

Meeting Binder for the Court Facilities Advisory Committee

OPEN MEETING

JUNE 17, 2022



JUDICIAL COUNCIL
OF CALIFORNIA

ADMINISTRATIVE DIVISION
FACILITIES SERVICES



**Court Facilities Advisory Committee
Open Meeting**

June 17, 2022

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JUDICIAL COUNCIL OF CALIFORNIA

COURT FACILITIES
ADVISORY COMMITTEE

www.courts.ca.gov/cfac.htm
cfac@jud.ca.gov

Request for ADA accommodations
should be made at least three business
days before the meeting and directed to:
JCCAccessCoordinator@jud.ca.gov

COURT FACILITIES ADVISORY COMMITTEE

NOTICE AND AGENDA OF OPEN MEETING

Open to the Public (Cal. Rules of Court, rule 10.75(c)(1) and (e)(1))

THIS MEETING IS BEING CONDUCTED BY VIDEOCONFERENCE

THIS MEETING IS BEING RECORDED

Date: June 17, 2022
Time: 12:00 p.m. – 2:00 p.m.
Public Videocast: <https://jcc.granicus.com/player/event/1820>

Meeting materials will be posted on the advisory body web page on the California Courts website at least three business days before the meeting.

Members of the public seeking to make a recording of the meeting must submit a written request at least two business days before the meeting. Requests can be e-mailed to cfac@jud.ca.gov.

Agenda items are numbered for identification purposes only and will not necessarily be considered in the indicated order.

I. OPEN MEETING (CAL. RULES OF COURT, RULE 10.75(C)(1))

Call to Order and Roll Call

Approval of Minutes

Approve the minutes of the Court Facilities Advisory Committee's (CFAC) meetings on May 26 and June 7, 2022.

II. PUBLIC COMMENT (CAL. RULES OF COURT, RULE 10.75(K)(1))

This meeting will be conducted by videoconference with a livestream available for the public. As such, the public may submit comments for this meeting only in writing. In accordance with California Rules of Court, rule 10.75(k)(1), written comments pertaining to any agenda item of a regularly noticed open meeting can be submitted up to one complete business day before the meeting. For this specific meeting, comments should be e-mailed to cfac@jud.ca.gov or mailed or delivered to 455 Golden Gate Avenue, San Francisco, CA 94102, attention: Chris Magnusson. Only written comments received by 12:00 PM on June 16, 2022, will be provided to advisory body members prior to the start of the meeting.

III. DISCUSSION AND POSSIBLE ACTION ITEMS (ITEMS 1-3)

Item 1

Director's Report (No Action Required – Information Only)

Discussion of issues affecting the judicial branch courthouse construction program.

Presenter: Ms. Pella McCormick, Director, Judicial Council Facilities Services

Item 2

Court of Appeal, Sixth Appellate District: New Courthouse Study Review (Action Required)

Continued discussion of feasibility study findings from the CFAC meeting on May 26, 2022, for a recommended project option.

Presenter: Ms. Kim Bobic, Senior Project Manager, Judicial Council Facilities Services

Item 3

Nevada – Nevada City Courthouse: Project Study Review (Action Required)

Continued discussion of the project's study findings from the CFAC meeting on May 26, 2022, for selection of a project option.

Presenters: Mr. Craig Evans, Project Manager, Judicial Council Facilities Services
Mr. Alan Bright, Senior Principal, HOK

IV. ADJOURNMENT

Adjourn



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COURT FACILITIES ADVISORY COMMITTEE

MINUTES OF OPEN MEETING WITH CLOSED SESSION

May 26, 2022

10:00 a.m. – 2:00 p.m.

Judicial Council of California – San Francisco Office

Advisory Body Members Present: Hon. Brad R. Hill, Chair
Hon. Patricia M. Lucas, Vice-Chair
Hon. JoAnn M. Bicego
Hon. Donald Cole Byrd (by video)
Mr. Anthony P. Capozzi (by video)
Mr. Stephan Castellanos, FAIA (by video)
Hon. Keith D. Davis (Ret.)
Hon. Robert D. Foiles (by video)
Ms. Melissa Fowler-Bradley
Hon. William F. Highberger (by video)
Hon. Steven E. Jahr (Ret.)
Hon. Gary R. Orozco
Ms. Linda Romero Soles
Mr. Larry Spikes
Hon. Robert J. Trentacosta (by video)
Mr. Thomas J. Warwick, Jr. (by video)

Advisory Body Members Absent: Hon. David Edwin Power (Ret.)

Others Present: The following Judicial Council staff/others were present:

Hon. S. Robert Tice-Raskin, Presiding Judge, Superior Court of Nevada County
Hon. Linda J. Sloven, Assistant Presiding Judge, Superior Court of Nevada County (by video)
Hon. B. Scott Thomsen, Judge, Superior Court of Nevada County (by video)
Mr. Jason Galkin, Court Executive Officer, Superior Court of Nevada County
Mr. Alan Bright, Senior Principal, HOK
Mr. David Crotty, Principal, HOK
Ms. Analyn Apan, Vice President, MGAC (by video)
Ms. Dena Belzer, President, Strategic Economics, Inc. (by video)
Hon. Mary J. Greenwood, Administrative Presiding Justice, Court of Appeal, Sixth Appellate District (by video)
Mr. Baltazar Vazquez, Clerk/Executive Officer, Court of Appeal, Sixth Appellate District (by video)
Mr. Adam Padua, Senior Associate, Moore Ruble Yudell | Architects & Planners (by video)
Hon. Jeanine B. Nadel, Presiding Judge, Superior Court of Mendocino County (by video)
Ms. Kim Turner, Court Executive Officer, Superior Court of Mendocino County
Mr. Jeff Fuller, Associate Vice President, CannonDesign
Mr. Praful Kulkarni, Principal/Director of Integrated Services, CannonDesign
Mr. Michael LeBoeuf, Director of Design, Silling Architects
Mr. Tom Potts, President, Silling Architects
Mr. Kevin J. Lane, Clerk/Executive Officer and CJER Liaison, Court of Appeal, Fourth Appellate District (by video)
Mr. Tamer Ahmed, Deputy Director, Facilities Services
Ms. Kim Bobic, Senior Project Manager, Facilities Services
Mr. Jack Collins, Manager, Facilities Services (by video)
Mr. Ed Ellestad, Supervisor, Facilities Services
Mr. Craig Evans, Project Manager, Facilities Services
Ms. Rose Livingston, Senior Analyst, Executive Office (by video)
Mr. Chris Magnusson, Supervisor, Facilities Services
Ms. Pella McCormick, Director, Facilities Services (by video)
Ms. Mimi Morris, Principal Manager, Facilities Services (by video)
Mr. Bruce Newman, Senior Facilities Analyst, Facilities Services (by video)
Ms. Deepika Padam, Manager, Facilities Services (by video)
Ms. Akilah Robinson, Associate Analyst, Facilities Services
Mr. Robert Shue, Project Manager, Facilities Services
Mr. Jagandeep Singh, Principal Manager, Facilities Services
Ms. Lynette Stephens, Senior Budget Analyst, Budget Services (by video)
Ms. Maggie Stern, Attorney II, Legal Services
Ms. Peggy Symons, Manager, Facilities Services (by video)
Mr. Zlatko Theodorovic, Deputy Director, Budget Services (by video)
Mr. John Wordlaw, Chief Administrative Officer, Executive Office (by video)

OPEN MEETING

Call to Order, Roll Call, and Opening Remarks

The chair called the open meeting to order at 10:00 a.m., roll was taken, and opening remarks were made.

Approval of Minutes

The advisory committee voted—with abstention of members absent from the meeting and exceptions of judges Donald Cole Byrd and William F. Highberger, as Ex-Officio, non-voting members—to approve the minutes of its meeting held on April 19, 2022.

DISCUSSION AND ACTION ITEMS (ITEMS 1–4)

Item 1

Director’s Report (No Action – Information Only)

Summary: The Court Facilities Advisory Committee (CFAC) received an update from Mr. Tamer Ahmed on the following topics:

2022–23 Budget:

- The Governor’s Budget included eight capital projects—three in-progress for Butte, Mendocino, and San Bernardino superior courts and five that are new for Fresno, Los Angeles, Plumas, San Luis Obispo, and Solano superior courts.
- The May Revision included proposals for the following:
 - Facility space needs for 23 new judgeships;
 - California Construction Cost Index (CCCI) increases for four projects (for Butte, Lake, Mendocino, and Stanislaus superior courts);
 - Funds shifting from lease revenue bonds to the General Fund for construction phases of two projects (for Imperial and Shasta superior courts); and
 - Reappropriation of funds for three projects (for Butte, Monterey, and San Bernardino superior courts).
- During 2021, the CCCI increased 13.4 percent, and it has increased an additional 9.23 percent from January to April 2022.

2023–24 Budget:

- Planning has started for FY 2023–24 with capital project concepts approved by the Judicial Council’s Judicial Branch Budget Committee on May 18, 2022.
- Project funding request sequencing follows the council’s statewide list and five-year plan for capital projects, with state Department of Finance adjustments aligned with the state’s financial position at the end of 2022 and reflected in the 2023–24 Governor’s Budget.

Market Trends:

- Supply chain and commodity market instability are having a direct impact on the current project’s schedules and costs.

- Market pressures including increased costs for energy, raw materials, and commodities are affecting construction component availability and pricing:
 - Construction materials prices increased 37 percent since the start of the pandemic in April 2020 including an increase of almost 21 percent during 2021.
- Shipping and logistic bottlenecks have limited and delayed the supply of critical building infrastructure, especially mechanical, electrical, plumbing, and technology system components. Most MEP and IT items are experiencing lead times of 6 to 12 months (or longer) owing to nonavailability of microchips.
- The labor market has a shortage of craftsmen, and recent industry polls consistently rank the shortage of skilled labor as the primary risk factor for completing projects on time and on budget.
- Several courthouse capital projects are potentially delayed owing to missing components affecting sequence of construction and commissioning of buildings. Staff is working diligently with Construction Managers at Risk to mitigate delays and minimize cost impacts.

Upcoming Milestones:

- The next CFAC meeting is scheduled as a videoconference on June 7, 2022. Anticipated agenda items include review and action on the five-year infrastructure plan for FY 2023–24 for project funding requests.
- To provide sufficient review of today’s Discussion items, a second CFAC videoconference has been scheduled for June 17, 2022, including a decision needed on which of the three Nevada City Courthouse project options should be included in the five-year infrastructure plan for FY 2023–24.

Action: The advisory committee took no action, as this item had only been presented for informational purposes.

Item 2

Nevada—Nevada City Courthouse: Project Study Review (No Action – Information Only)

Summary: The CFAC received a presentation of the capital project’s planning study findings.

Prior to the start of the presentation of the planning study findings, Hon. S. Robert Tice-Raskin, Presiding Judge of the Superior Court of Nevada County, made remarks that are captured verbatim in the materials (Tab 3G) for this item.

Consistent with the materials (Tabs 3A–B) for Item 2 of the agenda, which were posted online for public viewing in advance of the meeting and available at www.courts.ca.gov/documents/cfac-20220526-materials.pdf, Mr. Craig Evans presented slides 1–6, Mr. David Crotty presented slides 7–28 and 88–99, and Mr. Alan Bright presented slides 29–87.

Action: The advisory committee took no action, as this item had only been presented for informational purposes.

