceiling tiles.- Water damage in the 3rd floor jury assembly men's restroom and second floor women's staff restroom.	\$ 4,397	\$ 4,397	100
207	FM-0056905	San Diego	County Courthouse	37-A1	2	Electrical - Replace 25% (approx. 50 bulbs) of the light bulbs/ballast in D-16 courtroom, and re-lamp D-33 by replacing approx. 200 bulbs. Above ceiling work to occur per ACM protocols. Dept. 16 & 33 has poor lighting conditions due to burned out bulbs, ballast and a black substance/residue on the diffuser lenses.	\$ 16,845	\$ 16,845	100
208	FM-0056907	San Diego	County Courthouse	37-A1	2	Exterior Shell - Remove and replace existing roof gutter system with new acrylic coated gal volume sheet steel rain gutter system at 5 locations. Install new downspouts and channel water away from building. Rain gutters that serve the penthouse roofs are failing, loose and are no longer diverting water away from the building creating potential water intrusion and interior flooding.	\$ 4,250	\$ 4,250	100
209	FM-0056908	Los Angeles	Pomona Courthouse South	19-W1	2	Exterior Shell - Expansion joints have deteriorated allowing water to penetrate into the interior of the building flooding hallways and damaging ceilings during rainstorms. Set up (1) swing stage, grind out, clean, and acid etch 1450 SF of and around expansion joints. Install 5800 LF of polyurethane backer rod and caulk 5800 LF of joints with single component polyurethane joint sealant.	\$ 185,188	\$ 168,780	91.14
210	FM-0056909	Contra Costa	Bray Courts	07-A3	2	Fire Protection - Replace 2 EA sets, 4 total, (12 x 30 each) of won doors at second and third floor elevator lobby. Replace existing track with new curved track system. Existing doors are literally falling apart. They do not close all the way. These are fire doors and this is a safety issue.	\$ 264,961	\$ 226,595	85.52
211	FM-0056911	Los Angeles	San Fernando Courthouse	19-AC1	2	HVAC -Corrections needed for Chiller #1 & 2 due to deficiencies found during Level VIII PM 2462651 & 2462638. Overhaul recommended to prevent downtime, damage and loss of comfort cooling to the courthouse. Purge all refrigerant and lube oil piping. Replace compressor journal bearings and high and low speed thrust bearings. Replace compressor shaft seal, PRV control shaft seals and motor bearings. Install refrigerant cleanup kit. Replace (2) condenser water rubber vibration eliminator joints.	\$ 223,294	\$ 186,250	83.41



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212	FM-0056912	El Dorado	Juvenile Hall	09-G1	2	Roof - Install a new TPO 80 MIL Single Ply overlay (Approximately 2400 sf) over the existing membrane - The existing roof is leaking and needs to be repaired before any damage occurs	\$ 49,000	\$ 49,000	100
213	FM-0056915	Los Angeles	Inglewood Courthouse	19-F1	1	HVAC - Replace 25hp supply side drive motor, front and rear bearings, sheaves, and bushings on the supply drive shaft. Replacement of 15 & 25hp VFDs, that were defective. AHU#2 was not operational and a section of the building was hot.	\$40,000	\$40,000	100.00
214	FM-0056916	Los Angeles	Van Nuys Courthouse West	19-AX2	1	Plumbing - Remediate flood water damage in 2nd floor Clerk's Area, Window #7 under ACM protocols. In-custody in the 4th floor Lock-up jammed a drinking fountain and stopped drain, causing water to run down pipe chase and leak into the 2nd floor.	\$15,080	\$12,136	80.48
215	FM-0056917	Los Angeles	San Fernando Courthouse	19-AC1	1	Plumbing - Remediate water damage from failed plumbing inside wall between the Men's and Woman's restroom in the public defender's office on the second floor under ACM protocols. Replace damaged 30' x 30' area of failed ceiling tiles.	\$67,234	\$67,234	100.00
216	FM-0056919	Los Angeles	Mental Health Court	19-P1	1	HVAC - Replace failed Y Strainer on chill water pump#2. Leak impacted the Jury Assembly room affecting a 5' x 20' area of carpet. Remediate water damage per ACM protocols.	\$30,213	\$21,545	71.31
217	FM-0056920	Los Angeles	Santa Clarita Courthouse	19-AD1	1	County Managed - HVAC - Replace cooling tower pump. Install new gasket and mounting plate. Cooling tower pump failed causing high temps in all the civic center buildings.	\$1,909	\$1,909	100.00
218	FM-0056921	Los Angeles	Santa Clarita Courthouse	19-AD1	1	County Managed - HVAC - Replace 5 leaking bundles to boiler and restore to normal operation. Boiler failed due to the leaks.	\$2,545	\$2,545	100.00
219	FM-0056922	Los Angeles	Edmund D. Edelman Children's Court	19-Q1	2	Interior Finishes -Replace failed 1 electrify panic exit device on the East Front Exit Door and 1 rim panic exit device on the West Front Exit Door. During after hours when the court personnel are leaving, the doors are not locking leaving the exit doors unlock and open.	\$ 3,715	\$ 2,600	69.99
220	FM-0056923	Santa Barbara	Santa Barbara Figueroa Division	42-B1	2	HVAC - Replace failing Cooling Tower sheaves and bushings for fan motor and blower shaft. Replacement required to prevent further damage to Cooling Tower.	\$ 2,287	\$ 2,287	100
221	FM-0056924	Los Angeles	San Fernando Courthouse	19-AC1	2	HVAC - Remove and renovate leaking Condenser water pump motor. Water pump is leaking from the shaft seal causing excessive loss of water and chemical.	\$ 7,980	\$ 6,656	83.41
222	FM-0056925	Los Angeles	Pomona Courthouse North	19-W2	2	HVAC - Replace (1) failed cut-out water probe sensor. Current status will not allow unit to pass AQMD code requirements.	\$ 2,396	\$ 2,306	96.25
223	FM-0056926	San Diego	County Courthouse	37-A1	2	Elevators, Escalators, & Hoists - Replaced failed shaft seal on elevator #9. Remove and dispose of oil within elevator pit per HAZMAT protocols.	\$ 4,147	\$ 4,147	100
224	FM-0056927	Solano	Old Solano Courthouse	48-A3	2	Electrical -Replace failed speed governing components on emergency generator. Work to include magnetic pick-up & speed switch and engine governor-actuator and main control circuit board. Generator trips out on over-speed and shuts down when needed during electrical power outages	\$ 6,889	\$ 6,889	100
225	FM-0056928	Los Angeles	San Fernando Courthouse	19-AC1	2	HVAC - Replace (1) Shaft, (2) Bearings, (1) driver in Cooling Tower #1. Bearings and shaft have excessive rust build-up and are failing due to high temperatures. Resulting failure to condenser water cooling within this chillers creates warm HVAC supply temps.	\$ 11,042	\$ 9,210	83.41
226	FM-0056929	Los Angeles	Pomona Courthouse South	19-W1	2	HVAC - Replace failed flame sensor and install new plugs on leaking water tubes. Continued delay in repair could flood mechanical room and take system off-line.	\$ 4,532	\$ 4,130	91.14
227	FM-0056932	San Diego	Kearny Mesa Traffic Court	37-C1	2	Fire Protection - Install a new KOSO automatic natural gas shut off valve and pipe back into main. Work is required by code.	\$ 3,877	\$ 3,877	100



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228	FM-0056933	Los Angeles	Alhambra Courthouse	19-I1	2	HVAC - Replace failed digital thermometers in the evaporator and condenser liquid "dry wells", Chilled water supply sensor and defective feedback potentiometer on Chiller #2. Court operation would have been impacted if Chiller #2 was not restored.	\$ 3,900	\$ 3,354	86
229	FM-0056934	San Diego	County Courthouse	37-A1	2	HVAC - Replace failed leaking pump on the DFT Boiler Feed Water Pump for Boiler #1. Replacement required to restore system back to full operation.	\$ 3,671	\$ 2,842	77.42
230	FM-0056935	Kern	Bakersfield Juvenile Center	15-C1	2	Security - Secured Sally Port West Entrance Rolling Steel Door, the motor for the 12' x 12' door is no longer functioning and is preventing access to the secured Holding Garage. Replace burnt out Chain Hoist Motor Operator and mount with heavy duty brackets.	\$ 5,052	\$ 5,052	100
231	FM-0056936	Los Angeles	Torrance Courthouse	19-C1	2	Vandalism - Remediate vandalism damage 2- restroom ceilings, entry doors (100 sqft) and (94 chairs) to remove graffiti. The etching/scribing must be removed due to the contents may be gang related which could cause a safety situation to the courthouse	\$ 4,283	\$ 3,647	85.14
232	FM-0056937	San Diego	North County Regional Center - South	37-F1	2	COUNTY MANAGED - Grounds and Parking lot - Remove and replace 6 existing trees from the slope in the Judges secure parking lot and Replace with drought resistant, low-maintenance trees. Building occupants have expressed their concern numerous times stating that sap from existing trees is causing vehicle damage.	\$ 19,422	\$ 19,422	100
233	FM-0056940	Los Angeles	El Monte Courthouse	19-O1	2	Elevators, Escalators, & Hoists - Rebuild failing electrical generators on Elevators #1, #2, #3, and #4. Unit failure could create entrapments and negative impact to court operations.	\$ 30,375	\$ 17,654	58.12
234	FM-0056942	Los Angeles	Airport Courthouse	19-AU1	2	HVAC - Courtrooms are too hot. Dampers actuators for AHU#3 & 4 found to be faulty and 30 VAV boxes were not connected. Replace (3) damper actuators and (2) valve actuators for AHU 3 & 4. Reconnect wiring for 30 VAV boxes and recommission. Upgrade obsolete BAS software from Siemens Apogee Insight software from v3.10 to v3.13, install Remote Email Notification, install BAS Uninterrupted Power Supply, back up data for (9) Siemens controllers and replace (6) batteries for Siemens FLNC controller.	\$ 58,347	\$ 45,026	77.17
235	FM-0056943	San Francisco	Hall of Justice	38-B1	2	Electrical - Remove and cover obsolete/disconnected Duress Call devices (12) at all In-Custody elevator landings - To prevent mistaking non-working devices for working devices	\$ 2,000	\$ 2,000	100
236	FM-0056945	Los Angeles	San Fernando Courthouse	19-AC1	1	Plumbing - Water is leaking from the ceiling into the 2nd Floor, Men's Public Restroom affecting a 4' x 4' area of ceiling tiles. Remediate under ACM conditions.	\$13,565	\$11,315	83.41
237	FM-0056946	Los Angeles	Michael D. Antonovich Antelope Valley Courthouse	19-AZ1	2	Interior Finishes - Install door in judge's room In Depart 22 - Cut and frame a new opening, install (1) custom aluminum frame, (1) custom laminated door, (1) mortise lock, (1) Norton closer and (3) 4.5" knuckle hinges. The Judge currently enters through the double entry courtroom doors near the public seating area. County Judicial Agency has concerns for Judge's safety and is requesting a separate door for entry/exit.	\$ 9,914	\$ 9,914	100
238	FM-0056947	Los Angeles	Edmund D. Edelman Children's Court	19-Q1	2	Interior Finishes - Replace failed door closers on three cafeteria glass doors leading to the outside dining area. Doors are slamming. Work is required by ADA code and to mitigate risk to the public.	\$ 4,216	\$ 2,951	69.99
239	FM-0056948	Los Angeles	Metropolitan Courthouse	19-T1	2	HVAC - Replace the non-functioning VFD and (1) 25HP US-Motor, pulley, bushing & belt to allow the air flow to be regulated throughout the 8th floor. The VFD is working on bypass and running full speed which could cause too much air to flow and over pressurize the ducting system causing damage.	\$ 9,942	\$ 9,399	94.54



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240	FM-0056949	Los Angeles	Metropolitan Courthouse	19-T1	1	Plumbing - Water leaked from the 4th flr deputies shower through ACM fireproofing into the 3rd flr court reporters office requiring a procedure 5. Replace 10SF of LCM ceramic tile & gypsum backing board, re-grout 50SF of tile, replace (2) shower valves & mixers, demo 6'x6' section of water damaged wall, install mold and mildew resistant drywall, install (1) 24"x24" access panel, paint and patch, replace 132 SF of ACM contaminated carpet, and replace (26) 12"x12" ceiling tiles.	\$44,650	\$42,212	94.54
241	FM-0056950	Alameda	Wiley W. Manuel Courthouse	01-B3	2	Vandalism - Replace (1) 7"X32 3/4" X 1/2 security glass view window on fifth floor cell 110-2 door. Window broken by an inmate.	\$ 1,737	\$ 1,737	100
242	FM-0056952	Stanislaus	Modesto Main Courthouse	50-A1	2	Plumbing - Redesign and modify strainer box from basement sewer discharge to lift station. Original design of strainer box is inconsistent with current jail operation and is creating obstruction to sewer discharge from building to lift station.	\$ 2,279	\$ 2,279	100
243	FM-0056953	San Diego	East County Regional Center	37-I1	2	Fire Protection - Replace a 4 - 6 ft section of 6" fire sprinkler, one 8" x 6" grooved coupling and one 6" grooved coupling and two 6" OS&Y control valves (fire pump suction & discharge). Fire Pump Room has a section of 6" Main Fire Pump Pipe rusting out and the 2 Main Shut off Valves are leaking and cannot properly secure the water.	\$ 6,060	\$ 4,103	67.71
244	FM-0056954	Los Angeles	Compton Courthouse	19-AG1	2	HVAC - Replace failed canvas flex connectors in AHU01, AHU02, AHU04, AHU17, and AHU14. Canvas flex connectors on these AHU are broken/deteriorated and need to be replaced.	\$ 9,224	\$ 6,100	66.13
245	FM-0056955	San Diego	South County Regional Center	37-H1	2	COUNTY MANAGED - Replace faulty gearboxes and fan motors for Cooling Tower at Central Plant, this corrective measure is needed restore to normal efficiency.	\$ 6,211	\$ 6,211	100
246	FM-0056956	Sacramento	Juvenile Courthouse	34-C2	2	HVAC - Upgrade existing BAS software system - Replacement of existing server requires higher level software in order to operate within new IOS.	\$ 14,893	\$ 14,893	100
247	FM-0056957	San Diego	County Courthouse	37-A1	2	Electrical - Replace failed courtroom lighting (50%) within ACM ceiling plenum in Dept. #11. Courtroom lighting has failed to the point of impacting court operations.	\$ 8,293	\$ 8,293	100
248	FM-0056958	Los Angeles	Van Nuys Courthouse East	19-AX1	2	Plumbing - Replace faulty and leaking basin faucet. During building water outage install new "in-line" ball valves for this faucet and 4 other faucets/toilets 7th Floor secure hall. Janitor's wash basin has a leaking basin faucet, there is no shut off for hot & cold supply lines, there is a risk of flooding if basin sink plugs up or if faucets fail.	\$ 2,972	\$ 2,667	89.74
249	FM-0056959	Los Angeles	Torrance Courthouse	19-C1	2	HVAC - Replace failed purge unit and inline refrigerant filters on Chiller #1. Hardware failure is causing Chiller #1 to run at a high temperature.	\$ 8,738	\$ 7,440	85.14
250	FM-0056960	Los Angeles	Inglewood Juvenile Court	19-E1	2	Interior Finishes - Replace 6 defective courtroom gallery seats in 2nd Floor Dept. 241 within ACM environment. The attachment points on the metal frame for seat #1, #2 and #3 are broken and cannot be repair. This is a safety hazard and the seats must be replaced. This row of seats is not modular and entire row of six seats must be replaced.	\$ 8,788	\$ 7,099	80.78
251	FM-0056961	Los Angeles	Airport Courthouse	19-AU1	2	HVAC - Replace failed Refrigeration Leak Detection Monitor. Replacement required by code.	\$ 9,339	\$ 7,207	77.17
252	FM-0056962	Los Angeles	Pomona Courthouse South	19-W1	2	HVAC - Remove and replace one (1) 4 bolt flanged bearing on Air Handler Unit #3. Air Handler Unit #3's supply fan bearing is very noisy and has excessive amounts of vibration when running. Failure will result in system down time and emergency repairs.	\$ 2,087	\$ 1,902	91.14
253	FM-0056963	Los Angeles	Pomona Courthouse South	19-W1	2	HVAC - Replace failed two way heating valve and two (2) thermostat controls.. The heat exchanger will only provide domestic hot water at 100 degrees due to the two way heating valve is stuck in mid position and not opening causing low water temperatures throughout the higher floors.	\$ 7,546	\$ 6,877	91.14



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254	FM-0056965	Monterey	Monterey Courthouse	27-C1	2	County Managed - Electrical - install replacement generator - Current equipment has failed. A temp rental has been deployed during replacement.	\$ 36,750	\$ 36,750	100
255	FM-0056966	Los Angeles	Pomona Courthouse South	19-W1	2	Roof - Build-up roof area (400 sq. ft) around cooling towers, replace roofing material and install 1 new roof drain and divert all the water into new drain system. Rain water sits on the roof, under and around the cooling towers after each rain. The rain water leaks into the building and causes damage.	\$ 16,688	\$ 15,209	91.14
256	FM-0056968	Orange	Central Justice Center	30-A1	2	Interior Finishes - Elevator rooms 7 through 15 lack secondary containments required to complete CUPA permitting. Remove 1163 SF of epoxy paint, prep and epoxy fill 125 LF of cracks, construct 55 LF of new containment berms in rooms 7-15, acid wash and degrease 1163 SF of concrete, apply 825 SF of Petra Xtra-Kote TC to horizontal surfaces, and apply 338 SF of Petra Xtra-Kote TC to vertical surfaces.	\$ 54,674	\$ 49,846	91.17
257	FM-0056969	Los Angeles	Michael D. Antonovich Antelope Valley Courthouse	19-AZ1	2	HVAC - Install (1) York Optiview board, (1) service trigger kit, (1) time clocks, and (1) Eprom on Chiller #2. Chiller is non operational due to failed circuit boards and microprocessors.	\$ 26,875	\$ 19,756	73.51
258	FM-0056970	Orange	Central Justice Center	30-A1	2	Electrical - Replace main breaker handle, Kirk Keys, broken indicator lights on 4160 transformer. Main breaker handle and kirk keys are missing and 8 indicator lights are out creating operational risk of building not being able to restore power in the event of the transformer tripping.	\$ 27,755	\$ 25,304	91.17
259	FM-0056972	Los Angeles	Metropolitan Courthouse	19-T1	2	Interior Finishes - Dept. 70 Cashier's Public stadium seating; 14% of seats are completely broken & missing seat bottoms. Approx. 80% have broken or missing springs/bearings and replacement parts are obsolete. Seats need to be replaced as this is a safety issue for the public when trying to sit. Demo 101 existing damaged chairs, fill mounting holes and install 101 new American Seating Model 408 fiberglass seats and secure with epoxy. Perform environmental testing and set up 30'W x 32' L x 8' H containment.	\$ 78,669	\$ 74,374	94.54
260	FM-0056973	Los Angeles	Metropolitan Courthouse	19-T1	2	Exterior Shell - Windows have been vandalized and are severely etched. Etching is deep and requires glass replacement and addition of anti-graffiti (A/G) film. East 1st Flr: Replace (12) 33-1/4"x33" tinted tempered glass panes; Install A/G film on 17 windows. North 1st Flr: Replace (3) 24"x78" tinted tempered glass panes; install A/G film on 4 windows. West 1st Flr: Install A/G film on 3 windows. Flrs 2 - 8 replace 174 tinted tempered glass panes (19"x90") and install A/G film on 199 windows.	\$ 197,385	\$ 186,608	94.54
261	FM-0056976	Contra Costa	Bray Courts	07-A3	2	HVAC - Replace six (6) failed 5/8 diameter x 4 long capillary tubes, install 1 filter dryer. Leaks causing unit to not provide sufficient cooling.	\$ 8,766	\$ 7,497	85.52
262	FM-0056977	Fresno	Firebaugh Court	10-K1	2	HVAC - Remove old leaking condenser water pump and replace with a new Gould 1 1/2 HP pump and motor.	\$ 3,755	\$ 2,179	58.02
263	FM-0056978	Orange	West Justice Center	30-D1	2	Plumbing - Storm Drain Lines are cracked and damaged - Line two (2) 3" storm drain lines, approximately 40' per line. Drain lines are leaking into the detention tunnel creating a slip/fall safety issue.	\$ 8,480	\$ 7,690	90.68
264	FM-0056980	Los Angeles	Pomona Courthouse South	19-W1	2	Plumbing - Replace 30ft of 4 cast iron pipe. Replace 2 cracked pipe coming from 7th floor janitorial mop sink and 30ft of sewer line on the 6th floor courtroom. A section of the building's water waste piping system has deteriorated, this is causing leaks into the court room.	\$ 9,656	\$ 8,800	91.14
265	FM-0056981	Kern	Delano/North Kern Court	15-D1	2	HVAC - Install (1) new evaporator coil, filter drier, txv (expansion valve). Current evaporator coil for PKU#10 is failed and no longer providing cooling to the main lobby and District Attorney's offices.	\$ 11,629	\$ 9,378	80.64



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266	FM-0056982	Santa Barbara	Santa Barbara Figueroa Division	42-B1	2	HVAC - Replace (2) inline centrifugal pumps, replace (2) pressure gauges, replace (2) copper flanges and (2) copper 90s. Hot water pumps #1 and #2 and the pump flanges are badly corroded and leaking.	\$ 26,313	\$ 26,313	100
267	FM-0056983	Los Angeles	Stanley Mosk Courthouse	19-K1	1	Elevators, Escalators, & Hoists - Replace failed electrical generator on Elevator #2, Unit is stuck on the 2nd floor and not responding. Bearing failure caused grounding of the unit.	\$65,100	\$63,316	97.26
268	FM-0056985	San Diego	County Courthouse	37-A1	2	HVAC - Replace (2) custom chilled water coils, (2) 2-1/2" butterfly valves and (2) 2-1/2" pneumatic control valves, perform hydrostatic test and re-insulate 60 LF of 2-1/2" pipe. Chilled water coil needs to be replaced as it is not cooling the area. The coil shows signs of severe blockage and condensate is carrying over onto the AHU floor creating a slip hazard.	\$ 37,139	\$ 37,139	100
269	FM-0056986	Los Angeles	Torrance Courthouse	19-C1	2	Elevators, Escalators, & Hoists - Rebuild elevator electrical generator. Generator #2 has begun to fail resulting in the car not leveling properly creating a trip hazard for passengers.	\$ 33,372	\$ 28,413	85.14
270	FM-0056987	Los Angeles	Airport Courthouse	19-AU1	2	HVAC - Replace 75HP VFD and combination starter bypass and program VFD into court house BAS system and update graphics. AHU #2's VFD shorted out after an over current. AHU #2 is currently operated exclusively in bypass mode.	\$ 36,152	\$ 27,898	77.17
271	FM-0056988	Santa Clara	Downtown Superior Court	43-B1	1	Exterior Shell - Vandalism - Replace (1 each) 76 X 88 broken front window - Currently compromising the courts security access	\$5,117	\$5,117	100.00
272	FM-0056989	Santa Clara	Santa Clara Courthouse	43-G1	2	Plumbing - Replace (1) failed underground plumbing connection to sewer line, install (1) two way cleanout. Currently impacting the Courts storm sewer ability to drain and will cause flooding.	\$ 5,185	\$ 5,185	100
273	FM-0056990	Alameda	Fremont Hall of Justice	01-H1	2	Grounds and Parking - Remove (4) dead plum trees including stump grinding. Safety issue. Branches and dead trees have a huge potential to fall on people causing injury during the stormy weather. Limbs have fallen in the past	\$ 3,502	\$ 2,781	79.4
274	FM-0056991	Alameda	Wiley W. Manuel Courthouse	01-B3	2	Grounds and Parking Remove (3) dead olive trees and stump. Trees having visible structural hazards and liabilities in stormy weather. Safety Issue. Branches have fallen in the past during rainy, windy storms.	\$ 5,991	\$ 5,020	83.8
275	FM-0056992	Santa Clara	Hall of Justice (West)	43-A2	2	HVAC - Install cooling unit in first floor AV closet - Install (1) 120V/20A dedicated circuit for cooling unit - install 20' of 6" flexible ductwork for condenser exhaust - fire caulk all penetrations. Lack of cooling in the space is causing Court AV equipment to shutdown	\$ 4,030	\$ 4,030	100
276	FM-0056993	Santa Clara	Hall of Justice (East)	43-A1	2	HVAC - Install cooling unit in first floor AV closet - Install (1) 120V/20A dedicated circuit for cooling unit - install 20' of 6" flexible ductwork for condenser exhaust - fire caulk all penetrations - Lack of cooling in the space is causing Court AV equipment to shutdown	\$ 5,923	\$ 5,923	100
277	FM-0056994	Los Angeles	Michael D. Antonovich Antelope Valley Courthouse	19-AZ1	2	Interior Finishes – Replace 45 sq. ft. of epoxy paint flooring and 14 linear ft. of epoxy paint for the base. Courtroom holding cell flooring is starting to fail and it is easy to be broken off into pieces which creates a safety hazard due to in custody visitors creating cutting/stabbing type of weapons.	\$ 6,026	\$ 4,430	73.51
278	FM-0056995	Los Angeles	Airport Courthouse	19-AU1	2	Elevators, Escalators, & Hoists - Replace the failing generator brushes for Elevators 1, 2, 3 and 4. Replacement required to maintain operations.	\$ 4,027	\$ 3,108	77.17
279	FM-0056997	San Diego	County Courthouse	37-A1	2	HVAC - Exhaust Fan #38 bearing and shaft repair - Remove the existing (2) pillow-block bearings and replace with factory supplied pillow-block bearings type BB Size 330 1 15/16 for Exhaust Fan #38. The South Tower is without exhaust air in the restrooms due to bad bearing and shaft. Operational fan units are required by code.	\$ 12,905	\$ 9,991	77.42



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280	FM-0056998	Los Angeles	Glendale Courthouse	19-H1	2	Electrical - Replace and rewire 1 defective light fixture under ACM protocols. Main lighting over the bench has failed and requires replacement.	\$ 4,689	\$ 4,245	90.54
281	FM-0056999	San Diego	County Courthouse	37-A1	2	Elevators, Escalators, & Hoists - Replace failed emergency reset and amplifier circuit cards for Elevator 8. Install one new drive contactor and for (4) new amp traps. The staff pedestrian traffic is delayed due to elevator being non-operational.	\$ 7,474	\$ 5,786	77.42
282	FM-0057000	Los Angeles	Airport Courthouse	19-AU1	1	HVAC - Replace failed 75 HP motor for Air Handler 1, and integrate into the Building Energy Management System. Air Handler Unit 1 main motor is not functioning.	\$17,762	\$13,707	77.17
283	FM-0057001	Santa Clara	Santa Clara Courthouse	43-G1	2	Grounds and Parking - Remove (5) hollowed out beetle infested dying pine trees with exposed roots. Trees are heavily leaning sideways into the parking lot. Remove (1) dead redwood tree near the gas meter and main. Safety issue when the storms begin. Dead and dry cracked limbs have already fallen during heavy winds.	\$ 8,373	\$ 8,373	100
284	FM-0057002	Los Angeles	Pasadena Courthouse	19-J1	1	Electrical - Replace 40 failed lobby lights. 60% of lights have failed. ACM containment and disposal required. No lights are on in front lobby, this creates a safety and security hazard for early morning at end of day weapon screening processing.	\$33,818	\$23,453	69.35
285	FM-0057003	Santa Clara	Downtown Superior Court	43-B1	1	HVAC - Replace (1) failed condenser float valve and damaged components for the Cooling Tower that flooded two Courtrooms. Extracted approx. 330 gallons of clean water from approx. 1000 sq ft of court space. Remediated and replaced 224 square feet of damaged VCT tile including ACM abatement	\$36,901	\$36,901	100.00
286	FM-0057004	Los Angeles	Pomona Courthouse South	19-W1	1	HVAC - Replace failed drain line for Chiller #2. Remediate flooding water throughout the mechanical room and basement under ACM procedures.	\$10,198	\$9,294	91.14
287	FM-0057005	El Dorado	Cameron Park	09-C1	2	Exterior - Renovate and waterproof approximately 825 sf of crack and molded stucco on the north exterior wall. Work required to prevent water intrusion and potential interior flooding.	\$ 4,550	\$ 4,550	100
288	FM-0057007	Contra Costa	Arnason Justice Center	07-E3	2	HVAC - Replace one Failed Burner Controller Board on Boiler #2. Board has failed and the boiler will not operate.	\$ 4,312	\$ 4,312	100
289	FM-0057008	Solano	Hall of Justice	48-A1	2	Pest Control - Building exterior - Using a 40' boom truck Remove and remediate damage caused by a 3' x 4' beehive on the exterior eaves of the west side of the building. The beehive creates an unsafe environment for court staff and visitors.	\$ 5,461	\$ 3,977	72.82
290	FM-0057009	El Dorado	Main St. Courthouse	09-A1	2	HVAC - Replace the defective High Pressure Sensor Cut-Out device and the Discharge Temperature Sensor. Chiller compressor is not cycling and is causing the compressor to overheat.	\$ 4,079	\$ 4,079	100
291	FM-0057010	Stanislaus	Turlock Superior Court	50-D1	2	Grounds and Parking Lot - Install 80 skate stops at 3ft intervals on assigned planter beds on front and back public entry to the courthouse. Closure and removal of City Skate Park in adjacent lot has had negative impact and recent change in skaters using court property. Skaters are creating a potential public hazard during court operational hours.	\$ 3,583	\$ 3,583	100
292	FM-0057011	Contra Costa	George D. Carroll Courthouse	07-F1	2	Fire Protection - Replace (10) Damaged Sprinkler Heads, (4) missing escutcheons, and (12) Hoses that are out of compliance.	\$ 8,089	\$ 6,066	74.99
293	FM-0057013	Alameda	Hayward Hall of Justice	01-D1	2	HVAC - Replace Building Automation System (BAS) with new and current technology. Provide and install one (1) panel mounted BAS workstation configured with Windows 7 Pro and one (1) Automation Server. Upgrade installation to StruxureWare and migrate existing system configuration, sequence and graphics. Current system has failed components that are discontinued and no longer available or supported by the manufacture.	\$ 18,229	\$ 16,096	88.3



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294	FM-0057014	Alameda	Berkeley Courthouse	01-G1	2	HVAC - Replace Building Automation System (BAS) with new and current technology. Provide and install one (1) panel mounted BAS workstation configured with Windows 7 Pro and one (1) Automation Server. Upgrade installation to StruxureWare and migrate existing system configuration, sequence and graphics. Current system has failed components that are discontinued and no longer available or supported by the manufacture.	\$ 18,229	\$ 18,229	100
295	FM-0057016	Los Angeles	Bellflower Courthouse	19-AL1	1	Plumbing - Remove and renovate failed sump pump #1 and #2. Remediate black water overflow in the Lock-up areas on 1st, 2nd, 3rd & 4th flrs affecting 6,939sf. Inmate vandalism caused pumps to fail.	\$69,685	\$54,312	77.94
296	FM-0057017	Los Angeles	Compton Courthouse	19-AG1	1	Plumbing - Replace a 20 ft section of 4" cast iron drain pipe under ACM protocols. North Side Exterior of Building a 4" Cast Iron Drain Pipe is cracked and leaking into the employee lounge and maintenance office.	\$9,383	\$6,205	66.13
297	FM-0057018	Del Norte	Del Norte County Superior Court	08-A1	2	Exterior Grating - Replace rusted grates (2) - replace rusted grating at 2 locations, 1- approx. 240 sq ft with fiberglass grating due to location near ocean, 1- approx. 13 sq ft with frame and fiberglass grating with lock.	\$ 11,513	\$ 7,054	61.27
298	FM-0057020	Kings	Avenal Court	16-C1	2	HVAC - Replace shorted compressor and malfunctioning thermostat control for ACU #1 that serves the courtroom exclusively.- Compressor is not working due to winding wires being shorted and thermostat is not functioning properly.	\$ 3,122	\$ 3,122	100
299	FM-0057021	Fresno	B.F. Sisk Federal Courthouse	10-O1	2	Elevators - Enhance elevator #3 programming to ensure that elevator will not allow public access to the secured area. Current operation allows intermittent access.	\$ 4,956	\$ 4,956	100
300	FM-0057022	Los Angeles	Norwalk Courthouse	19-AK1	1	HVAC - Replace failed condensate pan. Pan failure caused condensate to run off through the elevator penthouse to the 7th floor mediation room #701 dripping through the ceiling tiles replace (6) 24"x24" ceiling tiles and remediate water from approximately 6'x6' of carpet per ACM protocols.	\$15,320	\$13,027	85.03
301	FM-0057024	Los Angeles	Compton Courthouse	19-AG1	1	HVAC - Replace failed 40 HP VFD. Currently 40 HP motor is running at a 100% which is causing air noise in courtrooms and it may over pressurize and damage ducting.	\$10,015	\$6,623	66.13
302	FM-0057025	Los Angeles	Pasadena Courthouse	19-J1	1	Elevators, Escalators, & Hoists - Replace relay on the main power supply to all elevators. All elevators are down, there is no power going to the elevators.	\$10,100	\$7,004	69.35
303	FM-0057026	Riverside	Larson Justice Center	33-C1	2	Grounds and Parking Lot - Judges secured parking gate - Remove and replace the failed gate openers (left and right) with two new Liftmaster #SL585. Current units are obsolete and cannot be repaired.	\$ 8,860	\$ 8,860	100
304	FM-0057027	Los Angeles	Inglewood Courthouse	19-F1	1	HVAC - Remove and replace transducers to allow sensors. Chiller #1 & Chiller #2 has tripped off-line due to low water flow which is leaving no cooling to the building.	\$8,652	\$6,451	74.56
305	FM-0057029	Santa Barbara	Santa Barbara Juvenile Court	42-C1	2	Roof - Restore Roof: Seal roof area with polyurethane chemlock to mitigate future rust, apply asphalt emulsion and elastomeric coating. The roof has several penetrations throughout the surface that are allowing leaks to develop inside the building during storms/rain. Some areas of the roof are rusting. Remove all penetrations to restore roof, making the roof fully sustainable against leaks and damage.	\$ 4,120	\$ 3,667	89
306	FM-0057030	Alameda	Hayward Hall of Justice	01-D1	1	Plumbing - Replaced failed hardware on toilet fixture. Remediate 600 sq ft wet floor dried & 200 sq ft sheetrock dried & 200 sq ft of ceiling tile replaced & 100 sq ft sheetrock ceiling opened and lacerated &, 20 ft of baseboard replaced under ACM protocols.	\$5,726	\$5,726	100.00
307	FM-0057031	Alameda	Wiley W. Manuel Courthouse	01-B3	2	Vandalism - Replace (1) broken window at holding cell 101A interview room with like for like replacement glass 32"x62" 1/2 thick clad poly. Work is to be coordinated with Marshall's office for access during normal court hours.	\$ 4,252	\$ 4,252	100