Item 3

Court of Appeal, Sixth Appellate District: New Courthouse Study Review (No Action – Information Only)

Summary: The CFAC received a presentation of feasibility study findings for consideration of a new courthouse.

Consistent with materials (Tabs 4A–B) for Item 3 of the agenda, which were posted online for public viewing in advance of the meeting and available at www.courts.ca.gov/documents/cfac-20220526-materials.pdf, Ms. Kim Bobic presented slides 1–3 and 12–20, and Mr. Adam Padua presented slides 4–11. Hon. Mary J. Greenwood, Administrative Presiding Justice of the Sixth District Court of Appeal, thanked Judicial Council staff and the project team as well as thanked the CFAC for its consideration to assist the court with its space needs given the level of interest shown by technology companies in its current location and the amount of new development and redevelopment—for private commercial and residential space but not for government space—taking place within the immediate neighborhood and downtown area. Moreover, the advisory committee made the following comments:

- Concerning the lease, it would be advantageous if it allows for an option to extend for additional time of less than five years, should it be needed to assist the project.
- Concerning benchmarking of utility and maintenance costs, other courthouse data could be used to supplement the data collected between 2009–2019 for the Palo Alto and Morgan Hill courthouses, since those courthouses had not operated full time within that timeframe.

Action: The advisory committee took no action, as this item had only been presented for informational purposes.

Item 4

Mendocino—New Ukiah Courthouse: Performance Criteria Review

Summary: The CFAC received a presentation of the capital project’s completed Performance Criteria, which was a scheduled milestone review.

Prior to the start of the presentation of the performance criteria, Ms. Kim Turner, Court Executive Officer of the Superior Court of Mendocino County, made remarks to thank Judicial Council staff, the project team, and the CFAC for its review and consideration of the project.

Consistent with the materials (Tabs 5A–B) for Item 4 of the agenda, which were posted online for public viewing in advance of the meeting and available at www.courts.ca.gov/documents/cfac-20220526-materials.pdf, Mr. Robert Shue presented slides 1–3 and 26–27, Mr. Jeff Fuller presented slides 4–5 and 19–25, and Mr. Michael LeBoeuf presented slides 6–18. During the presentation, Mr. Praful Kulkarni thanked the CFAC for its review and consideration of the project as well as Hon. Jeanine B. Nadel, Presiding Judge of the Superior Court of Mendocino

County, thanked Judicial Council staff, the project team, and the CFAC for its review and consideration of the project.

Action: The advisory committee—with exception of judges Donald Cole Byrd and William F. Highberger, as Ex-Officio, non-voting members, and members absent as shown above—voted to approve the following motion:

1. Recommend the project’s completed Performance Criteria move forward to the state Department of Finance/State Public Works Board for approval.

A D J O U R N M E N T

There being no further open meeting business, the meeting was adjourned at 2:00 p.m.

C L O S E D S E S S I O N (C A L . R U L E S O F C O U R T , R U L E 1 0 . 7 5 (D))

Closed Item 1

San Bernardino Juvenile Dependency Courthouse Addition and Renovation

Review of security-related topics requested from 100 Percent Schematic Design review.

In accordance with rule 10.75(d)(5) of the California Rules of Court, the Chair has exercised discretion to close this portion of the meeting to discuss security plans or procedures or other matters that if discussed in public would compromise the safety of the public or of judicial branch officers or personnel or the security of judicial branch facilities or equipment, including electronic data.

Adjourned closed session at 3:00 p.m.

Approved by the advisory body on _____.



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COURT FACILITIES ADVISORY COMMITTEE

MINUTES OF OPEN MEETING

June 7, 2022

12:00 p.m. – 1:00 p.m.

Videoconference

Advisory Body Members Present: Hon. Brad R. Hill, Chair
Hon. Patricia M. Lucas, Vice-Chair
Hon. JoAnn M. Bicego
Mr. Anthony P. Capozzi
Mr. Stephan Castellanos, FAIA
Hon. Robert. D. Foiles
Ms. Melissa Fowler-Bradley
Hon. William F. Highberger
Hon. Steven E. Jahr (Ret.)
Hon. David Edwin Power (Ret.)
Ms. Linda Romero Soles
Mr. Thomas J. Warwick, Jr.

Advisory Body Members Absent: Hon. Donald Cole Byrd
Hon. Keith D. Davis (Ret.)
Hon. Gary R. Orozco
Mr. Larry Spikes
Hon. Robert J. Trentacosta

Others Present: The following Judicial Council staff/others were present:

- Mr. Randy Allenbaugh, Deputy Court Executive Officer, Superior Court of Kern County
- Mr. Kevin J. Lane, Clerk/Executive Officer and CJER Liaison, Court of Appeal, Fourth Appellate District
- Mr. Tamer Ahmed, Deputy Director, Facilities Services
- Mr. Jack Collins, Manager, Facilities Services
- Mr. Ed Ellestad, Supervisor, Facilities Services
- Mr. Chris Magnusson, Supervisor, Facilities Services
- Ms. Pella McCormick, Director, Facilities Services
- Ms. Deepika Padam, Manager, Facilities Services
- Ms. Akilah Robinson, Associate Analyst, Facilities Services
- Mr. Jagandeep Singh, Principal Manager, Facilities Services
- Ms. Maggie Stern, Attorney II, Legal Services
- Ms. Peggy Symons, Manager, Facilities Services
- Mr. John Wordlaw, Chief Administrative Officer, Executive Office

OPEN MEETING

Call to Order, Roll Call, and Opening Remarks

The chair called the open meeting to order at 12:00 p.m., roll was taken, and opening remarks were made.

DISCUSSION AND ACTION ITEMS (ITEMS 1–2)

Item 1

Judicial Branch Five-Year Infrastructure Plan for Fiscal Year 2023–24

Summary: The Court Facilities Advisory Committee (CFAC) received a presentation of the draft *Judicial Branch Five-Year Infrastructure Plan for Fiscal Year 2023–24*, including a *Five-Year Plan for Trial Court Capital-Outlay Projects* and a placeholder *Five-Year Plan for Appellate Court Capital-Outlay Projects*. This annual update to the five-year plan was a scheduled milestone review.

Ms. Pella McCormick presented the draft five-year plan consistent with the materials (Tabs 2A-C) for Item 1 of the agenda, which were posted online for public viewing in advance of the meeting and available at www.courts.ca.gov/documents/cfac-20220607-materials.pdf. She indicated the five-year plan informs capital project funding requests starting with FY 2023–24 and through outlying fiscal years. She highlighted projects planned for continuation funding and new starts including the addition of the Kern—New East County Courthouse project (consolidating two projects) and the placeholders for the Nevada—Nevada City Courthouse and Sixth Appellate District Courthouse projects pending future CFAC direction (at its upcoming June 17th meeting). She noted that for consideration of funding in the 2023 Budget Act (FY 2023–24), the plan’s submission is required along with Capital-Outlay Budget Change Proposals in advance of the state Department of Finance’s (DOF) early-August 2022 deadline.

Action: The advisory committee—with exception of judge William F. Highberger, as an Ex-Officio, non-voting member, and members absent as shown above—voted to approve the following motions:

1. Recommend the draft five-year plan is presented to the Judicial Council for adoption and final version submitted to meet DOF’s deadline.
2. Delegate to the CFAC chair and vice-chair review of the report to the Judicial Council.

Item 2

Update to the Judicial Branch Capital Program Management Manual

Summary: The CFAC received a presentation of the draft *Capital Program Management Policy* prepared to update and replace the current policy, which is the *Judicial Branch Capital Program Management Manual* adopted by the Judicial Council in April 2014.

Ms. Pella McCormick presented the draft program management policy consistent with the materials (Tabs 3A–D) for Item 2 of the agenda, which were posted online for public viewing in advance of the meeting and available at www.courts.ca.gov/documents/cfac-20220607-materials.pdf. She indicated the current policy is outdated with some sections no longer applicable and its update/replacement needed to align with the current Design-Build delivery method for capital-outlay projects and organizational structure of Judicial Council Facilities Services. She also noted that among its companion policies, a Building Official policy would be forthcoming.

Action: The advisory committee—with exception of judge William F. Highberger, as an Ex-Officio, non-voting member, and members absent as shown above—voted to approve the following motions:

1. Recommend the draft program management policy is presented to the Judicial Council for adoption to update and replace the current policy.
2. Delegate to the CFAC chair and vice-chair review of the report to the Judicial Council.

A D J O U R N M E N T

There being no further business, the meeting was adjourned at 1:00 p.m.

Approved by the advisory body on _____.

Judicial Council of California

COURT OF APPEAL, SIXTH APPELLATE DISTRICT

NEW COURTHOUSE FEASIBILITY STUDY

FINAL



moore ruble yudell
architects & planners

MAY 18, 2022; Updated June 10, 2022

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01

INTRODUCTION

1.1 EXECUTIVE SUMMARY

The Court of Appeal, Sixth Appellate District currently occupies the 10th and 11th floors of the Comerica Bank Building in downtown San Jose - a Class A, 12-story high-rise office building at 333 W. Santa Clara St. The current lease expires in January 2029.

Directly west of highway 87, Google is planning Downtown West, an 80 acre mixed use development approved by the city of San Jose in 2021, part of the 250-acre Diridon Station Area Plan (DSAP). With the uncertainty of continuing office market escalation and years of large scale construction poised to start nearby, it is prudent to consider options for a permanent home for the Sixth Appellate District.

An available asset for the permanent home of the Sixth Appellate District is in the city of Sunnyvale on the site of the former Sunnyvale Courthouse, which is no longer operated by the Superior Court of Santa Clara County. This property is already state owned, and is centrally located with good access to public transportation and adjacent to other public facilities within the City of Sunnyvale Civic Center, making its reuse advantageous, promoting environmental protection through infill development consistent with existing development patterns.

This feasibility study will verify a program plan for the Sixth Appellate District, test-fit the building and site program on the Sunnyvale Courthouse site, and estimate the capital cost for new construction. The projected capital cost, utility and maintenance costs of the new courthouse will be compared to the ongoing cost of a long-term lease for commercial office space, to support the findings that building a New Courthouse on state-owned property (Option 1) is the “highest and best use” of a state-owned asset while providing a permanent home for the Sixth Appellate District and saving millions of dollars annually in lease expense.

An overview of the Study and Project Need follows in Section 1.2.

STUDY OVERVIEW: New Courthouse on state-owned property (Option 1)

- Reuse of 605 W. El Camino Real; 2.03 acre site.
- Approx. 50,000 gross square feet facility; 2-story; No basement.
- Design-Build Project Delivery - funded through typical state budget process.

STUDY OBJECTIVES: New Courthouse on state-owned property (Option 1)

- Permanent home for the Sixth Appellate District.
- Eliminate lease uncertainties and ongoing expensive and escalating lease costs.
- 5-year project duration from date of appropriation.
- Connect with existing the Sunnyvale Civic Center and surrounding neighborhood.