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308	FM-0057032	San Bernardino	San Bernardino Courthouse	36-A1	2	HVAC - Judges chambers room 312 and 313 lack independent zone control and are excessively hot during the summer. Install (2) VAV boxes, (2) steam reheat coils, 40LF of 8" spiral duct, 80 LF of 10" spiral duct, (2) spiral reducers, (6) 10" sheet metal elbows, 50 LF of fiberglass round duct, 50 LF of 1-1/2" black pipe, 50 LF of 1" black pipe, (2) steam traps, (2) 1-1/2" basket strainers, (2) thermometers, (2) pressure gauges, (2) independent thermostats, integrate with county owned Siemens BAS.	\$ 73,252	\$ 73,252	100.00
309	FM-0057033	Los Angeles	Clara Shortridge Foltz Criminal Justice Center	19-L1	2	Interior Finishes - Install (17) 10" x 10" x 9/16" forced entry resistant laminated glass and (32) 12" x 16" x 1" forced entry resistant laminated glass. Lock up cell viewing windows for cells #1-9 on each the 1st, 4th, 8th, 10th, and 14th floors have are damaged, crack, or heavily etched obscuring vision into the cells and presenting a safety issue for deputies conducting checks.	\$ 35,294	\$ 35,294	100
310	FM-0057034	Los Angeles	Inglewood Courthouse	19-F1	1	HVAC - Replaced a defective 5 amp fuse in the MCC control panel. The MCC control panels for AHU 2, 3, 4, & 5 are not allowing the VFD's to operate which is making the temperature in the building rise.	\$9,320	\$6,949	74.56
311	FM-0057035	Alameda	Hayward Hall of Justice	01-D1	1	Vandalism - Window - Single pane exterior door side-light approximately (1.5' x 7') - Replace window glass broken out by thrown rock.	\$3,500	\$3,091	88.30
312	FM-0057036	Los Angeles	Compton Courthouse	19-AG1	1	Exterior Shell - Vandalism - Broken exterior glass window. Replace (1) 34 /12 X 52 X 1/4 thick window next to the main entrance of the building. Add graffiti film and tinting on new window.	\$7,562	\$5,001	66.13
313	FM-0057037	Los Angeles	Pomona Courthouse South	19-W1	1	Plumbing - Cold water valve to sink in lock up has failed and water is leaking into the 2nd floor DA's woman's restroom. Remediate damage The affected areas is approximately 7'X5' of plaster ceiling and the east wall approximately 7'X 8', 2x2 area re-plastering required. This work was conducted in a ACM environment.	\$10,205	\$9,301	91.14
314	FM-0057038	Santa Barbara	Santa Barbara Figueroa Division	42-B1	2	HVAC - Chiller #2 has leaks on the Solenoid valve and liquid valve. Install one (1) new liquid line solenoid valve with coil to replace leaking valve. Replace liquid line drier core and sight glass. Replace old time delay in control panel with a new solid state timer and replace oil pressure safety control.	\$ 7,157	\$ 7,157	100
315	FM-0057039	Los Angeles	Metropolitan Courthouse	19-T1	2	Fire Protection - Replace (7) 75' failed Fire Hoses. Replace (5) defective sprinkler heads in parking structure to maintain compliance. Extract and replace (2) leaking nipples on the South FDC Manifold.	\$ 7,382	\$ 6,979	94.54
316	FM-0057041	Los Angeles	Van Nuys Courthouse West	19-AX2	2	Exterior Shell - Removed damaged window glass and installed one (1) insulated 45in x 80in window glass into the existing aluminum frame. Ground Level, West Side Main Entrance a person threw a rock at the building causing a corner window to break/crack.	\$ 3,943	\$ 3,173	80.48
317	FM-0057043	Los Angeles	Inglewood Juvenile Court	19-E1	2	Roof - Remove and replace approximately 11,600 SF of failing built up roof. New roof to be a SBS multi-ply roof, to include new building metal, and install new roof drain caps.	\$ 280,307	\$ 226,432	80.78
318	FM-0057044	Los Angeles	San Fernando Courthouse	19-AC1	2	Interior Finishes - Replace (6) panes of 71" x 52-1/4" x 1-1/8" thick laminated bronze tinted glass. Judges Chambers for Dept. D, G, J, L, N, and I have been broken or damaged window glass.	\$ 30,832	\$ 25,717	83.41
319	FM-0057045	Los Angeles	Michael D. Antonovich Antelope Valley Courthouse	19-AZ1	2	HVAC - Cooling towers #1 and #2 media has significant calcium build up causing water to escape and puddle at the towers base. Floats do not provide adequate make up water causing pump surge. Replace (72) counter flow eliminators, (8) 63-1/4 W x 35-1/2 H louvers, (16)44-5/8 W x 35-1/2 H louvers, (4) 8" butterfly valves, (2) gear operated 3" butterfly drain valves , 101"Wx252"L Cooling tower media, (2) EZ Float Kits, (2) 4B154 power band belts, and (2) grease line kits.	\$ 82,230	\$ 58,745	71.44
320	FM-0057046	Los Angeles	Chatsworth Courthouse	19-AY1	2	HVAC - Replace failing liquid filter, oil filter, and install 5/8" isolation valves, replace suction elbow gaskets on Chiller #2. Unit showing high levels of moisture which will cause premature system failure.	\$ 29,580	\$ 26,723	90.34



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321	FM-0057047	Los Angeles	Norwalk Courthouse	19-AK1	2	Interior Finishes - Remove and replace failing lathe & plaster ceiling system (18' x 28' = 504 SF). The plaster and lath ceiling in the main communications room has begun to collapse in several areas. Falling debris could result in serious damage to employees and electronics.	\$ 25,417	\$ 21,612	85.03
322	FM-0057048	Los Angeles	Chatsworth Courthouse	19-AY1	2	Plumbing -Replace two Nibco LD-200 4" butterfly main domestic water isolation valves, replace four 4" flange gaskets, four 4" and four 6" coupling gaskets, four 4" gasket isolators and bolts. Main Isolation valves in the basement are not closing completely and will not isolate the water if a leak were to occur.	\$ 4,241	\$ 3,554	83.8
323	FM-0057049	Los Angeles	Central Arraignment Court	19-U1	2	**COUNTY MANAGED** Security - Intrusion Alarm; Replace Onboard Battery, Motion Sensors & check programming of Alarm Panel for Clerk's office, Back staff corridor, Judges Entry Doors, Elevator Lobby, Training room & Elevator/Stairwell.	\$ 3,305	\$ 3,305	100
324	FM-0057050	San Bernardino	Rancho Cucamonga Courthouse	36-F1	2	Elevators, Escalators, & Hoists - Replace failing hoist machine worm shaft seals on Secure Elevator to prevent future failure and stop leaking. Work prevents damage to the hoist machine gear box by addressing it promptly.	\$ 4,494	\$ 3,418	76.05
325	FM-0057052	Santa Clara	Morgan Hill Courthouse	43-N1	2	HVAC - Replace (1 each) failed 350 amp main breaker to building chiller. Main breaker to chiller failed and is affecting the courts cooling capacity	\$ 4,665	\$ 4,665	100
326	FM-0057053	San Diego	North County Regional Center - Vista Center	37-F2	2	Fire Protection - Fire Alarm Panel is showing ground fault, six Horns/Strobes have failed. Replace (6) Horns / Strobes. Locate source of fault on panel as panel must be free of deficiencies.	\$ 4,010	\$ 4,010	100
327	FM-0057054	Los Angeles	Van Nuys Courthouse West	19-AX2	2	Vandalism - The holding cell door's window was broken by in-custody creating a safety hazard. Replace (1) 30 1/4" X 49 1/2" 1" safety laminated glass in customers steel frame with security screws.	\$ 4,403	\$ 4,403	100
328	FM-0057056	Napa	Criminal Court Building	28-A1	2	Elevators - Rewire the oil heaters for the elevator #3 and #4 oil tanks to code. Wire to step-down transformer from the 480v disconnect so when the disconnect is turned off power to the heaters turns off as well. - Existing oil heaters wiring does not conform to code	\$ 7,092	\$ 7,092	100
329	FM-0057057	Los Angeles	Pasadena Courthouse	19-J1	1	Electrical - Replace 25 burnt out lights/ballasts in sally port bay and lock-up ramp with LED lighting, replace light covers that are deteriorated and can be used as a weapon by an inmate creating a safety situation.	\$17,265	\$11,973	69.35
330	FM-0057059	Los Angeles	Bellflower Courthouse	19-AL1	2	Plumbing - Replace (4) non-mercury float switches, (2) 4" epoxy coated resilient disc check valves, and (2) 5HP 4" discharge sewage pumps with Tsurumi 5 HP cutter type sewage pumps. Existing 5 HP sewage ejector pumps are damaged due to inmate generated debris in the sewage systems resulting in flooding sewage back into the building.	\$ 41,305	\$ 32,193	77.94
331	FM-0057060	Orange	Central Justice Center	30-A1	2	HVAC - 3rd Floor Ceiling - Remove 100 lf of broken and separated fiberglass duct work in the 3rd floor public hallway and court reporter/interpreter services space and replace with new sheet metal ducting and insulation per ACM protocols. The duct work currently is noisy and inefficiently distributing air.	\$ 25,500	\$ 23,248	91.17
332	FM-0057068	San Diego	North County Regional Center - South	37-F1	2	COUNTY MANAGED - Plumbing. Replace one Hot Water Holding Tank and two Expansion tanks that have failed due to leaks that are beyond repair	\$ 3,920	\$ 3,920	100
333	FM-0057069	Los Angeles	Chatsworth Courthouse	19-AY1	2	HVAC - Remove failing i2920 controller for AHU # 4 and install new i2920 controller for AHU #4 controller. Controller is failing, this will effect cooling for the entire section of building at the North East side.	\$ 5,071	\$ 4,249	83.8
334	FM-0057070	San Francisco	Polk St. Annex	38-A2	2	Vandalism - Graffiti - Apply blackout film over existing at street level windows (20) - Glass etched with graffiti	\$ 3,901	\$ 3,901	100



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335	FM-0057071	San Diego	County Courthouse	37-A1	2	Plumbing - Install new copper piping between gate valves at the regulator station and 5 of the regulators. Replace 2" gate valves with ball valves in 12 locations. Install 12 gauges with quarter turn ball valves before & after regulators. Install a new copper union on the vertical. South basement Pressure Regulating Valves at Manifold are leaking onto the floor and not properly reducing the city water pressure. Over pressurization creates risk of piping failures.	\$ 13,821	\$ 10,700	77.42
336	FM-0057072	San Diego	County Courthouse	37-A1	1	Elevators, Escalators, & Hoists - Faulty drive was removed and replaced on public elevator 4B. Replace additional failed hardware including one (1) new CPU board and one (1) new Miprom 21 Relay Pilot board.	\$34,963	\$27,068	77.42
337	FM-0057073	Mendocino	County Courthouse	23-A1	2	Interior Finished - Replace Courtroom Door and hardware - Replace door in courtroom H damaged by in custody, new door to be finished to match existing and add hardware, auto flush bolt, closure.	\$ 4,652	\$ 4,652	100
338	FM-0057074	Los Angeles	Compton Courthouse	19-AG1	2	HVAC - Install (2) 3/4" Black Steel coupon racks, 60LF 3/4" copper pipe assembly, (8) 3/4" ball valves, (2) 3/4" PVC coupon racks, install 60LF 3/4" PV. Installation is required in order to monitor system acid content in the HVAC water system.	\$ 21,893	\$ 14,478	66.13
339	FM-0057075	Yolo	Traffic Court - Modular	57-A8	2	Parking Lot - Remove 275 sf of curb, gutter, and side walk to replace with a commercial driveway. Apply one coat of OverKote asphalt sealer to approximately 4600 sf of asphalt concrete. Restripe parking lot to original layout with one ADA stall and ADA signage. Install 14 concrete wheel work required in order to comply with turn-back conditions of the lease.	\$ 47,123	\$ 47,123	100
340	FM-0057076	Los Angeles	Compton Courthouse	19-AG1	1	Plumbing - Replace 30' of 4" & 20' of 2" failed black cast iron drain piping and fittings. 25' scaffolding required to address work location. Remediation of 5,76SF ACM water damage. Impacted area includes 2nd Flr Cafeteria to Public Lobby, RM-100 Traffic Court Clerks, RM-101 Small Office, Basement Employee Hallway & B-8 file rm.	\$50,650	\$33,495	66.13
341	FM-0057082	Los Angeles	Compton Courthouse	19-AG1	1	HVAC - Replace failed 40HP Supply Fan motor. AHU #12 Supply Fan has seized effecting air supply to the 12th floor.	\$10,116	\$6,690	66.13
342	FM-0057083	San Mateo	Hall of Justice	41-A1	2	Security - Install door closer at Courtroom 2M door to secure hallway - Original door closer was removed prior to transfer allowing Courtroom occupants access to secure areas; identified by SO security assessment.	\$ 1,000	\$ 1,000	100
343	FM-0057084	Los Angeles	Norwalk Courthouse	19-AK1	1	Plumbing - Replace failed flush assembly in holding area which is concealed behind wall. Remediation required in 3rd flr Room 309. ACM and remediation include 8'x8' section of carpet and (6) 12"x12" ceiling tiles.	\$12,280	\$10,442	85.03
344	FM-0057085	Alameda	Hayward Hall of Justice	01-D1	2	Vandalism - Phones - Replace six holding cell interview phones damaged by inmates	\$ 2,457	\$ 2,457	100
345	FM-0057086	San Diego	North County Regional Center - South	37-F1	2	COUNTY MANAGED - plumbing. Replace 6" water pressure reducing valve. Site is experiencing water pressure spikes due to existing valve being inoperable.	\$ 5,232	\$ 5,232	100
346	FM-0057088	Sacramento	Gordon Schaber Sacramento Superior Court	34-A1	2	Vandalism - East Front entrance glass door is broken due to vandalism. Replace (1) 46 3/8 x 106 9/16 - 3/8" clear tempered glass with flat polish and add tinting to glass and repair broken door handle.	\$ 2,560	\$ 2,560	100
347	FM-0057089	San Francisco	Youth Guidance Center	38-C1	2	HVAC - Daikin Heat Pump - Remove and replace failed PCB inverter circuit board (1) and condenser fan blades(2) and motors(2). Unit serves Department 3, Judges Chambers and reporters office. There is currently no cooling in these areas and supply air temps are at 77 in the afternoons.	\$ 8,888	\$ 8,888	100