STUDY TASKS AND DELIVERABLES:

- Validate the Judicial Council's preliminary program for the Sixth Appellate District.
- Review and utilize the Judicial Council's Appellate Court guidelines.
- Develop conceptual site test fits.
- Prepare conceptual estimate of capital construction cost including demolition of existing structures.
- Include Judicial Council provided financial analysis, and Sunnyvale property appraisal.
- Prepare Feasibility Study Report and documents for presentation to Court Facility Advisory Committee (CFAC) to inform a funding request for capital outlay.
- Basis of Design - Appellate Court Facilities Guidelines (Adopted July 1, 2002) (https://www.courts.ca.gov/documents/Guidelines_

ESTIMATED SCHEDULE: New Courthouse on state-owned property (Option 1)	Milestone
Site Acquisition	State Owned
CFAC Meeting	5/26/2022
Assume Appropriation for Performance Criteria (FY 2023 / 24)	7/1/2023
Approve Performance Criteria/Release Design-Build RFP	7/1/2024
Approve Design-Build Contract Award	10/31/2024
Construction Mobilization/Demolition	2/1/2026
Construction Completion Target	9/29/2028
Court Move-in/Occupancy	3 to 4 months

1.2 STUDY OVERVIEW - STATEMENT OF PROJECT NEED

INTRODUCTION

Since it was established in 1984 and for almost 40 years, the Court of Appeal, Sixth Appellate District has operated out of leased facilities in a commercial building in downtown San Jose. In 2006, the appellate district's lease that was managed by the state Department of General Services was assigned to the Judicial Council. The current lease expires in January 2029 and has a final extension option through January 2034.

Santa Clara County is part of the greater Silicon Valley and the epicenter of computer technology and development in the United States. It serves high-technology-oriented companies, such as Apple, Google, Facebook, IBM, Microsoft, Zoom, and Intel Corporation as well as aerospace industries such as Lockheed and Martin Aerospace. Over the past 12 months, rental rates have increased while vacancy rates have decreased, suggesting that the appellate district may have difficulty negotiating a new lease at their current location and will need to pay more with limited options for a new location.

The property located at 605 W. El Camino Real in the city of Sunnyvale is a state-owned asset that was previously used by the Superior Court of Santa Clara County for trial court operations. This property has been identified for potential redevelopment as an option for a permanent facility for the appellate district that would alleviate the ongoing uncertainty of operating in leased space. This property is 2.03 acres with an existing 19,994 square foot (SF), single-story building with a partial basement constructed in 1967.

The building has surpassed its useful life and renovation necessary for reuse is cost prohibitive. The Appraisal Report (Appendix 6.1) supports this determination, stating that the land value is higher than that of renovating the existing improvements and concluding that the "highest and best use" of this property is for new development. The property has onsite parking and is located in the City of Sunnyvale's civic center with easy access to public transit and vehicle freeway infrastructure, making it an appropriate location for the appellate district as described in Chapter 2 of this study.

This study defines the programmatic and space needs of the appellate district (Chapter 3) and verifies it can be accommodated by the redevelopment of the state-owned property in Sunnyvale (Chapter 4). The study defines the economic and market conditions of the region and analyzes the cost of the recommended Option 1 to build a new

courthouse on the state-owned property in comparison to alternative options (Chapter 5) such as continuing to utilize leased facilities.

CURRENT COURT OPERATIONS

The Court of Appeal, Sixth Appellate District handles cases from the counties of Santa Clara, San Benito, Santa Cruz, and Monterey. Its purpose is to assist the California Supreme Court in providing appellate review for the superior courts within its jurisdiction by deciding appeals from final judgements and appealable orders, as well as ruling on extraordinary writ petitions such as habeas corpus and mandamus. Cases are decided by randomly selected three justice panels. There are seven justices in the appellate district who decide over 900 appeals annually. In addition, the appellate district disposes of 500 writ petitions annually.

EXISTING FACILITIES

Currently, the Court of Appeal, Sixth Appellate District operates out of 43,758 SF of leased space on the 10th and 11th floors of the Comerica Bank Building at 333 West Santa Clara Street in downtown San Jose. Its leased space includes one en banc courtroom with support spaces, justice chambers, attorney offices, mediation operations, clerk operations, a law library, and court administration.

Owing to space availability within the building, appellate district operations are not contiguous and awkwardly distributed between two floors. Operations have been confined to the dictated leased-space floor plate such that adjacencies required for effective operations have not been fully realized, space shortfall exists, and anticipated future growth cannot be accommodated. The space also has security vulnerabilities.

No on-site parking is available for any court user including all public and staff. Only a small number of spaces are available for the justices and the court executive officer. Parking for the public and staff is only accommodated off site through public pay lots or very limited street parking. A need of a minimum of 60 parking spaces is estimated for the public and staff that cannot be achieved at the current leased property.

PROJECT NEED

The current lease, last executed in May 2012, has utilized multiple lease extension options over the years. It has one final option for a five-year extension through January 2034. However there is no guarantee that a new lease can be negotiated or even available thereafter. Should it be determined that the appellate district is unable to continue leasing at this location beyond January 2034, an alternative leased space would need to be identified, negotiated, and tenant improvements completed prior to the current lease expiration.

Historically, the uncertainty of having to continue leasing space for its operations and remain reliant on the availability of affordable private property office space within its operating budget has been very challenging for the appellate district.

As a public agency having had to compete in a consistently high-demand rental market with private companies with resources for paying top dollar for lease space is and has been an ongoing concern. Without a permanent state-owned facility to operate in, the Sixth Appellate District will continue to be vulnerable to rental market conditions and escalating costs. These factors impact its ability to ensure its operations can continue in an appropriate location and space that provides public access to justice.

1.3 PARTICIPANTS

FEASIBILITY STUDY CLIENT TEAM

The development of the New Sixth Appellate District Courthouse Feasibility Study involved the constructive wisdom and guidance of numerous representatives from the Judicial Council of California and of the Court of Appeal, Sixth Appellate District, all of whom we gratefully acknowledge.

Judicial Council of California, Facility Services

California Court of Appeal, Sixth Appellate District

FEASIBILITY STUDY CONSULTANT TEAM

Moore Ruble Yudell Architects & Planners

John Ruble FAIA, Partner

Jeanne Chen, FAIA, Principal

Associate Principal

Bob Dolbinski, AIA, LEED AP, Associate Principal

Project Manager

Adam Padua, Assoc. AIA, LEED AP, Senior Associate

Document Team

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Rick Lloyd, Vice President

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02

SITE ANALYSIS

2.1 SITE CONTEXT

CENTRAL LOCATION WITH EASY ACCESS

The former Sunnyvale Courthouse site is located with easy vehicle and transit access - a 15 minute drive west of San Jose. The detail map below shows walking distances in rcounterpoint to freeway proximity on the vicinity map at right.

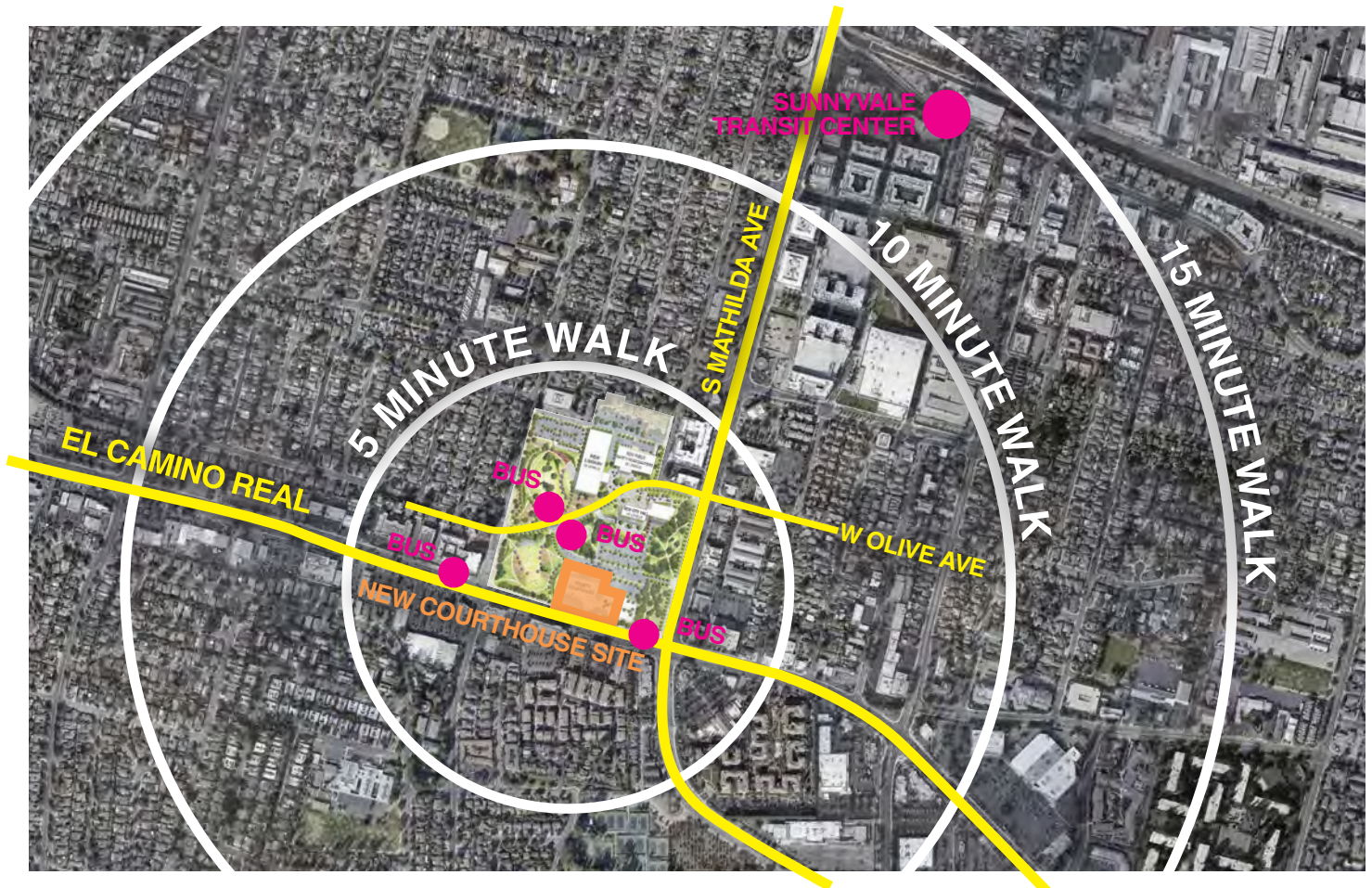
Vehicle Access:

- Less than 2 1/2 miles east of CA SR-85 and southeast of CA-SR-237.
- 3 miles south of US 101 and 237 on S. Mathilda Avenue.

Pedestrian Access:

The entire Sunnyvale Civic Center is within a 5 minute walk (quarter of a mile) of the Sunnyvale Courthouse site as well as multiple Valley Transit Authority (VTA) bus stops:

- On El Camino Real at South Mathilda Avenue to the east.
- On El Camino Real at South Pastoria to the west.
- On West Olive Avenue at All American Way (formerly Civic Center Drive) directly to the northwest.
- The Sunnyvale CalTrain station is a 15 minute walk - 4 block walk north on Mathilda Avenue to West Evelyn Avenue.



2.1 EXISTING SITE CONTEXT

SUNNYVALE CIVIC CENTER REDEVELOPMENT

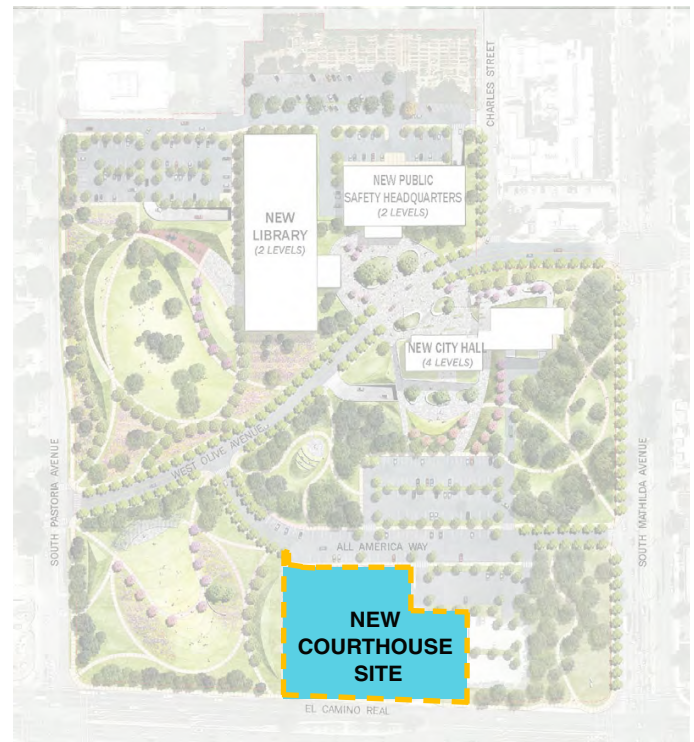
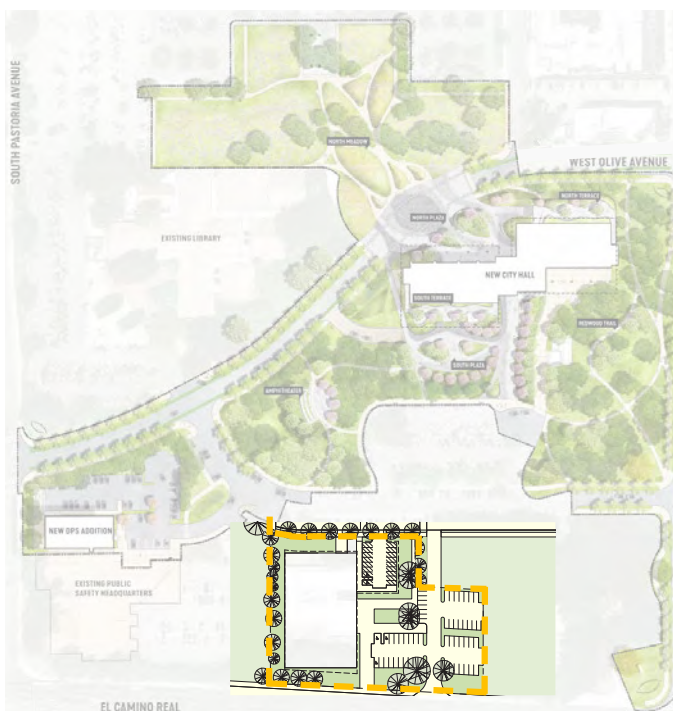
The City of Sunnyvale Civic Center Master Plan and Project EIR was approved in September 2018 and a City Building Permit for Phase I approved in July 2020. The Master Plan features:

- Builds three new facilities: City Hall, Public Safety Emergency Operations Center Addition and Library.
- Most new construction will anchor the northeast end of the West Olive Avenue streetscape improvements on the northern half of the Civic Center.
- Increases open space and native landscape
- Moves most surface parking to underground spaces.
- New Civic Plazas, Outdoor Amphitheater, and Pedestrian & Bicycle enhancements to Olive & Mathilda Avenues

The construction of a new Sixth Appellate District Courthouse on the former Sunnyvale Courthouse site complements the beautification and modernization goals of the Sunnyvale Civic Center Master Plan in the following ways::

- Replaces outdated one story structures connected with outdoor circulation with efficient, multi-story, sustainably designed new facility.
- The new courthouse is planned in anticipation of Hybrid communication and post-COVID workplace practices.
- Replaces City surface parking with street trees.
- Site plan options encourage landscaped through-block

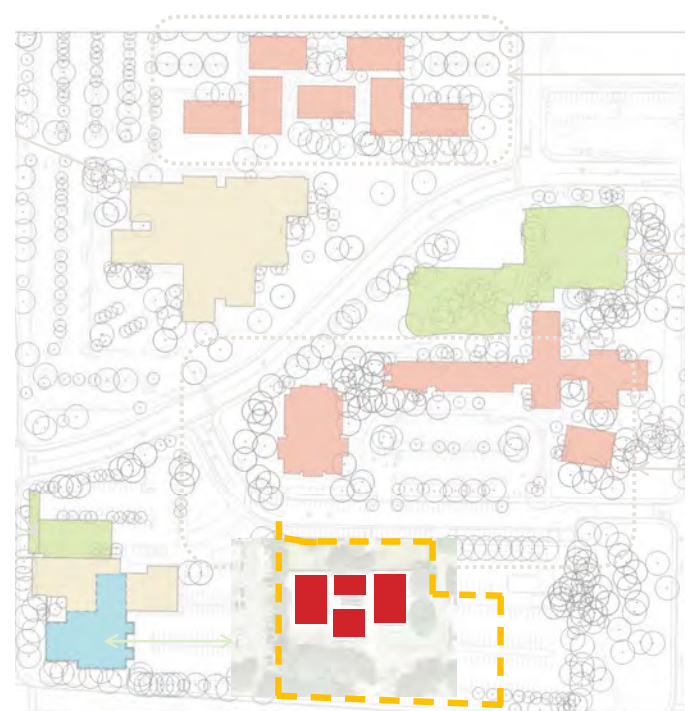
Increase Landscaped Pedestrian Connectors and replace surface parking with street trees.



pedestrian connections from El Camino Real north to All American Way and new Civic Center amenities.

- Tree protection of mature trees.
- Facilitate street improvements along All American Way to bridge City planned streetscape improvements at Olive and Mathilda Avenues.

Replace multiple outdated one story structures with new efficient and sustainably designed facility



2.1 EXISTING SITE CONDITIONS

SITE OVERVIEW

The Sunnyvale Courthouse site is a State owned property appropriate for a New Sixth District Court of Appeal. Site area is approximately 2.03 acres. In addition to on-site parking, parking to the east of the existing lot had been previously leased from the City of Sunnyvale and may similarly be leased

if available and required by the project. The site include many mature trees. Fronting on El Camino Real and American Way, wayfinding and access is simple, served by Valley Transit Authority buses and across the street from hotels and new residential development.



2.1 SITE ACCESS

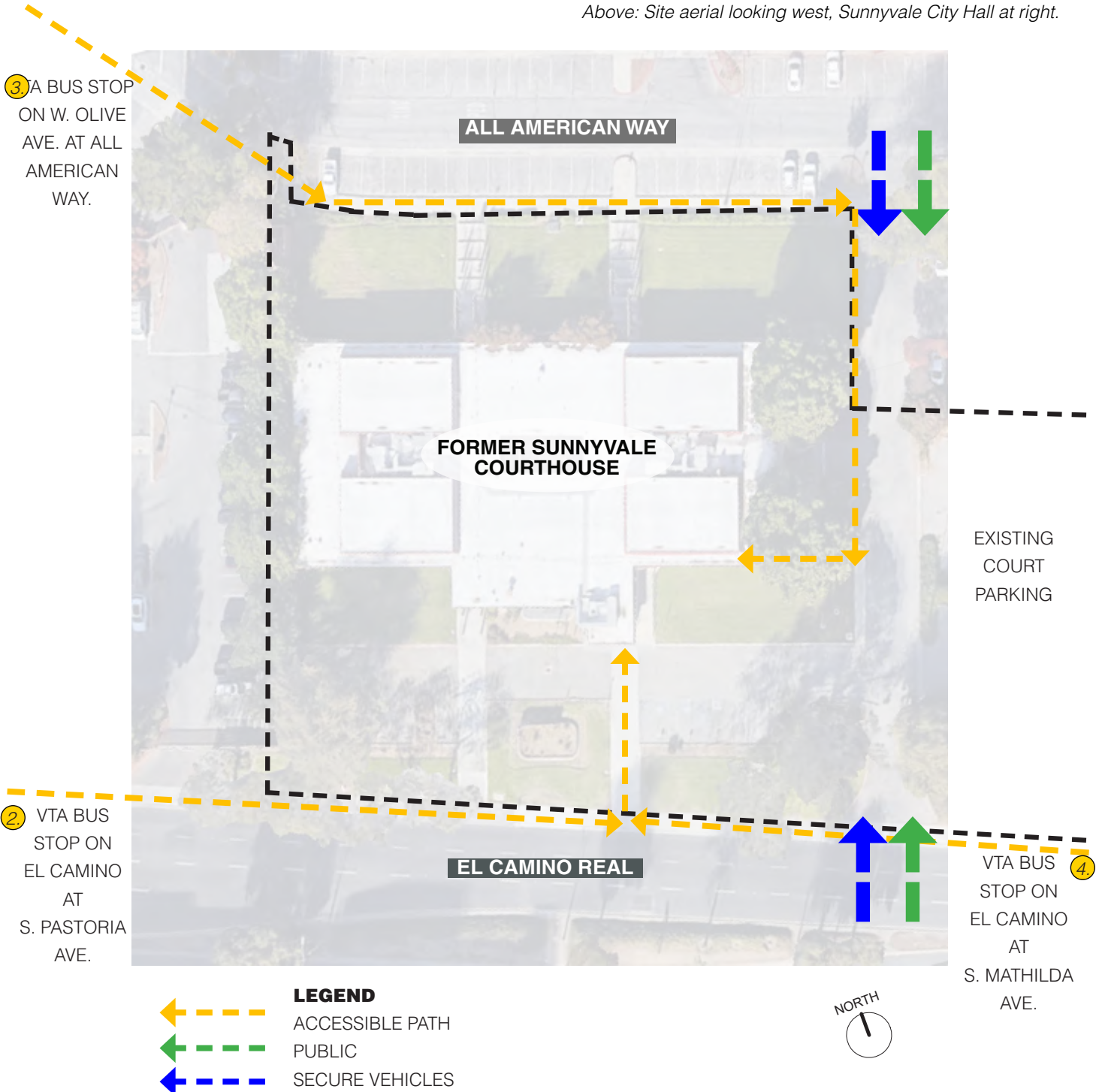
PEDESTRIAN AND VEHICLE ACCESS

The Sunnyvale Civic Center is relatively flat and accessible. It is a 6 minute drive and 18 minute walk from the Sunnyvale Transit Center - 7 blocks to the northeast. The Sunnyvale Courthouse site is well served by VTA (Valley Transportation Authority) bus stops with connections to CALTRAIN from the Sunnyvale Transit Center.

① Hotels on El Camino Real (across the street and a block east) are convenient for visiting attorneys or mediators.



Above: Site aerial looking west, Sunnyvale City Hall at right.