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348	FM-0057090	San Bernardino	New San Bernardino Courthouse	36-R1	1	HVAC - Replace 2 failed refrigerant monitoring probes. Work is code required.	\$9,830	\$9,830	100.00
349	FM-0057093	San Benito	New Hollister Courthouse	35-C1	2	Vandalism - Exterior shell - Replace 1 each Broken Bullet resistant glass pane in room 269 utilizing a boom lift - Bullet resistant glass is compromised and requires replacement.	\$ 9,854	\$ 9,854	100
350	FM-0057101	Los Angeles	Compton Courthouse	19-AG1	1	Interior Finishes - Replace existing 30YD, 30yr old and failed Trash compactor. New system to include Hopper Open w/side modification flare, 42"x72" Safety Railing w/mounted dock, Guide island w/stops; Work is required to maintain current garbage removal process. No alternate location available for change to current process and workflow.	\$42,465	\$28,082	66.13
351	FM-0057102	Los Angeles	Central Arraignment Court	19-U1	1	COUNTY MANAGED - Fire Protection - Replace defective board on main Fire Alarm Panel, program the device points into the new panel, change power supplies & EOL resistors. Replace two failed Enunciators.	\$14,744	\$14,744	100.00
352	FM-0057103	San Bernardino	Rancho Cucamonga Courthouse	36-F1	2	Elevators, Escalators, & Hoists - Replace failed rope gripper pads on Elevator #5. Elevator is currently locked out due excessively worn rope gripper pads.	\$ 14,606	\$ 14,606	100
353	FM-0057104	San Bernardino	San Bernardino Courthouse	36-A1	2	Security - The gate barrier arm operator for the entrance/exit to the Judges' secured parking lot has failed. Replace failed 1/2 HP gate barrier arm operator with (1) new 1/2 HP gate barrier arm operator with 12' arm and (1) loop detectors. This work is required in order to ensure that the Judges' parking lot remains secure.	\$ 3,106	\$ 3,106	100
354	FM-0057105	Sacramento	Gordon Schaber Sacramento Superior Court	34-A1	2	HVAC - Replace 2 failed HVAC control valves at Basement South. (1) 5" cold water valve, and (1) 3" hot water valve.	\$ 6,721	\$ 6,721	100
355	FM-0057106	San Diego	Juvenile Court	37-E1	2	Interior Finishes - Replace 8 ft 6in x 7ft 6in size sheet vinyl flooring and 4 in base material in 2 restrooms. The linoleum flooring is damaged and needs to be replaced. Flooring is cracked and pieces of linoleum are coming off, creating possible trip hazards.	\$ 3,368	\$ 2,513	74.62
356	FM-0057108	Los Angeles	Inglewood Juvenile Court	19-E1	2	Grounds - Perform corrosion control on the flag pole, replace the upper/lower pulleys, cable, and padlock. The flag pole in the front of the courthouse is rusted and has flaking paint. The rope pulleys are rusted and the cable to raise the flag is worn down due to age.	\$ 4,250	\$ 3,433	80.78
357	FM-0057109	Contra Costa	George D. Carroll Courthouse	07-F1	2	Electrical - Replace one (1) failing 15 Amp breaker and install an upgraded 20 Amp breaker to replace 2nd failing 15 Amp breaker. Install 200 feet of wire and 40 feet of conduit. Existing electrical service is not sufficient and system trips when both pumps kick in.	\$ 4,106	\$ 3,079	74.99
358	FM-0057110	Lassen	New Susanville Courthouse	18-C1	2	Exterior Shell – Remediate water intrusion by removing soil from adjacent planters and back fill with drain rock and install weather sealing on four faulty windows. Water Intrusion into the structure, presenting in the Sierra Room damaging wall and floor finishes.	\$ 5,000	\$ 5,000	100
359	FM-0057111	Humboldt	Humboldt County Courthouse (Eureka)	12-A1	2	HVAC - Remove and replace motors on AHU 1 & 2 supply fan units. The motor bearings in AHU 2 are worn out and failure is imminent, causing a disruption to court. The supply fan motor on AHU 1 should also be replaced as it is the same age and it is anticipated that the unit will start to fail in the same way.	\$ 4,556	\$ 4,556	100



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360	FM-0057112	San Diego	East County Regional Center	37-11	2	Interior finishes - Install One (1) new 1/2 HP 115V Gear Head Motor Operator with three (3) button control station, using heavy duty brackets. Run wire and conduit up to 5' electrical connection to the existing dedicated power supply. Loading Dock Gate # 4 the motor is inoperable and needs to be replaced.	\$ 3,659	\$ 3,659	100
361	FM-0057113	Butte	Butte County Courthouse	04-A1	2	HVAC - Remove and replace return fan, bearings, and shaft to HVAC system. The return fan is damaged and is out of balance. If continued operation without repairs, return fan will vibrate apart and cause collateral damage to interior of HVAC system.	\$ 5,337	\$ 5,337	100
362	FM-0057114	San Diego	County Courthouse	37-A1	2	Plumbing - Replace 3" & 1" corroded high pressure Gate Valves and Fittings that serve the domestic cold water in the South Tower. The deteriorated valves are leaking water and currently at risk of failing while under high pressure. Repairs are needed to avoid potential risk of flooding.	\$ 3,178	\$ 2,460	77.42
							\$ 21,492,723	\$ 18,123,570	

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Court-Funded Facilities Requests (CFR)
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ITEM #	CFR NUMBER	COUNTY	BUILDING ID	FACILITY NAME	LEASE, LICENSE, OR FM	CFR DESCRIPTION	CFR TERM	FUND SOURCE	ESTIMATED CURRENT YEAR COSTS (Includes existing costs prior to CFR term)	ESTIMATED BUDGET YEAR COSTS	TOTAL ESTIMATED CFR COMMITMENT (CFR Term)	REVIEW NOTES - OREFM, JBCPO, & FSO
1	01-CFR007	Alameda	01-D1	Hayward Hall of Justice	Facility Modification	Minor renovations to convert first floor courtroom into Self-Help Center and secure non-public space from the new public space. Currently, the Self-Help space is located in the lobby of this building impacting court flow and function, and making privacy for Self-Help users difficult.	One-Time	TCTF	\$ 20,000	\$ -	\$ 20,000	No Concerns
2	10-CFR013	Fresno	10-A1	Fresno County Courthouse	Facility Modification	Modify one trial courtroom to handle Dependency cases, which requires more space for court participants in the well, the removal of the jury box, and reconfiguration of associated electrical, sound systems, and finishes.	One-Time	TCTF	\$ 22,686	\$ -	\$ 22,686	No Concerns
3	12-CFR001	Humboldt	12-A1	Humboldt County Courthouse	Facility Modification	Transfer of County Law Library to Court with tenant improvements for use as a courtroom to hold cases requiring security. This will require an amendment to the JOA to begin January 1, 2016 as well as an additional fee for the Court's facilities service provider to maintain the space.	One Year	TCTF	\$ 4,709	\$ -	\$ 24,460	Pending
4	19-CFR032	Los Angeles	19-F1	Inglewood Courthouse	Facility Modification	FM for interior improvements to the existing snack bar to meet and be in compliance with Dept. of Public Health Inspection Report requirements. Until facilities are in compliance the vendor is not allowed to be in full operation, thereby creating an urgent need to be able to provide food/beverage services to court users and staff.	One Time	TCTF	\$ 17,827	\$ 17,827	\$ 17,827	Pending
5	19-CFR033	Los Angeles	19-T1 & 19-AQ1	Metropolitan & Beverly Hills	Facility Modification	FM to install exterior power outlets (and related electrical work/dedicated circuit) to accommodate the installation of Automated Bill Payment kiosks. The kiosks will reduce congestion as well as provide easier access by allowing traffic citations and criminal payments to be paid outside of the courthouses. These will also generate transaction fees for the Court.	One Time	TCTF	\$ 60,000	\$ 60,000	\$ 60,000	Pending
6	19-CFR034	Los Angeles	19-C1	Torrance Courthouse	Facility Modification	FM for interior improvements to the existing cafeteria to meet and be in compliance with Dept. of Public Health Inspection Report requirements. Until facilities are in compliance the vendor is not allowed to be in full operation, thereby creating an urgent need to be able to provide food/beverage services to court users and staff.	One Time	TCTF	\$ 25,000	\$ 25,000	\$ 25,000	Pending
7	30-CFR023	Orange	30-A1	Central Justice Center	Facility Modification	Comprehensive retrocommissioning assessment on the HVAC system. This FM is an effort to identify and address issues prior to them becoming P1 events that would be detrimental to court operations.	One-Time	Non-TCTF	\$ 80,694	\$ -	\$ 80,694	Pending
8	36-CFR032	San Bernardino	36-E1	Joshua Tree Courthouse	Facility Modification	Phase 1: Design - Modifications to the building's main entry to accommodate new turnstile security equipment and refresh the appearance of the lobby. The detailed execution scope of work will be developed by the JCC and approved by the court upon completion of final design.	One-Time	Non-TCTF	\$ 19,300	\$ -	\$ 19,300	No Concerns
9	37-CFR021	San Diego	37-I6	East County Regional Center Overflow Parking	Lease Extension	Renew parking lease for 175 overflow parking spaces (March 1, 2016 through February 28, 2019). There is a current shortfall of parking at the courthouse and the lease renewal with MDA El Cajon One, LLC would allow court users and jurors to park at the adjacent shopping center, thereby reducing delays in court proceedings.	Three Years	TCTF	\$ 84,982	\$ 87,962	\$ 270,092	Pending



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ITEM #	CFR NUMBER	COUNTY	BUILDING ID	FACILITY NAME	LEASE, LICENSE, OR FM	CFR DESCRIPTION	CFR TERM	FUND SOURCE	ESTIMATED CURRENT YEAR COSTS (Includes existing costs prior to CFR term)	ESTIMATED BUDGET YEAR COSTS	TOTAL ESTIMATED CFR COMMITMENT (CFR Term)	REVIEW NOTES - OREFM, JBCPO, & FSO
10	38-CFR005	San Francisco	38-A1 & 38-B1	Civic Center Courthouse & Hall of Justice	Annual Budget	Convert the current rule 10.810 MOU into a rule 10.810/Small Project MOU and designate an annual budget of \$120,000 for small projects for the Civic Center Courthouse and Hall of Justice.	Ongoing	TCTF	\$ -	\$ -	\$ 120,000	No Concerns
11	43-CFR008	Santa Clara	43-B6	64 N. Market Street (LAZ Parking)	Lease Extension	Two-year lease extension to provide parking privileges for Superior Court employees and jurors (approx. 1,300 SF of spaces). (1/1/16 - 12/31/17)	Two Years	TCTF	\$ 50,884	\$ 50,884	\$ 101,768	Pending
12	54-CFR011	Tulare	54-J1	Visalia Convention Center	New Lease	Two-year lease for rental of a conference room at the Visalia Convention Center to hold Small Claims Court on Mondays. (1/4/16 - 12/18/17)	Two Years	TCTF	\$ 4,526	\$ 4,526	\$ 18,105	Pending

DRAFT



JUDICIAL COUNCIL OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

Meeting Date: 1/15/2016

Action Item 9 – Fiscal Year-End Process for Court-Funded Facilities Requests

Summary:

Review and discussion of FY 15-16 CFR processing deadlines and overview of how the program has progressed this year.

Supporting Documentation:

- Slides
- Deadline memo sent to Courts

Action Requested:

Staff recommends approving the recommended year-end CFR deadline of March 14, 2016.

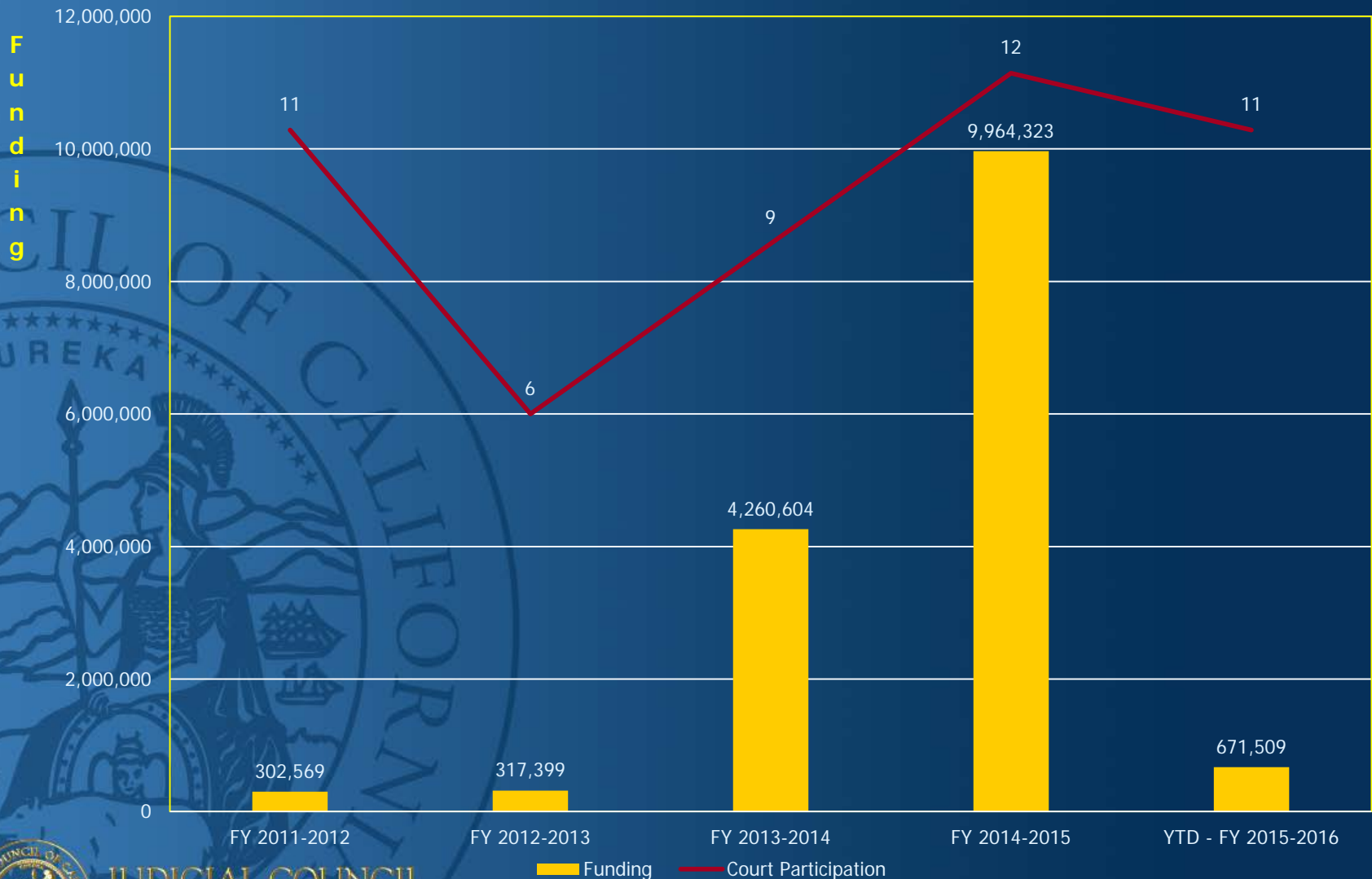
Action Item 9

Fiscal Year-End CFR Process

- Official Notice – December 30, 2015
- Final Submittals – March 14, 2016
- Final Approval Meeting – April 4, 2016

CFR Program – FM Growth

FM CFR Historical Spend



JUDICIAL COUNCIL
OF CALIFORNIA

Completed Court-Funded Requests



« Chatsworth (19-AY1)
19-CFR014: Install
tempered glass &
telecoms at 16
workstations - \$61,613

» Fresno Main (10-A1)
10-CFR006: Install 225
cameras - \$292,076



JUDICIAL COUNCIL
OF CALIFORNIA

Completed Court-Funded Requests

- » Fresno Main (10-A1) 10-CFR011: Modify Jury Clerks office public counter- \$15,575



- « San Diego HOJ (37-A2) 37-CFR020: Reconfigure 2nd floor for Small Claims Office - \$21,776



Action Item 9

Fiscal Year-End CFR Process

- The Good –
 - Great partnership with court stakeholders
 - 182 projects/ \$4.5M physically completed
 - 30 projects/ 11.5M are active today
 - Execution with minimal impact to court operations

22

Action Item 9

Fiscal Year-End CFR Process

- The Good –
 - Streamlined – Intra-Branch Agreements, Cost/Scope changes, Contract Encumbrances
 - 100% of all CFR in work prior to year end.
 - Improved Internal/External Communication

23

Action Item 9

Fiscal Year-End CFR Process

- Challenges
 - Continued lack of long range planning.
 - Lack of initial detailed scope impacts execution.
 - Project tasking capped at \$2.5M.
 - JCC Staff resources
 - Contracting Resources/Strategies

24

Action Item 9

Fiscal Year-End CFR Process

- Challenges
 - Customer Expectations/Project Duration
 - Movement of funding between task orders
 - Reversion of funding and impact to court budgets

25



JUDICIAL COUNCIL OF CALIFORNIA

2860 Gateway Oaks Drive, Suite 400 • Sacramento, California 95833-4336

Telephone 916-263-7885 • Fax 916-263-1966 • TDD 415-865-4272

MEMORANDUM

Date	Action Requested
December 30, 2015	For Your Information
To	Deadline
Presiding Judges and Court Executive Officers of the Superior Courts	March 14, 2016
From	Contact
Patrick McGrath, Facilities Operations Manager, Judicial Council Real Estate and Facilities Management	Patrick McGrath, Facilities Operations Manager 916-643-8051 patrick.mcgrath@jud.ca.gov
Subject	
Deadline for FY 2015-2016 Court-Funded Facilities Requests	

The Trial Court Facility Modification Advisory Committee (TCFMAC) has directed staff to inform you of the anticipated cutoff date for all Court-Funded Facilities Requests (CFRs) that are to be encumbered before the end of the fiscal year. Real Estate and Facilities Management staff recommends that the cutoff be **March 14, 2016** in order to ensure adequate time is available to process all requests and complete all necessary legal and financial documentation. We expect the TCFMAC will confirm this cutoff at its next meeting in two weeks.

We have closely reviewed the steps necessary to fully execute the CFRs to ensure that the latest possible cutoff date is established. We also recognize that some courts may want to use available one-time funds for these projects and be certain that once projects are submitted to the Judicial Council, staff is capable of fully encumbering courts' funds before the end of the fiscal year. Over the last two years, and despite ongoing JCC staffing limitations, all CFR projects submitted by the courts to date have been processed and funding secured prior to fiscal year end. However, should a significant surge in CFR submittals, funding, or project complexity be received staff

December 30, 2015

Page 2

may need to reach out to courts in order to prioritize their joint efforts to secure the funding for those projects most critical to the courts.

In FY 13-14, we confirmed with the California Department of Finance (DOF) that encumbering funds through the CFR process is permitted for the purposes of excluding those funds from the statutory 1% carry-over cap in Government Code 77203.

Additionally, the Judicial Council of California will be unable to execute any additional FY 2015-2016 CFRs requesting the Council execute work that is court allowable work under Rule of Court 10.810 (for example, flooring replacement or painting). Courts that find themselves in a situation where they can fund such repairs using their own general funds can contract directly for this type of work. Real Estate and Facility Management staff can assist with the development of specifications for these types of projects.

CFRs that do not need to be executed prior to June 30, 2016 will continue to be accepted and routed through the established process. Please contact me with any questions regarding this deadline or specific projects.

PM/hi

cc: Hon. Donald Cole Byrd, Chair, Trial Court Facility Modification Advisory Committee
Martin Hoshino, Administrative Director
Jody Patel, Chief of Staff
Curt Soderlund, Chief Administrative Officer
Mark Dusman, Acting Chief Administrative Officer
Gerald Pfab, Senior Manager, Real Estate and Facilities Management
Angela Guzman, Financial Manager, Judicial Branch Capital Programs
Eunice Calvert-Banks, Manager, Real Estate and Facilities Management



JUDICIAL COUNCIL OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

Meeting Date: 1/15/2016

Discussion Item 1

Summary:

Update on water conservation policy implementation efforts.

Supporting Documentation:

- Slide

Discussion Item 1

Update: Water Conservation Projects

- Judicial Council Adopted Water Policy - June 2015.
 - Over 30 water audits have been completed since adoption of the policy.
 - Water audits identify inefficient water fixtures, landscaping, etc.
 - Water audits also identify available rebates.
 - May be opportunity to leverage rebates.
-



JUDICIAL COUNCIL OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

Meeting Date: 1/15/2016

Discussion Item 2

Summary:

Review and discuss List F – *Funded Facility Modifications on Hold*

Total Project – Count:	27
Total FM Budget Share:	\$13,177,876

Supporting Documentation:

- List F – *Funded Facility Modifications on Hold*



JUDICIAL COUNCIL
OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

DRAFT

Trial Court Facility Modification
Funded Facility Modifications on Hold (List F)

6/1/2005 - 12/25/2015

Meeting Date 1/15/2016

	FM NUMBER	LOCATION	FACILITY NAME	BUILDING ID	PRIORITY	SHORT TITLE	TCFMAC FUNDED COST	FACILITY MODIFICATION PROGRAM SHARE OF COST	FACILITY MODIFICATION PROGRAM BUDGET % OF COST	SHARED COST APPROVED?	PM ASSIGNED?	OTHER HOLD REASON?	COMMENTS
1	FM-0054617	Kern	Bakersfield Superior Court	15-A1	2	Elevators, Escalators, & Hoists - Rebuild Elevator #1 & #2 Generator, Sheave Deflector and Bearing Replacement. Elevator #1 & #2 Generators failed having reached the end of their useful life and need to be dismantled and rebuilt. Deflector Sheaves having reached the end of their useful life and need to be replaced.	\$ 257,000	\$ 160,985	62.64%	No	Yes		
2	FM-0052988	Los Angeles	San Fernando Courthouse	19-AC1	2	Roof - Remove and replace existing failing roofing systems on main deck, 2nd and 3rd floor Northeast decks as well as machine room roofs at the main roof (approximately 38,000) with a SBS roof System. Roof metal will be replaced as needed.	\$ 807,176	\$ 673,266	83.41%	Yes	No		
3	FM-0056911	Los Angeles	San Fernando Courthouse	19-AC1	2	HVAC -Corrections needed for Chiller #1 due to deficiencies found during Level VIII PM 2462651. Overhaul recommended to prevent downtime, damage and loss of comfort cooling to the courthouse. Purge all refrigerant and lube oil piping. Replace compressor journal bearings and high and low speed thrust bearings. Replace compressor shaft seal, PRV control shaft seals and motor bearings. Install refrigerant cleanup kit. Replace (2) condenser water rubber vibration eliminator joints.	\$ 223,294	\$ 186,250	83.41%	Yes	No		
4	FM-0019392	Los Angeles	Downey Courthouse	19-AM1	2	Electrical - Replace two (2) 3.15M BTU Boilers and one (1) 750Kw Generator. Replacement is required in order to comply with current AQMD standards.	\$ 796,699	\$ 666,837	83.70%	Yes	No		
5	FM-0053549	Los Angeles	Downey Courthouse	19-AM1	2	Roof - Remove and replace existing main deck, lower east deck and lower west deck (approximately 34,000 sf) with a SBS type roof system - Due to main and lower decks are past due and beginning to leak during rainy weather.	\$ 753,487	\$ 630,669	83.70%	Yes	No		
6	FM-0052970	Los Angeles	Whittier Courthouse	19-AO1	2	Roof / Remove and replace existing one story section of roof with new and overlay 5 story section of roof with torch applied system / Renovation required due to age and water penetration.	\$ 742,000	\$ 641,311	86.43%	Yes	No		
7	FM-0054101	Los Angeles	Santa Monica Courthouse	19-AP1	2	Roof - Remove and replace 53,000 sf of existing roof with new SBS roof system, currently the existing roof is in poor to fair condition at best, work will replace the roof at three building sections at various levels. New building metal and curbs will be replaced as needed.	\$ 1,114,341	\$ 874,646	78.49%	Yes	No		
8	FM-0056942	Los Angeles	Airport Courthouse	19-AU1	2	HVAC - Courtrooms are too hot. Dampers actuators for AHU#3 & 4 found to be faulty and 30 VAV boxes were not connected. Replace (3) damper actuators and (2) valve actuators for AHU 3 & 4. Reconnect wiring for 30 VAV boxes and recommission. Upgrade obsolete BAS software from Siemens Apogee Insight software from v3.10 to v3.13, install Remote Email Notification, install BAS Uninterrupted Power Supply, back up data for (9) Siemens controllers and replace (6) batteries for Siemens FLNC controller.	\$ 58,347	\$ 45,026	77.17%	Yes	No		



JUDICIAL COUNCIL
OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

DRAFT

Trial Court Facility Modification
Funded Facility Modifications on Hold (List F)

6/1/2005 - 12/25/2015

Meeting Date 1/15/2016

	FM NUMBER	LOCATION	FACILITY NAME	BUILDING ID	PRIORITY	SHORT TITLE	TCFMAC FUNDED COST	FACILITY MODIFICATION PROGRAM SHARE OF COST	FACILITY MODIFICATION PROGRAM BUDGET % OF COST	SHARED COST APPROVED?	PM ASSIGNED?	OTHER HOLD REASON?	COMMENTS
9	FM-0053004	Los Angeles	Van Nuys Courthouse West	19-AX2	2	Roof - Remove and replace existing failing roof with new SBS roof system - Work to include replacing approximately 25,000sf of failing built up roof, two roof drains, re-coat the Heli-Stop and replace building metal as needed.	\$ 585,070	\$ 470,864	80.48%	Yes	No		
10	FM-0057045	Los Angeles	Antonovich Courthouse	19-AZ1	2	HVAC - Cooling towers #1 and #2 media has significant calcium build up causing water to escape and puddle at the towers base. Floats do not provide adequate make up water causing pump surge. Replace (72) counter flow eliminators, (8) 63-1/4 W x 35-1/2 H louvers, (16)44-5/8 W x 35-1/2 H louvers, (4) 8" butterfly valves, (2) gear operated 3" butterfly drain valves, 101"Wx252"L Cooling tower media, (2) EZ Float Kits, (2) 4B154 power band belts, and (2) grease line kits.	\$ 82,230	\$ 58,745	71.44%	Yes	No		
11	FM-0053394	Los Angeles	Torrance Courthouse	19-C1	2	Roof - Remove and replace 40,000 square feet of the existing main deck and lower deck sections with new SBS roof system / Due to roof decks currently failing and leaking. Work to include new building metal, vent jacks and equipment curbs as needed.	\$ 845,633	\$ 719,972	85.14%	Yes	No		
12	FM-0057043	Los Angeles	Inglewood Justice Center	19-E1	2	Roof - Remove and replace approximately 11,600 SF of failing built up roof. New roof to be a SBS multi-ply roof, to include new building metal, clean all roof drains and supply and install new roof drain caps.	\$ 280,307	\$ 226,432	80.78%	Yes	No		
13	FM-0053030	Los Angeles	Glendale Courthouse	19-H1	2	Roof - Remove and replace existing roof with new SBS roof system - Work to include replacing approximately 34,000sf of failing built up roof, restore roof drains, install tapered insulation as needed and replace building metal if not re-usable.	\$ 757,338	\$ 685,694	90.54%	Yes	No		
14	FM-0041137	Los Angeles	Alhambra Courthouse	19-11	2	Electrical - Replace one (1) 250Kw Generator. ACM abatement required. Replacement is required in order to comply with current AQMD standards.	\$ 448,388	\$ 385,614	86.00%	Yes	No		
15	FM-0052243	Los Angeles	Alhambra Courthouse	19-11	2	Energy Efficiency Project -1911_02282013LV1 - Lighting and controls upgrade - Retrofit (1,533) F32T8 fluorescent fixtures with new 28-watt lamps and new ballast, (249) 3-lamp and 4-lamp fluorescent fixtures with new reflector, 28-watt lamps and new ballast, and (1) 2x2 fluorescent fixtures with new reflector, 17-watt lamps and new ballast. Install (2) Vending Miser sensors to control vending machines. Replace (32) Exterior HID fixtures on the with new lower wattage LED fixtures.	\$ 222,058	\$ 190,970	86.00%	Yes	No		
16	FM-0053003	Los Angeles	Alhambra Courthouse	19-11	2	Roof - Remove and replace existing roof with new SBS roof system - Remove and replace approximately 31,800sf of failing built up roof system. Work will include new building metal, vents and walk pads as needed.	\$ 699,821	\$ 601,846	86.00%	Yes	No		



JUDICIAL COUNCIL
OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

DRAFT

Trial Court Facility Modification
Funded Facility Modifications on Hold (List F)

6/1/2005 - 12/25/2015

Meeting Date 1/15/2016

	FM NUMBER	LOCATION	FACILITY NAME	BUILDING ID	PRIORITY	SHORT TITLE	TCFMAC FUNDED COST	FACILITY MODIFICATION PROGRAM SHARE OF COST	FACILITY MODIFICATION PROGRAM BUDGET % OF COST	SHARED COST APPROVED?	PM ASSIGNED?	OTHER HOLD REASON?	COMMENTS
17	FM-0052129	Los Angeles	Foltz	19-L1	2	HVAC - Renovate the BAS - Convert the existing pneumatic controls to DDC, replace the front end control to the system, install VFD's on all AHU supply fans, Isolate and eliminate all leaks throughout the system, replace the worn bearings on AH 19-1 AHU fan, replace the failed return air sensor on AHU 1-9 and insulate the chilled and hot water piping at thirty-one (31) locations.	\$ 1,647,108	\$ 1,133,210	68.80%	Yes	No		
18	FM-0053002	Los Angeles	Monrovia Training Center	19-N1	2	Roof - Remove and replace existing roof system at eleven different areas (20,000 SF). Due to the poor condition of these areas, recommended removal and replacement of existing and building metal will bring entire building roof to good condition.	\$ 450,000	\$ 316,305	70.29%	Yes	No		
19	FM-0053460	Los Angeles	Edelman Children's Court	19-Q1	2	Roof - Remove and replace 43,000 sf of existing roof with new SBS roof system, currently the existing roof is in poor to fair condition at best, work will replace the roof at three building sections at various levels. New building metal and curbs will be replaced as needed. (No work to be done on the Heli - Stop).	\$ 946,000	\$ 662,105	69.99%	Yes	No		
20	FM-0056879	Los Angeles	Edelman Children's Court	19-Q1	2	Electrical - Existing 2000A Westinghouse ATS is beyond its life expectancy and requires replacement, parts are no longer available and lack of serviceability. Building power will be shut off for 12 hours while ATS is replaced. Demo existing 2000 A Westinghouse ATS and install 1 new GE Zenith ZTS series 2000A ATS with MX250 microprocessor controls and NEMA 1 cabinet. Install five 50 LF (250 LF) runs of 500 MCM cable for low side and 120 LF of 500 MCM cable for high side. Install 9 500 MCM lugs.	\$ 108,896	\$ 76,216	69.99%	Yes	No		
21	FM-0056972	Los Angeles	Metropolitan Courthouse	19-T1	2	Interior Finishes - Dept. 70 Cashier's Public stadium seating chairs are damaged, unrepairable and beyond their life expectancy. Seats need to be replaced as this is a safety issue for the public when trying to seat. Perform environmental testing and set up 30'W x 32' L x 8' H containment. Demo 101 existing damaged chairs, fill mounting holes and install 101 new American Seating Model 408 fiberglass seats and secure with epoxy.	\$ 78,669	\$ 74,374	94.54%	Yes	No		
22	FM-0052981	Los Angeles	East Los Angeles Courthouse	19-V1	2	Roof - Remove and replace existing failing roof system with new PVC roof system (30,625).	\$ 715,093	\$ 555,770	77.72%	Yes	No		
23	FM-0053554	Los Angeles	Pomona Courthouse South	19-W1	2	Roof - Remove and replace existing roof with new SBS roof system at main deck (23,220 sq. ft.), lower north deck (2,838 sq. ft.), and lower south deck (2,838 sq. ft.). Roofing metal will be replaced as needed.	\$ 682,895	\$ 622,391	91.14%	Yes	No		



JUDICIAL COUNCIL
OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

DRAFT

Trial Court Facility Modification
Funded Facility Modifications on Hold (List F)

6/1/2005 - 12/25/2015

Meeting Date 1/15/2016

	FM NUMBER	LOCATION	FACILITY NAME	BUILDING ID	PRIORITY	SHORT TITLE	TCFMAC FUNDED COST	FACILITY MODIFICATION PROGRAM SHARE OF COST	FACILITY MODIFICATION PROGRAM BUDGET % OF COST	SHARED COST APPROVED?	PM ASSIGNED?	OTHER HOLD REASON?	COMMENTS
24	FM-0056883	Los Angeles	Pomona Courthouse South	19-W1	2	HVAC - Due to age/corrosion Cold & Hot Water Coils for 3rd, 6th and 7th flr Air Handler Units are leaking and need to be replaced. Leaking coils have caused deterioration of condensation pans and floor drains; both will be replaced. Spring Isolators on AHU-5 require replacement. Perform environmental testing, set up containments. Install 10 new 680lb Fail Safe Spring isolators. Replace 2 cold water coils, 1 hot water coils with custom made coils. Replace condensate drain pans with custom units.	\$ 379,957	\$ 346,293	91.14%	Yes	No		
25	FM-0031644	Santa Barbara	Santa Maria Courts Campus	42-F	2	(Phase 2) Site - Parking lot safety issues - Remove and replace existing campus parking lot areas where sink holes have developed, compaction around under ground pipes is failing and asphalt deterioration has created trip hazards. Recompact, Repave & Restripe to comply with ADA standards; Sinkhole/Surface Damage. Approximate area of renovation is 82,300 S.F. which includes general parking as well as secured parking areas.	\$ 422,600	\$ 313,400	74.16%	No	Yes		Shared Cost for design phase approved.
26	FM-0040733	Solano	Hall of Justice	48-A1	2	EXECUTION -- Construct 1,070 lf of retaining wall, 525 lf of earthen berms, 575 lf of access ramps; install drainage pipe and 2 pumps to extract water trapped within the prevention area. \$1.7M was spent in 2005 for flood damage and \$146K was spent in FY 10/11 on flood prevention measures. Emergency exiting must be sealed during flood conditions.	\$ 1,211,241	\$ 882,026	72.82%	No	Yes		Shared Cost for design phase approved. Design effort is in work.
27	FM-0054960	Solano	Hall of Justice	48-A1	2	Roof - Replace roof. Phase II of existing/funded Phase I FM#50740.	\$ 1,341,198	\$ 976,660	72.82%	No	Yes		
							\$ 16,656,846	\$ 13,177,876					



JUDICIAL COUNCIL OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

Meeting Date: 1/15/2016

Discussion Item 3

Summary:

Overview of facility modification progress to build arraignment court in Placer County, previously funded by the committee in January 2015.