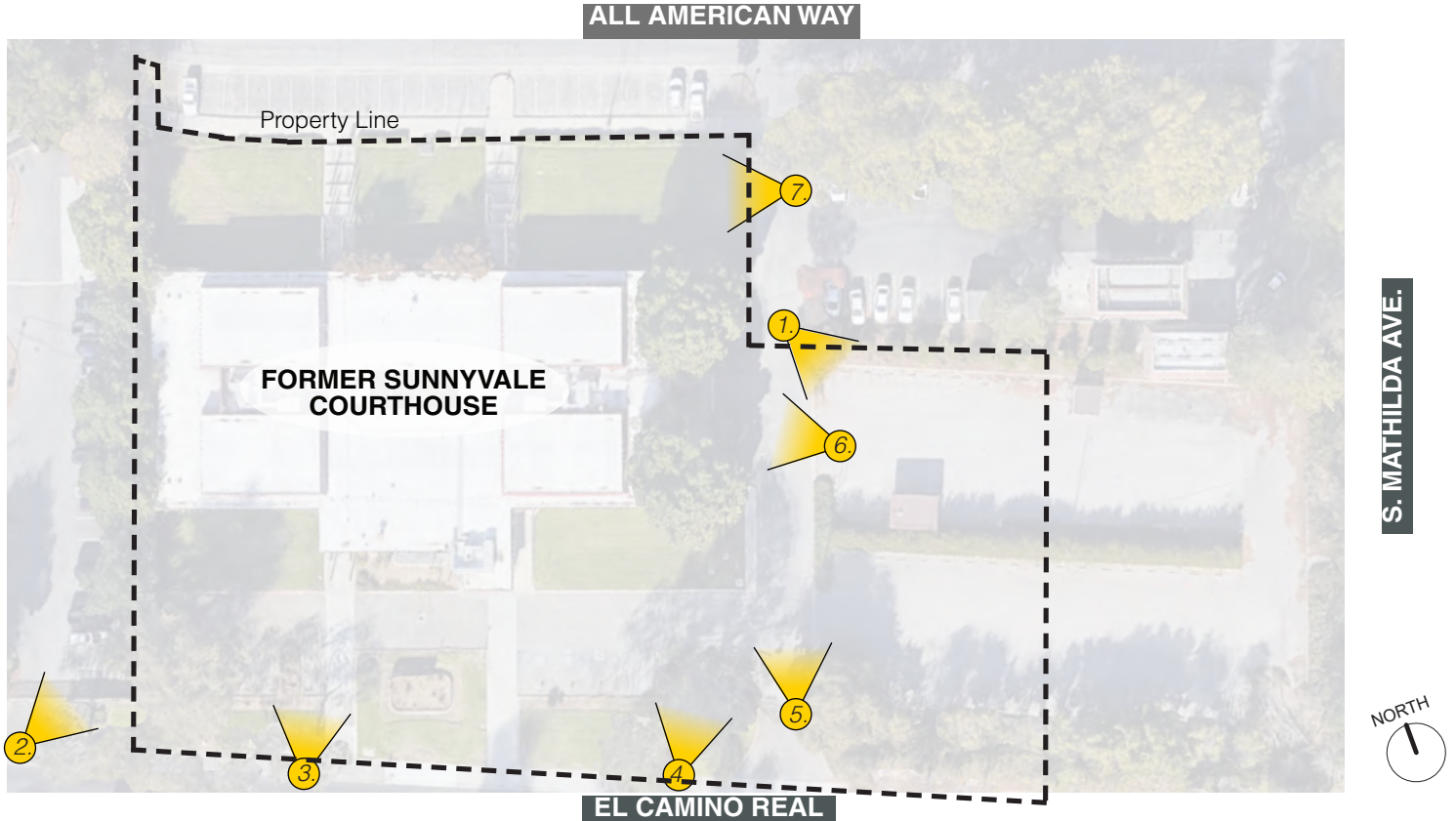
2.1 EXISTING SITE ELEMENTS

EVALUATE EXISTING TREES AND STRUCTURES

Existing mature trees are generally located at the perimeter of the State-owned property, where a 25' vehicle setback would naturally occur. On the west side, a line of trees provide shade and privacy. On the east side, two groups of three trees are centered with the building. On El Camino Real, assymetrical tree groupings frame the courthouse entrance. An unused structure in the parking lot will be demolished.



7. Site structure to be demolished and resurfaced for parking.



2.



3.



4.



5.



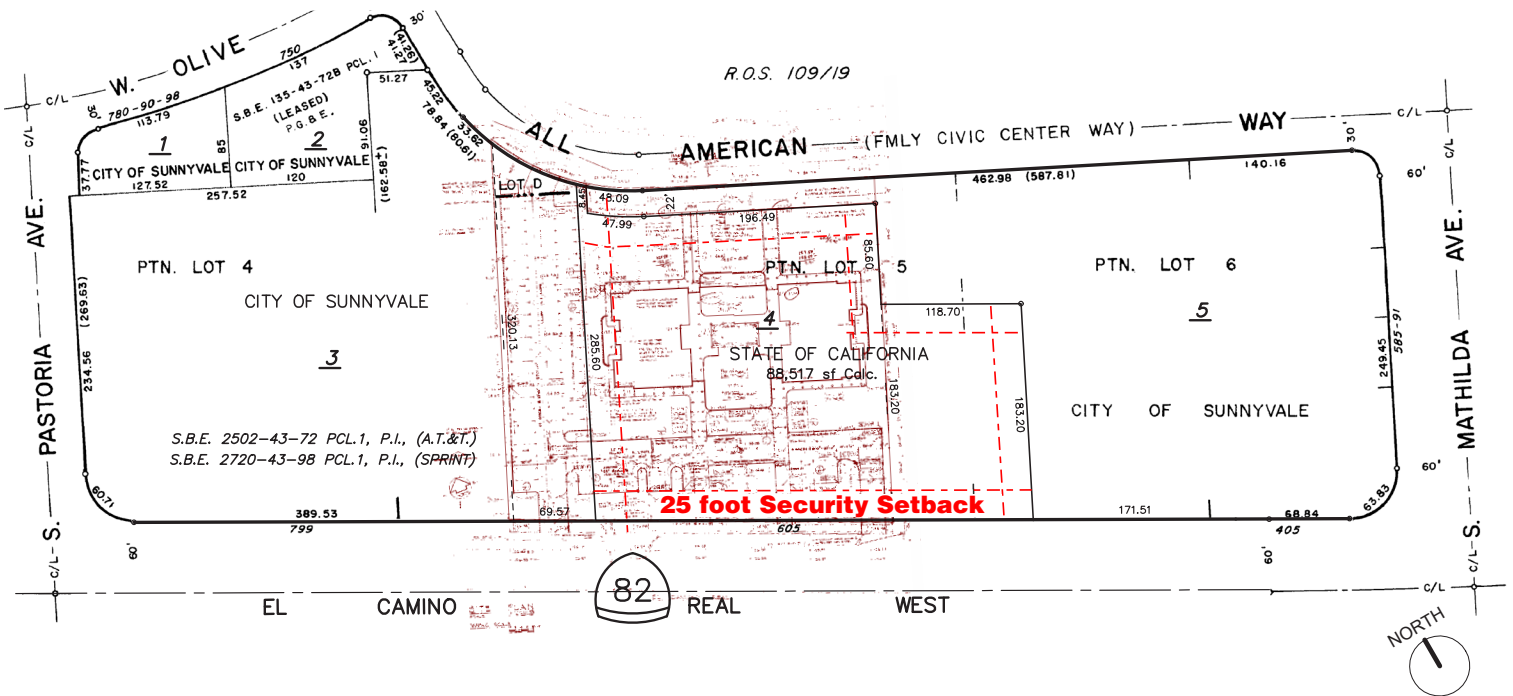
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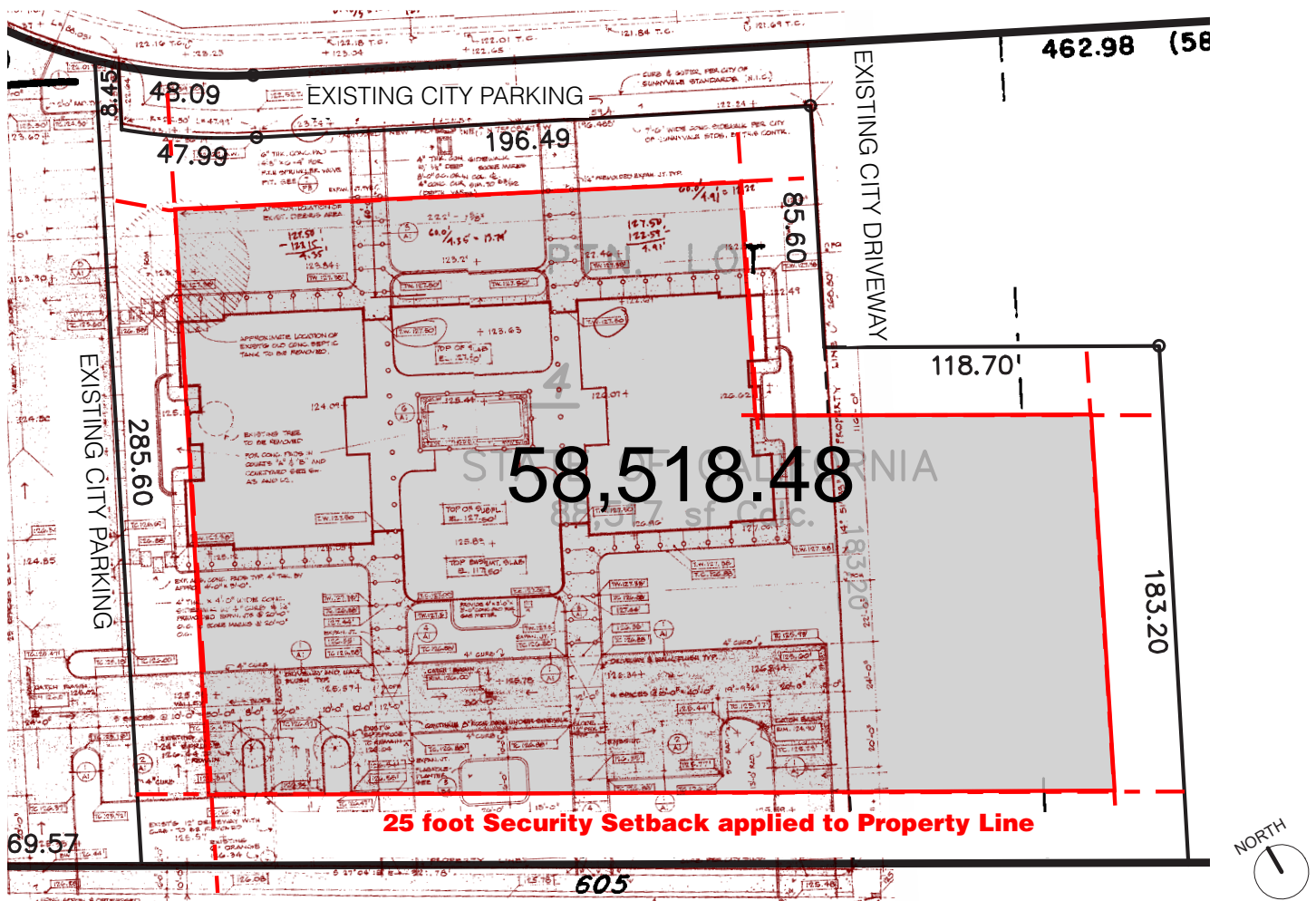
7.