Supporting Documentation:

- Slides
- Drawing

Discussion Item 3

Update: Placer Superior Court Project

- FM-0044228 – Add Arraignment Court in new County Jail Facility – Funded Jan. 2015 - \$2.9M

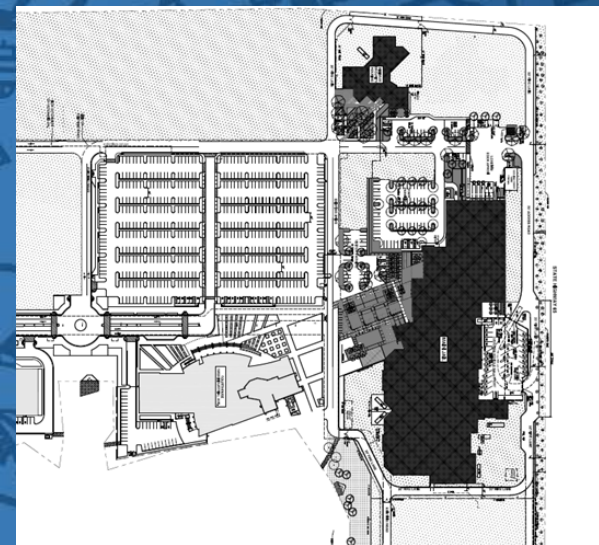


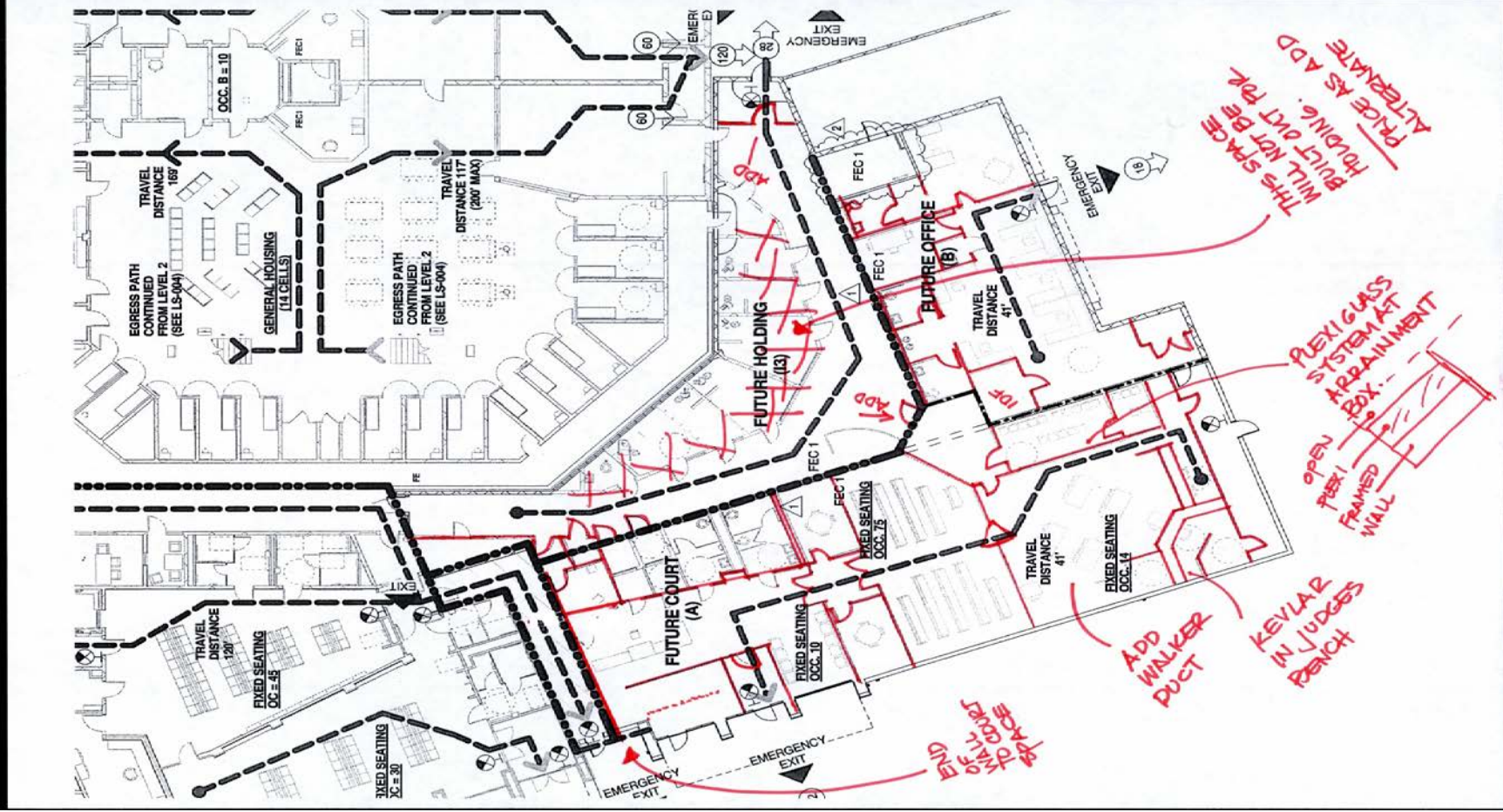
Address:
11801 Go For Broke Rd
Roseville, CA 95678

Type:
Courthouse

Building SF:
South Building: 114,648
Courtroom Addition: 10,080
Total South Building: 124,728
Court Area SF: 10,080 sf (shell)
space at the Placer South Jail.

Property Description and Comments:
Unimproved building shell located inside in, and part of, the New Placer South Jail.





Discussion Item 3

Update: Placer Superior Court Project

- Agreements drafted and in final review with Placer County
- Tentative schedule to be approved by Placer County Board of Supervisors in February 2016
- County confirms agreement of \$900,000 contribution for project, primarily holding area
- Construction to be completed December 2016
- County intends to move booking to new Jail in January 2017
- Court intends to start operations in New Arraignment court at the same time.



JUDICIAL COUNCIL OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

Meeting Date: 1/15/2016

Discussion Item 4

Summary:

Overview of Seismic Study findings previously introduced to the committee in April 2015.

Supporting Documentation:

- Slides

The seal of the Judicial Council of California is visible in the background on the right side of the slide. It features a central figure holding a scale and a sword, surrounded by the text "JUDICIAL COUNCIL OF CALIFORNIA" and "EUREKA" at the top. The year "1926" is at the bottom.

TCFMAC Meeting Topic, 15 January 2016:
Update of the 2002 – 2005 Seismic Study

EVALUATIONS OF COURT BUILDINGS
FOR SEISMIC SAFETY RISKS, IN
ACCORDANCE WITH THE TRIAL
COURT FACILITIES ACT OF 2002

Summary Report

Presentation Outline

- Summary of the Superior Courts of California, Seismic Assessment Program 2002-2005
- Description of Seismic Risk Levels Used
- Discussion of HAZUS Methodology
- Implementation of HAZUS Methodology by OSHPD and GSA
- Outline of Path Forward for JCC Using HAZUS Methodology to Update Seismic Ratings/Rankings
- Questions

Superior Courts of California Seismic Assessment Program

- In accordance with the Trial Court Facilities Act of 2002 (SB 1732), all non-exempt California Court Buildings were evaluated for seismic safety risks ‘using procedures developed by DGS’.
- A multi-step evaluation program was developed:
 - Initial screening workshop by experienced engineers,
 - Tier 1 Evaluation based on ASCE-31 methodology (including reviews of construction drawings and visits to the site),
 - Tier 2 Evaluation based on ASCE-31 methodology where warranted.

Superior Courts of California Seismic Assessment Program

- Structures passing were assigned Risk Level IV (or Better)
 - Structures failing were assigned Risk Level V (or Worse)
 - All findings were peer reviewed to ensure consistency
- 225 Court Buildings (300 separate structures) representing approx. 20 million gsf were evaluated
 - 72 were assigned Risk Level IV or Better
 - 228 were assigned Risk Level V or Worse (note that 81 of these are technically listed as Pending due to a lack of information which was subsequently pursued).

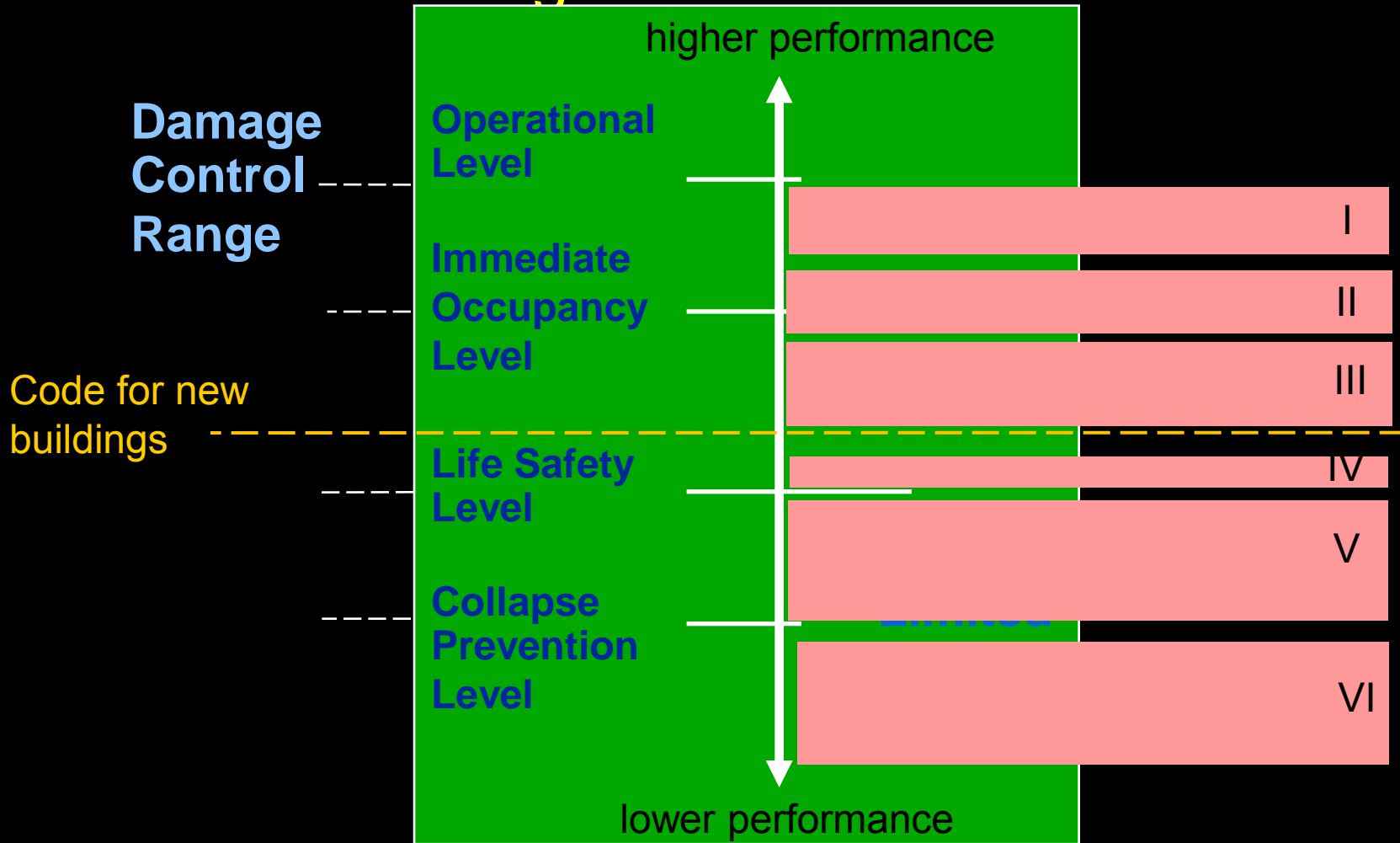
Superior Courts of California Seismic Assessment Program

III	Building:	Minor structural damage: repairable. Moderate non-structural damage: extensive repair.
	Risk to Life:	Minor
	Systems:	Disruption of systems for days to months.
	Occupancy:	Return within weeks, with minor disruptions.
IV	Building:	Moderate structural damage: substantial repair. Substantial non-structural damage: extensive repair.
	Risk to Life:	Moderate
	Systems:	Disruption of systems for months to years.
	Occupancy:	Partially to totally vacated during repairs.
V	Building:	Substantial structural damage: partial collapse likely: repair may not be cost effective. Extensive non-structural damage: repair may not be cost effective.
	Risk to Life:	Substantial.
	Systems:	Total disruption of systems: repair may not be cost effective.
	Occupancy:	Totally vacated during repairs.
VI	Building:	Extensive structural damage, partial to total collapse likely: repair may not be cost effective. Extensive non-structural damage: repair may not be cost effective.
	Risk to Life:	Extensive, but not imminent. Extrication protracted and difficult.
	Systems:	Total disruption of systems: repair may not be cost effective.
	Occupancy:	Totally vacated during repairs (if repairable).
VII	Building:	Unstable under existing vertical loads or earthquake.
	Risk to Life:	Imminent threat to occupants and/or adjacent property.
	Systems:	Total disruption of systems: most likely not repairable.
	Occupancy:	Should be vacated until structural upgrading is accomplished.

Per SB 1732, Risk Levels V to VII Represent an "Unacceptable Seismic Safety Rating"

Superior Courts of California Seismic Assessment Program

FEMA Building Performance Levels



Superior Courts of California Seismic Assessment Program

Level V buildings are not equally “dangerous”

- A building w/ an Unreinforced Masonry Bearing Wall (**URM**) system poses a higher risk compared to similar size building at same location with a Steel Moment Frame (**SMF**) system.
- A Pre-Northridge **SMF** building in **Santa Rosa** (high seismicity) has a higher risk compared to the same building in **San Diego** (lower seismicity).

HAZUS Methodology

HAZUS Methodology

- Starting in the 1970's, several communities performed seismic loss studies for emergency planning (and other reasons). Many different approaches were taken.
- FEMA wanted to develop a nationally applicable, consistent and more efficient method to conduct these studies.
- In the 1990's, the National Institute of Building Sciences was commissioned to develop such a method.
- An executive board was assembled to direct the development of this method, and they engaged consultants to support this effort.
- HAZUS (seismic) was launched in 1997. Flood & hurricane were added 2002-2005; AEBM (building-specific calculation of probability of collapse) was added in 2003.