2.2 SITE CAPACITY WITHIN 25' SECURITY SETBACK

BLOCK PLAN

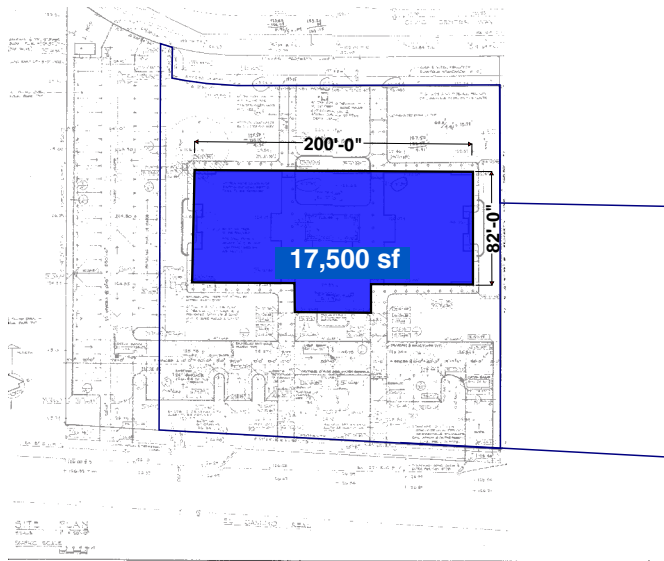


PARCEL PLAN



2.2 SITE CAPACITY

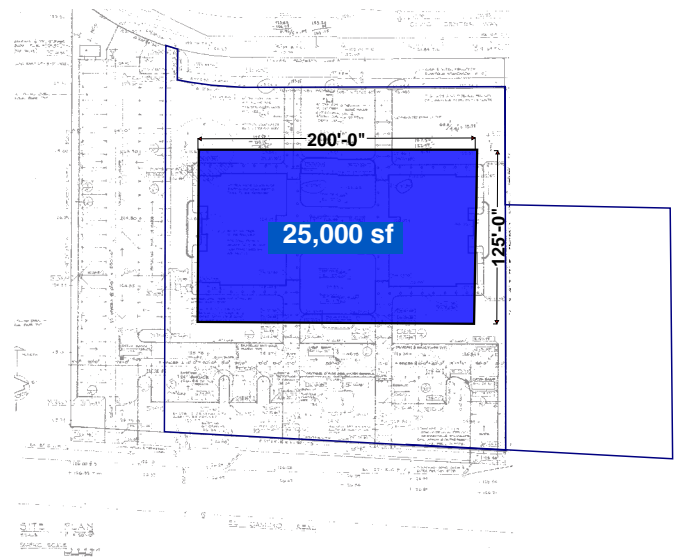
SIMILAR TO EXISTING FOOTPRINT



OBSERVATIONS

- Simplified footprint based on furthest extent of existing courthouse building perimeter walls < 18,000 gsf.
- A larger footprint is required to accommodate Sixth District Court of Appeal program.

EXPAND FOOTPRINT TO 25,000 SF



OBSERVATIONS

- 25,000 GSF footprint appears to fit on site utilizing Judicial Council mandated 25' vehicular and building setback.

2.3 CONCEPTUAL SITE TEST-FIT

PRIMARY SITE DESIGN DRIVERS

Design considerations of the site options include:

- Civic Presence on El Camino Real and All American Way.
- Acknowledge Sunnyvale Civic Center Master Plan and connect with new Sunnyvale City Hall and other planned buildings and open spaces.
- Vehicular and Pedestrian Access from El Camino Real and All American Way.
- Minimize impact on existing mature trees and landscape.
- Maintain visual and physical security for secure parking.

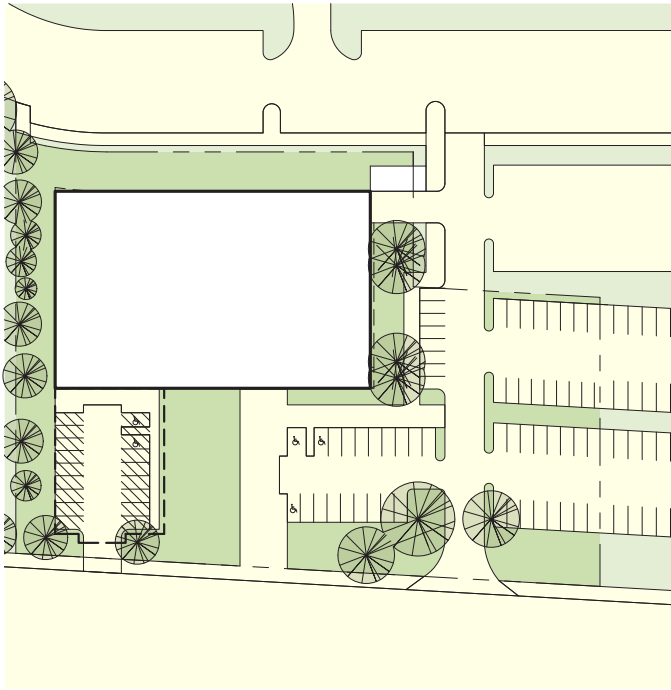
SITE PROGRAM

Initial Site Program Elements for site test fit:

- Space for emergency generator and refuse collection are defined in the building program.
- The Court confirmed initial program numbers for Secure Parking.
- Staff and Visitor parking requirements will be reconsidered by the Court in a future phase. Work from home (WFH), hybrid in-person workplace models as well as the increasing use of Virtual meetings will impact the demand for vehicle parking. In addition, ride sharing has made Uber, Lyft and other ride services a convenient option for out of town attorneys, mediators and other Appellate Court visitors.
- Refer to Site Program in Chapter 3.

2.3 SITE TEST-FIT STUDIES

EAST-WEST BUILDING



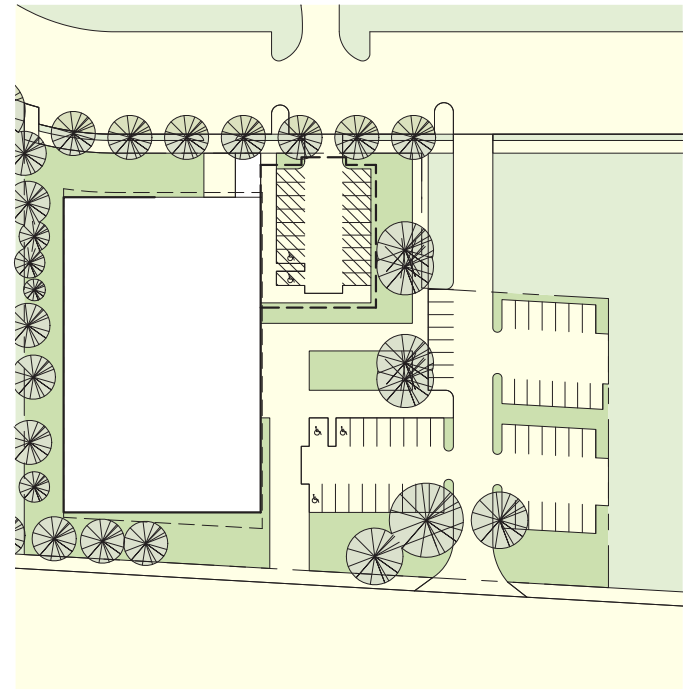
PROS

- Civic presence on El Camino Real.
- Building footprint similar to existing building reduces impact to existing landscape and hardscape.
- Includes new secure parking and additional on-site public parking.

CONS

- Pedestrians entering from Civic Center parking lots and All American Way need to walk around the building to enter.
- Secure parking on El Camino Real conflicts with visibility and Civic presence desired for a Courthouse. Meeting security requirements on El Camino Real a challenge.

NORTH-SOUTH BUILDING



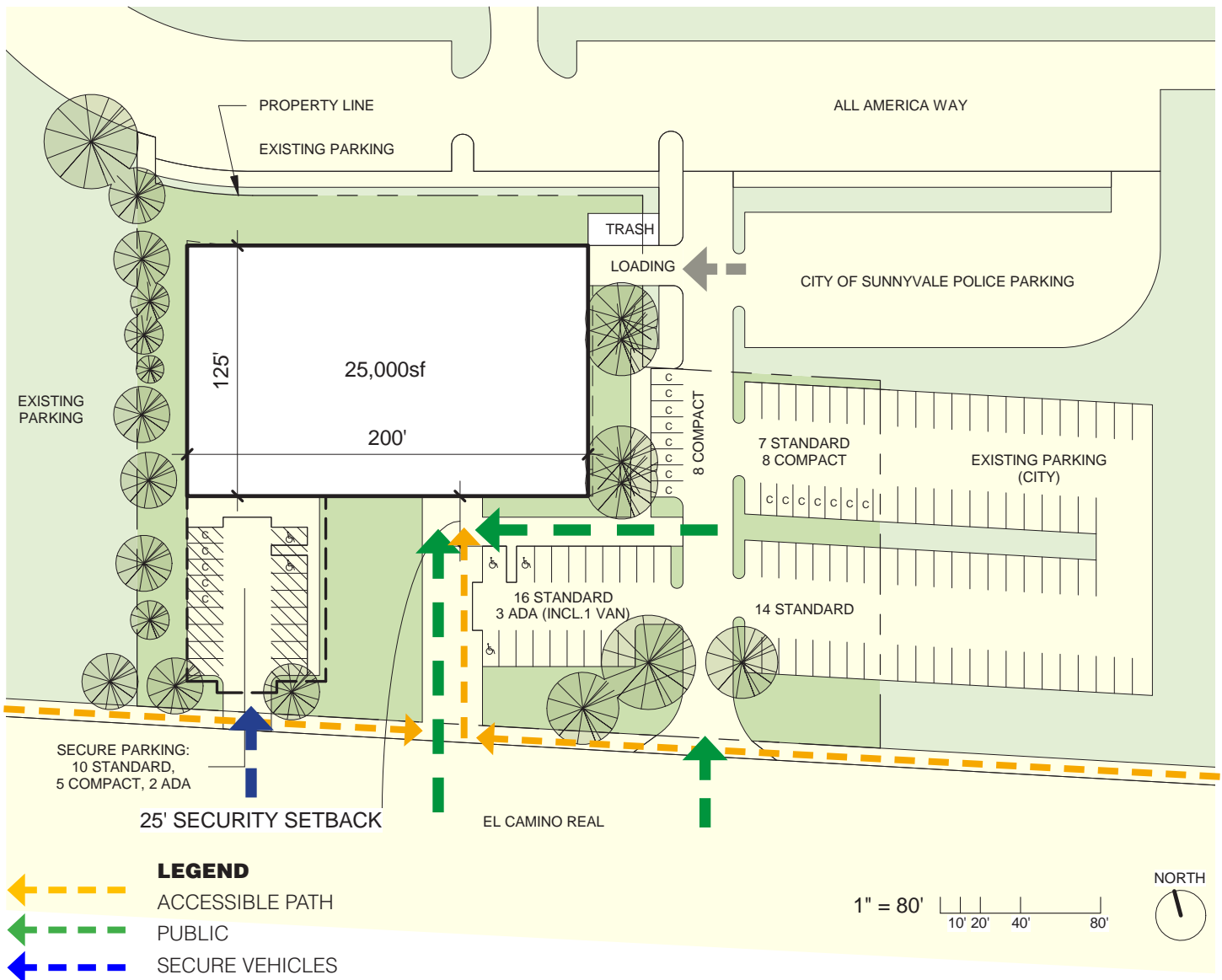
PROS

- Civic presence on El Camino Real and All American Way.
- Existing trees on the east site could help define entry plaza and landscape.
- Building closer to El Camino Real has greater Civic presence.
- Building entrance on east side is convenient for visitors and staff parking and approaching from multiple directions.
- Building entrance off of El Camino Real is safer and more convenient for drop off and pick-up of visitors via taxi, Uber, Lyft or private vehicle.
- Easy wayfinding.
- Includes new secure parking and additional on-site public parking.

CONS

- Vehicular access from American Way would need to be discussed with the City of Sunnyvale due to impact on existing surface parking. However Sunnyvale Master Plan seeks to reduce surface parking.

2.3 SITE TEST-FIT STUDY - EAST-WEST BUILDING



PROS

- Civic presence on El Camino Real and All American Way.
- Building footprint similar to existing building, less impact to existing landscape and hardscape.
- Includes new secure parking and additional on-site public parking.
- 73 parking spaces provided on-site (includes 17 secure parking)

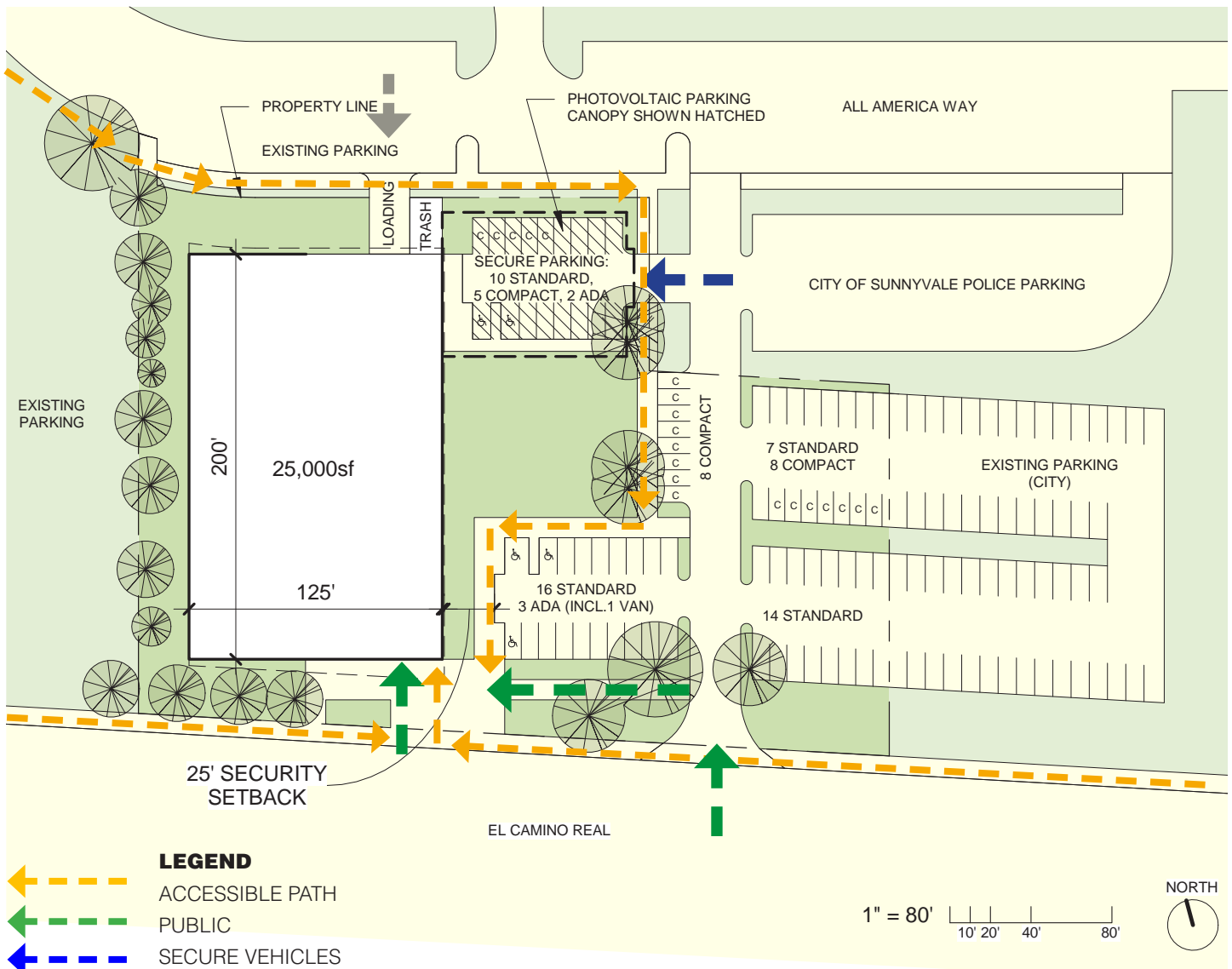
CONS

- Pedestrians entering from Civic Center parking lots and All American Way need to walk around the building to enter.
- Secure parking on El Camino Real conflicts with visibility and Civic presence desired for a Courthouse. Meeting security requirements on El Camino Real a challenge.
- Additional curb cut required on El Camino Real for Secure parking access.

FINDING

- Potential conflicts between secure parking requirements and public entrance visibility and access are critical functional problems with an east-west building orientation.

2.3 SITE TEST-FIT STUDY - NORTH-SOUTH BUILDING - SOUTH ENTRY



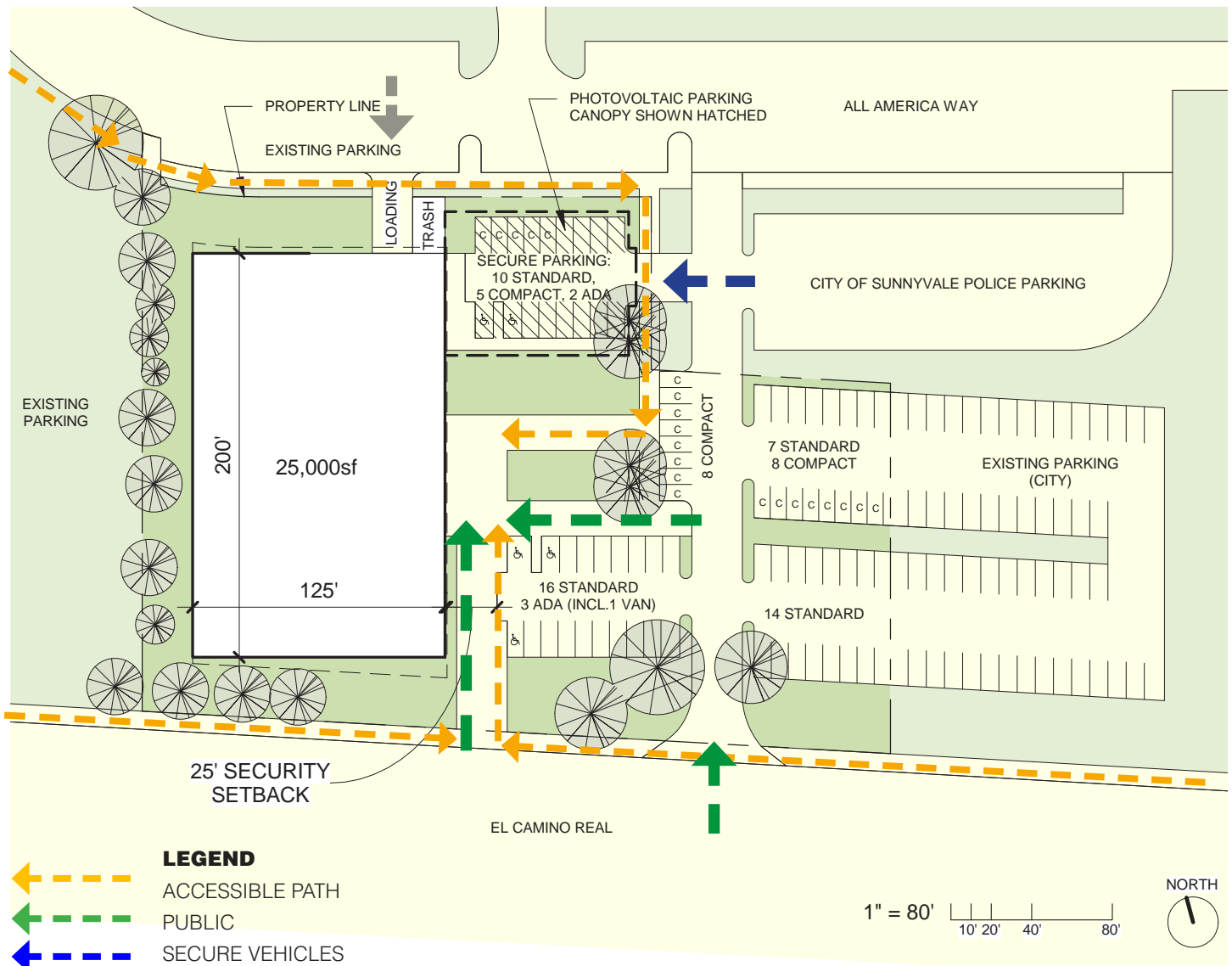
PROS

- Civic presence on El Camino Real.
- Main entry and landscaped pedestrian path on east side connects El Camino Real and American Way.
- 73 on-site parking spaces (including 17 secure parking)
- Secure parking adjact to Sunnyvale Police parking, and away from El Camino Real.
- Accessible parking close to El Camino Real and Main Entry.

CONS

- Loading and Trash enclosure on American Way require review with the City for access. However removing bulb-out and restriping could offset any vehicle parking loss.
- Entrance to secure parking visible from public parking.