HAZUS Methodology

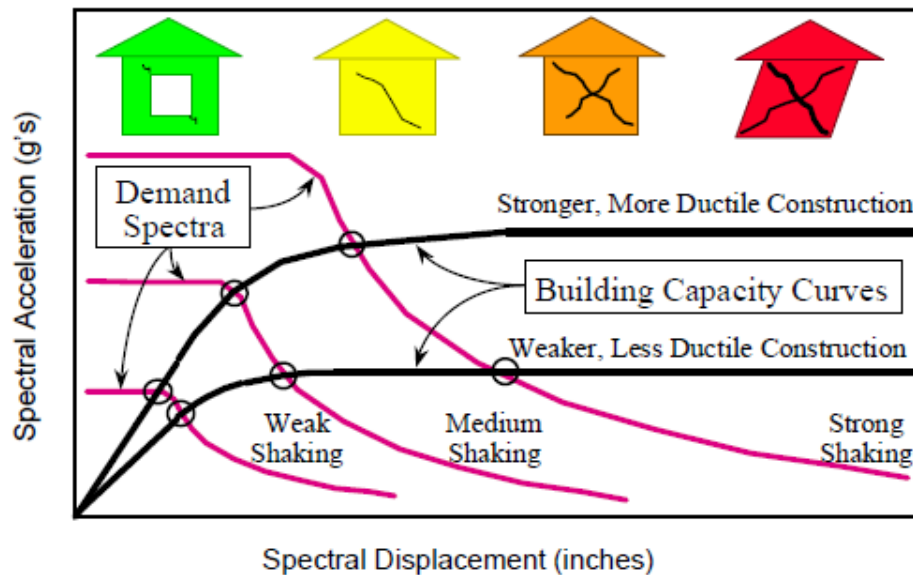
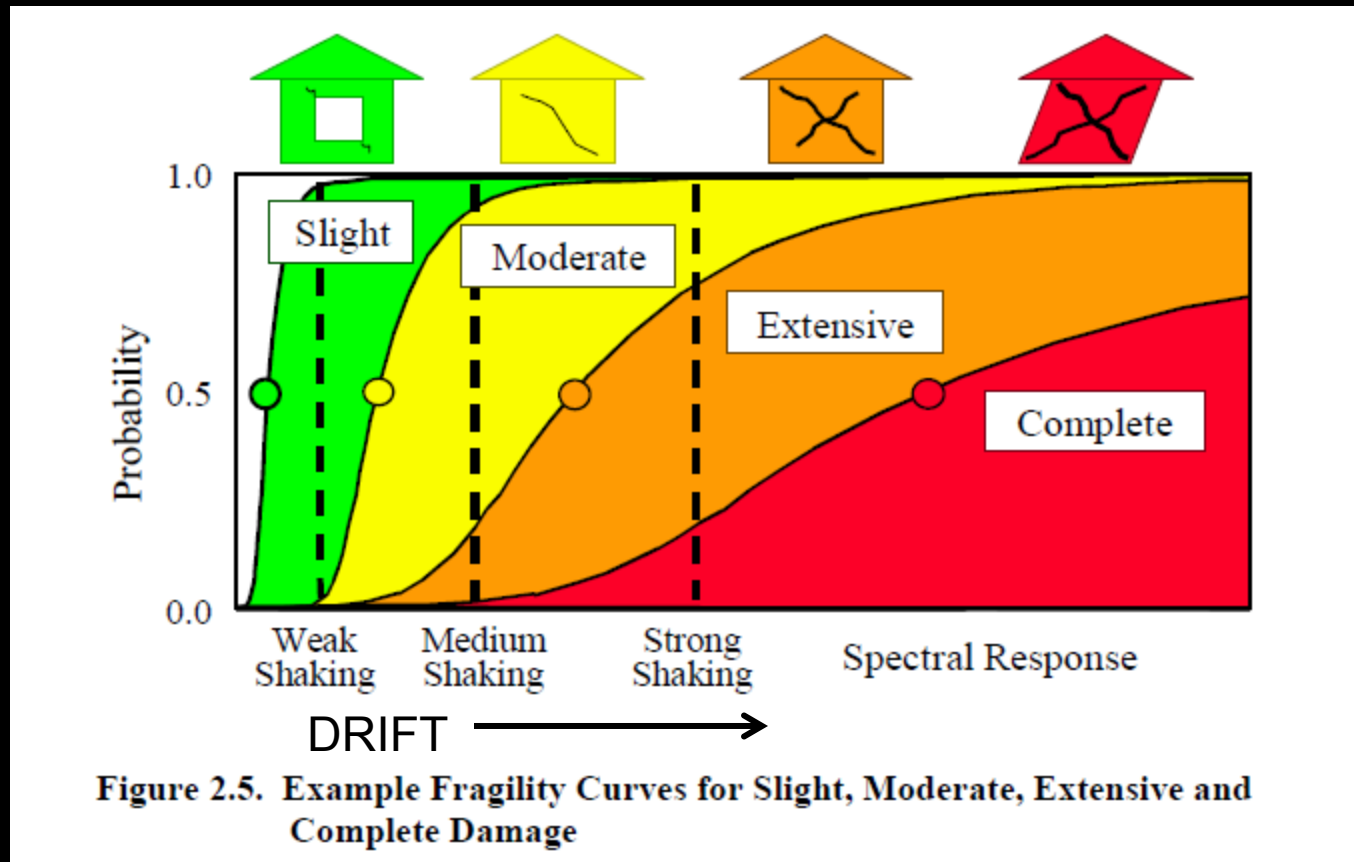


Figure 2.4. Example Intersection of Demand Spectra and Building Capacity Curves

- Define EQ Demand (red).
- Overlay EQ Demand over a “pushover curve” (black); the intersection gives a solution for structural displacement and acceleration.
- Structural displacement (drift) can be used to estimate structural damage using “fragility curves” (included within HAZUS program).

HAZUS Methodology

Drift is imposed on fragility curves to estimate structural damage



HAZUS program includes tables of fragilities for structural and non-structural damage for each FEMA Model Building Type

**Implementation of HAZUS AEBM
by OSHPD
(Prioritization of SPC-1 Buildings)**

Implementation of HAZUS AEBM by OSHPD

- Following the Northridge EQ, CA passed SB 1953 requiring all CA hospitals to meet new code requirements by 2030. Intermediate deadlines were also set.
- Many hospitals, particularly in the central valley (low seismicity), were missing deadlines.
- OSHPD wanted a relatively simple, consistent, and credible method to measure risk to justify a logical extension of deadlines.
 - **Determine Probability of Collapse (POC)** as a measure of risk to Life-Safety (to determine hospital retrofit priorities);
 - HAZUS was a national “standard” (for loss estimation);
 - ASCE 31 evaluations were available for each building;
 - Transfer functions (tables) were needed to interpret ASCE 31 results to create HAZUS “pushover” characterizations.

Implementation of HAZUS AEBM by OSHPD

“Reduction” parameters based on deficiencies from ASCE 31

Categories of HAZUS parameters 

Selected
ASCE 31
deficiencies




TABLE A6-1—SIGNIFICANT STRUCTURAL DEFICIENCY MATRIX

SIGNIFICANT STRUCTURAL DEFICIENCY/CONDITION ¹	CAPACITY		RESPONSE		STRUCTURAL DAMAGE - COMPLETE DAMAGE STATE						COLLAPSE	
	Over-Strength		Duration		Fragility Curve Median ⁴				Fragility Curve Variability - Beta Factor (β_c)		Collapse Factor ($P COL STR_s$)	
	Gamma and Lambda Factors		Degradation (Kappa) Factor		Maximum Story Drift Ratio (Δ_c)		Mode Shape (Alpha 3) Factor					
	SubBase	USB	SubBase	USB ⁵	SubBase	USB	SubBase	USB ⁶	SubBase	USB ⁵	SubBase	USB ⁶
Age (Pre-1933 buildings)	X	X ⁷										
Materials Testing (None)	X								X			
No Redundancy									X		X	X ⁶
Weak Story Irregularity					X		X	X ⁶			X	X ⁶
Soft Story Irregularity					X		X	X ⁶			X	X ⁶
Mass Irregularity					X							
Vertical Discontinuity	X				X							
Torsional Irregularity						X					X	X ⁶
Deflection Incompatibility ²					X				X		X	X ⁶
Short Column ³	X					X						
Wood Deterioration		X	X									
Steel Deterioration		X	X									
Concrete Deterioration		X	X									
Weak Column-Steel	X				X							
Weak Column-Concrete	X		X		X							
No Cripple Wall Bracing					X		X	X ⁶			X	X ⁶
Topping Slab	X		X						X		X	X ⁶
Inadequate Wall Anchorage/Parapet Bracing		X							X			
Load Path/Diaphragm Openings									X		X	X ⁶
URM Wall Thickness Ratio											X	X ⁶

Implementation of HAZUS AEBM by OSHPD

- Structural Engineer reviewed an existing ASCE 31 evaluation and extracted data required for HAZUS analysis. The report was submitted to OSHPD.
- For consistency and credibility, OSHPD ran the “official” calculation to determine **Probability of Collapse (POC)**.
- OSHPD ran 40 buildings that had been approved for an intermediate deadline and calculated their POC.
 - The highest POC in this set was used as a cut-off to justify the delay of retrofit (1.2%).
- Note that the POC should not be taken as an absolute value; it is useful as a relative means of comparison.

GSA Seismic Rating System

(HAZUS Methodology w/ OSHPD Modifications)

GSA Seismic Rating System (work in progress)

- In 1994, President Clinton signed Executive Order 12941, which led to the creation of the Interagency Committee on Seismic Safety in Construction (**ICSSC**).
- The ICSSC committee developed the Standard for Seismic Safety for Existing Federally Owned and Leased Buildings, currently ICSSC Recommended Practices 8 (**RP8**).
- RP8 references industry standard **ASCE 31-03** for evaluation and **ASCE 41-06** for seismic upgrading.
- All Government-owned buildings in GSA's inventory in **high seismic** areas and most in **moderate seismic** areas have been evaluated to RP8 or earlier versions of this Standard.

GSA Seismic Rating System (work in progress)

- As a result, most buildings in the GSA inventory have ASCE-31 (or 80% UBC force level) evaluations on file.
- These evaluations establish whether a building meets the desired standard or not; they do not address the level of risk for buildings not meeting the standard.
- GSA needed to develop a systematic methodology for assessing the seismic performance of individual buildings within their inventory and then rank them based upon this expected performance.

GSA seismic rating system (work in progress)

R+C was recently selected to perform the following tasks:

- Develop a seismic rating system that utilizes existing seismic evaluations.
 - The rating must be defensible and can be based on the 2013 California Administrative Code, Title 24, Part 1, Chapter 6, Section 1.8 **Collapse Probability Assessment** (OSHPD's Adaptation of HAZUS Methodology).
- Develop a database which includes a relative ranking of individual buildings.
- A key objective of this ranking is to prioritize retrofit funding.

SEISMIC RISK CALCULATOR

INPUT

Site Seismicity		
BSE2E-S _{D5}	0.188	g
BSE2E-S _{D1}	0.073	g
Long Period Transition period (T _L)	6	s
Minimum distance to fault	279.8	km
Maximum magnitude	6.63	
Building Height	0	ft
Stories Above Base	16	
Design Year	1965	
State	NJ	
UBC Seismic Zone	2A	
Building Type	S1	
C _s	0	
T _e	0	
seismic design level	0	
Significant Structural Deficiency or Condition		
Age (Pre-1933 buildings)	FALSE	
No Redundancy	FALSE	
Weak Story Irregularity	FALSE	
Soft Story Irregularity	FALSE	
Mass Irregularity	FALSE	
Vertical Discontinuity	FALSE	
Torsional Irregularity	FALSE	
Deflection Incompatibility	FALSE	
Short Column	FALSE	
Wood Deterioration	FALSE	
Steel Deterioration	FALSE	
Concrete Deterioration	FALSE	
Weak Column - Steel	FALSE	
Weak Column - Concrete	FALSE	
No Cripple Wall Bracing	FALSE	
Topping Slab Missing	FALSE	
Inadequate Wall Anchorage	FALSE	
Load Path Deficiency	TRUE	
URM wall height to thickness ratio	FALSE	
URM parapets	FALSE	
Openings in diaphragm at shear walls	FALSE	

GSA SEISMIC RISK RATING (SRR)

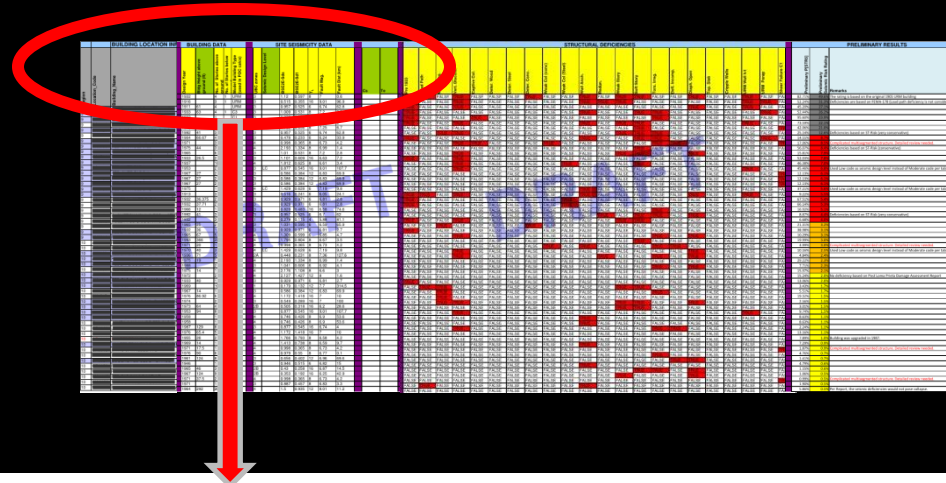
HAZUS Methodology W/ OSHPD Modifications

SRR for each building is based on Probability of Collapse (POC) Values calculated based on following parameters:

- Structural Capacity of each building
- Seismic Hazard Level at each site (BSE-2E, BSE-2, etc.)
- Significant Structural Deficiencies that influence structural capacity and building response

GSA Seismic Rating System (work in progress)

Database



BUILDING LOCATION INFORMATION					NG USE	BUILDING DATA				SITE SEISMICITY DATA									
Region	Location_Code	Building_Name	City	State	Building_GSF	Design_Year	Bldg_Height_above_ground_(ft)	No_of_Stories_above_ground	No_of_Stories_below	Model_Building_Type (used in POC calcs)	UBC_zones	Seismic_Design_Level	BSE2E-Sds	BSE2E-Sd1	T _L	Fault_Mag.	Fault_Dist_(km)	C _s	T _e
						1932		4	1	URM	3		1.12	0.597	8	7	0.6		
						1916		3	1	URM	3		0.515	0.355	16	9.01	96.9		
						1911	61	4		URM	3		0.957	0.525	6	6.74	62.8		
						1933	63	4	1	C3	3		1.009	0.531	8	7.2	2.5		
						1932		1		C1	3		0.929	0.971	6	6.81	2.7		
						1933		8	1	S5	3		0.878	0.548	16	6.74	2		
						1970		6		C1	4		1.192	0.656	8	7.25	6.7		

GSA Seismic Rating System (work in progress)

Database

The screenshot shows a software interface with a data table. A red oval highlights a section of columns in the table, and a red arrow points from this section down to the table below.

STRUCTURAL DEFICIENCIES

Pre 1933	Load Path	Mass Irreg.	Vert. Discont.	Captive Col.	Deter. Wood	Deter. Steel	Deter. Conc.	Weak Col (conc)	Weak Col (Steel)	Wall Anch.	Redun.	Weak Story	Soft Story	Tors. Irreg.	Defl. Incomp.	Diaph. Open	Top. Slab	Cripple Walls	URM Wall h/t	URM Parap	Shear Failure C1 building only
TRUE	TRUE	FALSE	TRUE	FALSE	FALSE	FALSE	TRUE	FALSE	FALSE	TRUE	FALSE	TRUE	TRUE	FALSE	FALSE	TRUE	FALSE	FALSE	TRUE	FALSE	FALSE
TRUE	FALSE	FALSE	TRUE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	TRUE	TRUE	TRUE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	TRUE	TRUE	FALSE
TRUE	FALSE	FALSE	TRUE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	TRUE	FALSE	FALSE	TRUE	FALSE	FALSE
TRUE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	TRUE	FALSE	FALSE	TRUE	TRUE	FALSE	FALSE	FALSE	FALSE	FALSE	TRUE	FALSE
TRUE	FALSE	FALSE	TRUE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	TRUE	FALSE	FALSE
FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	TRUE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	TRUE
FALSE	FALSE	TRUE	TRUE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	TRUE	TRUE	TRUE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE
TRUE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	TRUE	FALSE	FALSE	TRUE	TRUE	FALSE	FALSE	FALSE	FALSE	FALSE	TRUE	FALSE
FALSE	FALSE	FALSE	TRUE	TRUE	FALSE	FALSE	FALSE	TRUE	FALSE	FALSE	FALSE	FALSE	FALSE	TRUE	TRUE	FALSE	FALSE	FALSE	FALSE	FALSE	TRUE
FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	TRUE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE
FALSE	FALSE	FALSE	TRUE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	FALSE	TRUE	TRUE	FALSE	FALSE	TRUE	FALSE	FALSE	FALSE	FALSE	FALSE

GSA Seismic Rating System (work in progress)

Database

PRELIMINARY RESULTS

PRELIMINARY RESULTS		
Preliminary P[STR5]	Preliminary Seismic Risk Rating	Remarks
82.71%	49.6%	The rating is based on the original 1905 URM building
52.24%	31.3%	Deficiencies are based on FEMA-178 (Load path deficiency is not considered).
45.20%	27.1%	
52.44%	26.2%	
95.60%	23.9%	
73.59%	22.1%	
42.06%	21.0%	
25.14%	12.6%	Deficiencies based on ST-Risk (very conservative)
14.55%	8.7%	
17.06%	8.5%	Complicated multisegmented structure. Detailed review needed.
56.07%	8.4%	Deficiencies based on ST-Risk (conservative)
15.81%	7.9%	

Seismic Risk Rating



GSA seismic rating system (work in progress)

Categories of seismic ratings (in progress):

- **Green**: Building meeting Seismic Safety Standards
- **Yellow / Orange**: Buildings not meeting the RP8 Seismic Standard, but of lower priority for retrofit compared to the others.
- **Red**: Buildings of High Risk recommended as a priority for action.
- **Black**: Buildings of Exceptional High Risk Hazard recommended as the highest priority for action (e.g. within 5 years).

BUILDING LOCATION INFO			PRELIMINARY RESULTS		
Region	Location Code	Building Name	Preliminary P[STRS]	Preliminary Seismic Risk Rating	Remarks
B			82.71%	49.6%	The rating is based on the original 1905 URM building
B			52.24%	31.3%	Deficiencies are based on FEMA-178 (Load path deficiency is not considered).
B			45.20%	27.1%	
B			52.44%	26.2%	
B			95.60%	23.9%	
B			73.59%	22.1%	
B			42.06%	21.0%	
B			25.14%	12.6%	Deficiencies based on ST-Risk (very conservative)
B			14.55%	8.2%	
B			17.06%	8.5%	Complicated multisegmented structure. Detailed review needed.
B			56.07%	8.4%	Deficiencies based on ST-Risk (conservative)
B			15.81%	7.9%	
B			52.03%	7.8%	
B			46.38%	7.0%	
B			45.46%	6.8%	Used Low code as seismic design level instead of Moderate code per table
B			12.13%	6.3%	
B			12.13%	6.3%	
B			12.13%	6.3%	
B			37.21%	5.6%	Used Low code as seismic design level instead of Moderate code per table
B			9.22%	5.3%	
B			67.51%	5.4%	
B			66.14%	5.3%	
B			16.92%	5.1%	
B			8.87%	4.4%	Deficiencies based on ST-Risk (very conservative)
B			6.68%	4.0%	
B			21.31%	3.2%	
B			38.98%	3.1%	
B			10.29%	3.1%	
B			19.99%	3.0%	
10			4.99%	3.0%	Complicated multisegmented structure. Detailed review needed.
10			10.16%	2.5%	Used Low code as seismic design level instead of Moderate code per table
10			4.84%	2.4%	
10			29.22%	2.3%	
10			7.71%	2.3%	
10			15.97%	2.3%	
10			15.24%	2.0%	No deficiency based on Post Loma Prieta Damage Assessment Report
10			13.06%	2.0%	
10			3.43%	1.7%	
10			5.51%	1.7%	
10			19.32%	1.5%	
10			2.56%	1.5%	
10			3.01%	1.5%	
10			9.74%	1.5%	
10			8.63%	1.1%	
10			8.63%	1.1%	
10			2.24%	1.1%	
10			13.16%	1.1%	
10			7.89%	1.0%	Building was upgraded in 1987.
10			7.29%	0.9%	
10			1.87%	0.9%	Complicated multisegmented structure. Detailed review needed.
10			4.76%	0.7%	
10			1.41%	0.7%	
10			4.79%	0.6%	
10			1.15%	0.6%	
10			1.06%	0.5%	
10			0.99%	0.5%	Complicated multisegmented structure. Detailed review needed.
10			1.90%	0.5%	
10			5.86%	0.5%	Per Report, the seismic deficiencies would not pose collapse.

**Outline of Path Forward for JCC
Using HAZUS Methodology to
Update Seismic Ratings/Rankings**

Outline of Path Forward for JCC

- Create a database of building information drawing largely from the information gathered and generated for the 2003-2005 seismic evaluations, including:
 - Key building/structure information (size, age, structural system, etc.),
 - Identification of critical seismic deficiencies, and
 - Other parameters that influence structural strength and response.
- Determine the Site-Specific Seismic Hazard:
 - Spectral Response Accelerations,
 - Distance to Governing Fault, and
 - Magnitude of Governing Fault.
- Using the Collapse Probability (CPA) Tool recently developed for the GSA:
 - Perform calibration test runs using building information from the JCC database,
 - Review the results for appropriateness and make refinements to the CPA Tool as may be warranted.

Outline of Path Forward for JCC

- Following from the above, use the CPA Tool to establish a preliminary Seismic Risk Rating (SRR) for each building/structure in the JCC database, and then group the structures into categories - possibly Yellow, Red, and Black - based upon their SRR scores which relate to recommended time frames for follow-up action.
- Submit a draft of the findings to the JCC for review, including a graphic which superimposes the JCC's buildings with their SRR on a map of California showing the major fault lines for reference; meet to discuss the findings.
- Finalize the submittal products and present them in a close-out meeting with the JCC.



JUDICIAL COUNCIL OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

Meeting Date: 1/15/2016

Discussion Item 5

Summary:

Update on revisions to Prioritization Methodology/Implementation Guideline.

Supporting Documentation:

- Slide

Discussion Item 5

Update: Prioritization Methodology

- Implementation Guideline
 - FM Policy
 - Guidelines/Protocols
 - CFR Procedure



JUDICIAL COUNCIL OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

Meeting Date: 1/15/2016

Information Only Item 1

Summary:

Informational report on FY 15-16 Q2 expenditures from CFTF.

Supporting Documentation:

- Expenditures document

Court Facilities Trust Fund
Quarterly Report of FY 2015-16 Year-to-Date Revenues and Expenditures

	Projected as of 7/1/2015	Actual as of 12/31/2015
Excess Cash Carryover from prior year	12,291,251	12,291,251

Revenue Sources	Estimated Revenue	Revenue	% Revenue Received
County Facilities Payment	96,147,818	55,568,791	57.80%
Rental Revenue	7,553,950	1,746,097	23.12%
General Fund Transfer	8,053,000	8,053,000	100.00%
Night Court Fees	2,213,000	601,093	27.16%
Surplus Money Investment Fund	45,000	40,135	89.19%
Miscellaneous Revenue	4,000	49,495	1237.38%
Total Revenue	114,016,768	66,058,612	57.94%
Total Resources Available	126,308,019	78,349,863	62.03%

Expenditure Categories	Budget Allocation	Expenditures ¹	Budget Balance	% Expended
Judicial Council Managed Expenditures				
Routine Maintenance	43,284,469	12,868,625	30,415,844	29.73%
Non-Reimbursement	37,574,331	11,315,889	26,258,442	30.12%
Reimbursement	5,710,138	1,552,736	4,157,402	27.19%
Utilities	20,605,482	8,694,499	11,910,983	42.20%
Non-Reimbursement	17,315,620	7,460,834	9,854,786	43.09%
Reimbursement	3,289,862	1,233,665	2,056,197	37.50%
Rent	13,857,360	7,286,893	6,570,467	52.59%
Non-Reimbursement	13,857,360	7,286,893	6,570,467	52.59%
Insurance	1,000,000	301,101	698,899	30.11%
Non-Reimbursement	1,000,000	301,101	698,899	30.11%
Total Judicial Council Managed	78,747,311	29,151,119	49,596,192	37.02%
Total Non-Reimbursement	69,747,311	26,364,718	43,382,593	37.80%
Total Reimbursement	9,000,000	2,786,401	6,213,599	30.96%
Court Delegated Expenditures				
Routine Maintenance	4,009,491	1,974,745	2,034,746	49.25%
Total Court Delegated	4,009,491	1,974,745	2,034,746	49.25%
County Managed Expenditures				
Routine Maintenance	7,572,253	3,094,925	4,477,328	40.87%
Utilities	33,112,830	9,095,275	24,017,555	27.47%
Rent	2,383,076	1,496,014	887,062	62.78%
Insurance	938,820	187,399	751,421	19.96%
Total County Managed	44,006,979	13,873,614	30,133,365	31.53%
Total Expenditures	126,763,781	44,999,478	81,764,303	35.50%
<i>Less Reimbursements</i>	<i>-9,000,000</i>	<i>-2,786,401</i>	<i>-6,213,599</i>	30.96%
Total Expenditures Less Reimbursements	117,763,781	42,213,077	75,550,704	35.85%

1. Reflects expenditures posted to financial system as of December 31, 2015. Due to lag in receipt and processing of invoices the expenditure values will not reflect all costs for services provided through the reporting period.



JUDICIAL COUNCIL OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

Meeting Date: 1/15/2016

Information Only Item 2

Summary:

Informational report on FY 15-16 budget reconciliation and spending plan, as well as completed and canceled facility modifications during the reporting period.

Supporting Documentation:

- Budget reconciliation document



JUDICIAL COUNCIL OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION ADVISORY COMMITTEE

Meeting Date: January 15, 2016

Facility Modifications Completed and Canceled

During the January reporting period 161 facility modifications funded over multiple fiscal years were completed. Collectively, the actual costs were under budget of the original estimated amounts by approximately 16%. For this fiscal year there were 18 funded projects that were canceled. There were 136 FY 15-16 projects closed out with an aggregate savings of \$294,308.

REPORTING PERIOD STATUS	Quantity	Estimated Cost of FM Program Budget Share	Actual Cost of FM Program Budget Share	% of Estimated Cost
Completed	161	\$2,900,435	\$2,429,417	84%
Funded FMs Canceled	18	\$118,015	N/A	N/A
Non-Funded FMs Canceled	13	N/A	N/A	N/A

CURRENT YEAR STATUS	Quantity	Cost Adjustment to Current Year FM Program Budget
Completed	136	\$294,308
Canceled	1	\$111,795
TOTAL COST ADJUSTMENT		\$406,103

FY 2015-2016 FM Budget YTD Reconciliation

The first meeting of the year in July 2015 included initial encumbrances, as well as for the approved FMs over \$50,000 and cost increases greater than \$50,000. The remaining available funds for facility modifications before the January 15th meeting is \$9,451,000.

FY 2015-2016 (\$1,000s)			
Description	Budget Amount	Reconciled Expenditure	Funds Available
Statewide FM Planning Allocation	\$4,000	\$4,000	\$0
Priority 1 FM Allocation	\$10,000	\$10,000	\$0
FMs Less Than \$50K Allocation	\$8,000	\$8,000	\$0
Planned FMs Allocation	\$2,900	\$2,900	\$0
Priority 2-6 FMs Allocation	\$40,100	\$30,649	\$9,451
TOTALS:	\$65,000	\$55,549	\$9,451



JUDICIAL COUNCIL OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION ADVISORY COMMITTEE

Meeting Date: January 15, 2016

FY 2015-2016 FM Budget Spending Plan

Based on the recommended project funding for this meeting we anticipate an expenditure of \$3.1 million at this meeting, including energy efficiency projects. The FMs that were approved by the committee but remained unfunded due to lack of county shared funding commitments have since been funded as P1 projects.

FY 2015-2016 Spending Plan (\$1,000s)	
Month/Item	Spending
JUL 2015 (approved 7/17)	\$31,330
AUG 2015 (approved 8/31)	\$4,624
OCT 2015 (approved 10/23)	\$11,669
DEC 2015 (approved 12/7)	\$5,026
JAN 2016	\$2,990
FEB 2016	\$2,000
APR 2016	\$2,261
MAY 2016	\$2,000
Energy Efficiency – JAN 2016	\$140
Energy Efficiency – APRIL 2016	\$1,860
Approved Projects Pending Funds	\$1,100
TOTAL	\$65,000



JUDICIAL COUNCIL OF CALIFORNIA

TRIAL COURT FACILITY MODIFICATION
ADVISORY COMMITTEE

Meeting Date: 1/15/2016

Information Only Item 3

Summary:

Memorandum from Judge So for all JCC committees on the timelines associated with the submittal of legislative proposals for possible Judicial Council sponsorship in 2017, together with the timeline for this year.

Supporting Documentation:

- Memo



JUDICIAL COUNCIL OF CALIFORNIA

770 L Street, Suite 1240 • Sacramento, California 95814-3368
Telephone 916-323-3121 • Fax 916-323-4347 • TDD 415-865-4272

MEMORANDUM

Date	Action Requested
January 5, 2016	Please review
To	Deadline
Advisory Committee Chairs and Staff	N/A
From	Contact
Hon. Kenneth K. So, Chair	Laura Speed, Principal Manager
Policy Coordination and Liaison	916-323-3121 phone
Committee	laura.speed@jud.ca.gov
Subject	
Deadlines for Judicial Council-Sponsored	
Legislation	

As Chair of the Judicial Council's Policy Coordination and Liaison Committee, I am writing to advise you of the timelines and process for developing potential proposals for Judicial Council-sponsored legislation. Each year, the council sponsors bills that seek to improve the administration of justice in California and assist, where needed, in accomplishing branchwide goals and objectives. Judicial Council advisory committees are ideally positioned to identify and develop proposals for statutory change given committee members' extensive expertise in the committee's subject area.

In order to meet the deadlines for developing, refining, circulating, and revising proposals for possible Judicial Council sponsorship in 2017, your committee should be developing proposals in January - March of this year. The timeline for the development of sponsored legislation is attached for your reference.

Judicial Council directive 23 seeks to identify legislative requirements that impose unnecessary reporting or other mandates on the courts and the Judicial Council and make appropriate efforts to repeal such mandates. When considering possible sponsorship proposals, please keep this directive in mind and assist Governmental Affairs in identifying items that should be repealed.

January 5, 2016
Page 2

Please contact your advisory committee staff, or Laura Speed in Governmental Affairs at 916-323-3121, if you have any questions. Thank you.

Calendar for Judicial Council–Sponsored Legislation

	Advisory Committee Staff Due Date
<p>Proposal development Advisory committee, in consultation with Governmental Affairs staff, develops proposals for Judicial Council–sponsored legislation.</p>	January–March 2016
<p>Proposals to Governmental Affairs Staff Advisory committee staff forwards draft Invitations to Comment to Governmental Affairs staff for review before submission to the Policy Coordination and Liaison Committee (PCLC).</p> <p>Governmental Affairs staff, in consultation with advisory committee staff, finalizes Invitations for Comment and submits them to PCLC.</p>	<p>March 11, 2016</p> <p>March 28, 2016</p>
<p>PCLC meeting to review Invitations to Comment PCLC determines if proposals may be circulated for public comment.</p>	April 7, 2016
<p>Posting to the Website Governmental Affairs staff sends approved ITC to Advisory Committee staff (AC) and AC staff sends approved ITC’s to Camilla Kieliger for posting to the website for public comment.</p>	April 8, 2016
<p>Comment period Advisory committee staff, in consultation with GA staff, circulates draft Judicial Council–sponsored legislation proposals to interested and affected parties.</p>	April 15–June 14, 2016
<p>Staff consultation Advisory committee staff consults with GA staff regarding responses to comments and further development of proposals for Judicial Council–sponsored legislation.</p>	June–August 2016
<p>Final proposals for Judicial Council-sponsorship sent to PCLC</p>	October 13, 2016
<p>PCLC meeting to review proposals for possible Judicial Council-sponsorship</p>	<p>October 27, 2016 <i>In person meeting</i></p>
<p>Judicial Council meeting Judicial Council takes action on proposals for Judicial Council–sponsored legislation for upcoming legislative year.</p>	December 16, 2016