2.3 SITE TEST-FIT STUDY - NORTH-SOUTH BUILDING - EAST ENTRY A



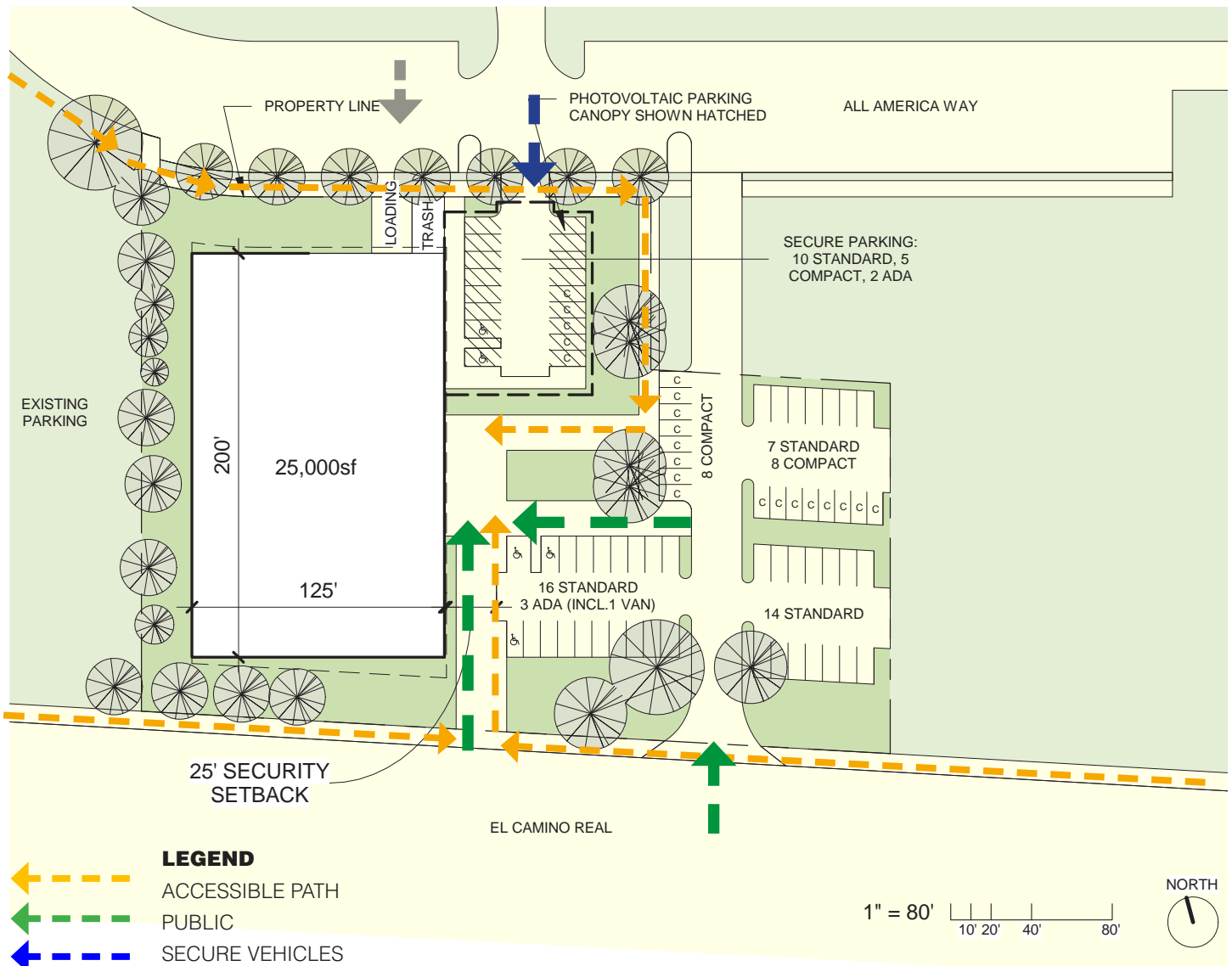
PROS

- Civic presence on El Camino Real and All American Way.
- Landscaped pedestrian path connects El Camino Real and All American Way.
- Main entry on east side of building is convenient for pedestrians coming from Civic Center, on-site parking and VTA bus stops.
- Entry off of El Camino Real safer for pick-up and drop-off by private vehicles, taxi, Uber or Lyft.
- 73 on-site parking spaces (including 17 secure parking).
- Secure parking adjacent to Sunnyvale Police parking, and away from El Camino Real.
- Accessible parking close to El Camino Real and Main Entry.

CONS

- Loading and Trash enclosure on American Way require review with the City for access. However removing bulb-out and restriping could offset any vehicle parking loss.
- Entrance to secure parking visible from public parking.

2.3 SITE TEST-FIT STUDY - NORTH-SOUTH BUILDING - EAST OPTION B



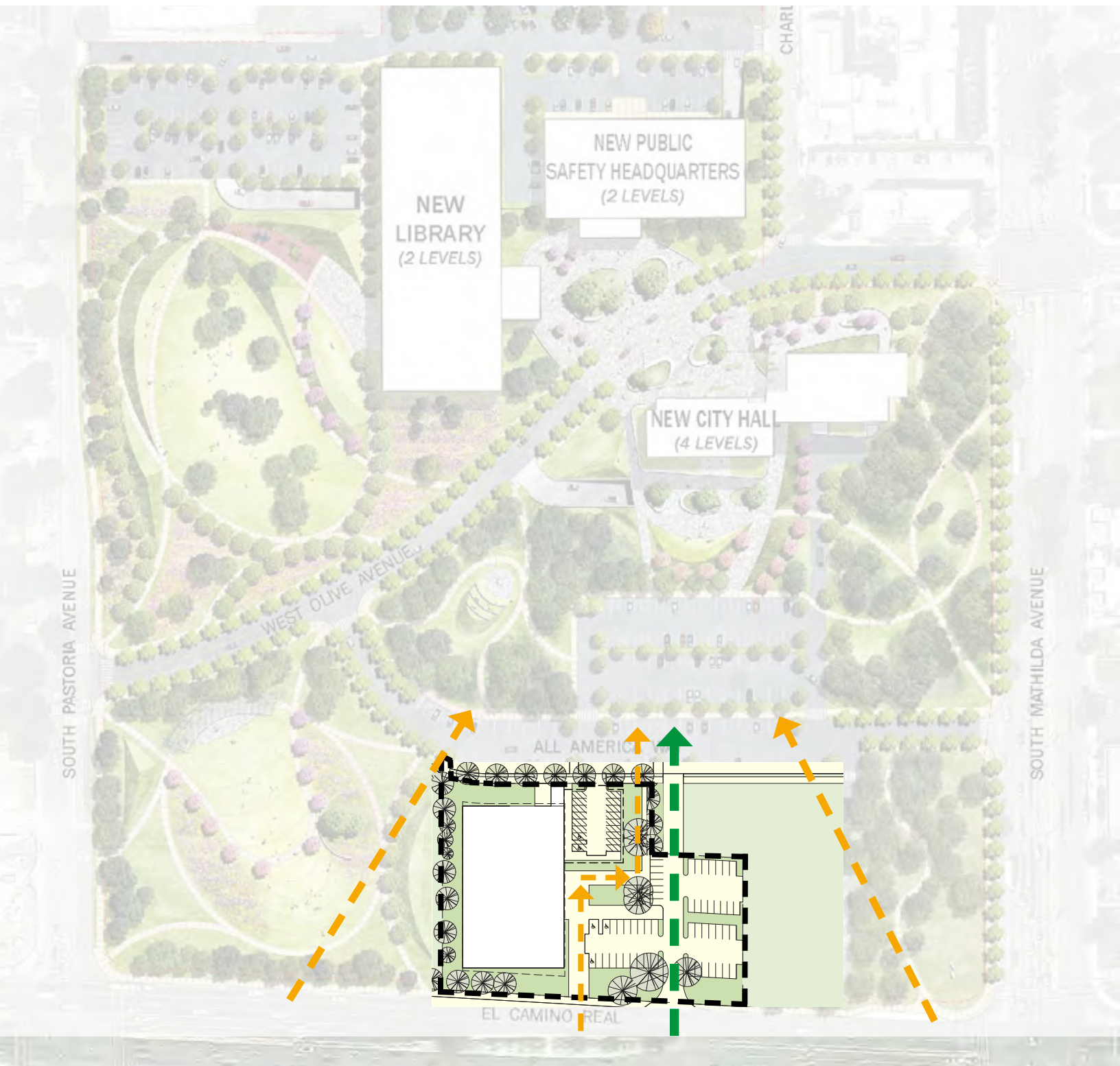
PROS

- Civic presence on El Camino Real and All American Way.
- Wider landscaped pedestrian path visually connects El Camino Real and heart of new Sunnyvale Civic Center.
- Main entry is convenient for pedestrians coming from Civic Center, on-site parking and VTA bus stops.
- Entry off of El Camino Real is safer for pick-up and drop-off by private vehicles, taxi, Uber or Lyft.
- 73 on-site parking spaces (including 17 secure parking).
- Secure parking adjacent to Sunnyvale Police parking, and away from El Camino Real.
- Secure parking entrance not visible from Main Entry or on-site public parking.
- Accessible parking near El Camino Real and Main Entry.
- Restriping of existing on-site parking facilitates greening of Sunnyvale surface parking lot to Open Space.

CONS

- Secure Parking, Loading and Trash enclosure on All American Way require review with the City for access.
- However new driveways are offset by implementing street improvements and new trees on All American Way property line consistent with Sunnyvale Civic Center Master Plan.

2.3 PREFERRED SITE STUDY WITH CIVIC CENTER MASTER PLAN



RESPONSE TO SITE DESIGN CONSIDERATIONS

- Civic Presence from El Camino Real and the Civic Center.
- Support Sunnyvale Civic Center Master Plan and connect with new Sunnyvale City Hall and other planned buildings and open spaces.
- Facilitate through-block views as well as pedestrian and vehicular connections.
- Minimize impact on existing mature trees and landscape.
- Accommodate Master Plan goal of transforming surface parking to Open Space.



03

COURT PROGRAM

3.1 INTRODUCTION

The space program in this feasibility study was developed through the input of the Court of Appeal, Sixth Appellate District and application of the Judicial Council's latest appellate court facilities standards: Appellate Court Facilities Guidelines (2002). The intent of this space program is the identification of spaces to inform the future planning of project Option 1: Build A New Courthouse. Should this project option become funded, this space program will be validated prior to the start of the project's design.

The space program reflects a wide range of organizational, operational, and spatial data including:

1. Appropriately sized spaces throughout the building to improve service to the public.
2. Anticipated judicial officer and staff spaces needed to efficiently and effectively provide court services.
3. Departmental organizational structure and the accommodation of certain revised operations anticipated for implementation by the time the facility is occupied.
4. Specific space allocations related to policy considerations and future direction on topics such as:
 - a. Records storage policies, practices, and equipment (e.g., onsite versus offsite, retention policies, future imaging impacts, and high-density storage);
 - b. Technology impacts on court processes;
 - c. Case information and management strategy and responsibility;
 - d. Courtroom and support space needs;
 - e. Building and site security strategies;
 - f. Staffing strategies; and
 - g. Recycling and "Green Building" practices.

The space program utilizes three common space designations defined as follows:

- Net Square Feet (NSF) is defined as the amount of space required for or assignable to a specific employee classification or function, exclusive of interior walls or internal circulation.
- Departmental Gross Square Feet (DGSF) is defined as the NSF of a functional grouping multiplied by a value intended to provide for the circulation among offices and workstations and the thickness of interior walls within the department. It describes the total area needed to accommodate the department.
- Gross Square Feet (GSF) is defined as the total DGSF requirements of the building multiplied by an estimated factor intended as an area allocation for major public

circulation among departments, elevators, stairwells, mechanical, and electrical spaces, thickness of exterior walls, and any other spaces not specifically identified. It defines the total area of the building.

3.1 PROGRAM - SUMMARY

Court of Appeals, 6th Appellate District New Courthouse Space Program						
Component	Division	Planning Need				Notes
Description	DGSF	Exiting Staff	Courtrooms or Chambers	Level 1 DGSF	Level 2 DGSF	
Judiciary						All staffing provided at the Appeals Court's 2040 need
Courtroom & Support	3,439		1	3,439		
Justices Chamber Sets, Attorneys & Writs	16,975	42	8		16,975	7 Existing and 1 New Justice with Support Staff
Sub-total - Courtrooms & Chambers		42		3,439	16,975	
Court Executive & Support Services						
Court Administration	2,512	5		2,512		Staff growth from 5 to 10 for Administration and IT is accommodated by including additional offices/workstations.
Clerk Operations	2,209	8		2,209		Staff growth from 8 to 11 for Court Operations is accommodated by including additional offices/workstations.
Law Library	2,236	1		2,236		No Staff Growth Expected
Mediation	1,214			1,214		
Sub-total - Court Executive & Support Services		14		8,171	0	
Other Building Services						
Lobby & Public Entry	2,198			2,198		No Staff Growth Expected
Building Support	4,787			4,126	662	No Staff Growth Expected
Sub-total Other Building Services				6,324	662	
Facility Site Requirements						Information Only - See Division 10.0
Sub-total - Staff		56				
Total Departmental Gross Square Feet				17,933	17,637	
Gross Area Factor 40%				7,173	7,055	
Projected Gross Square Feet - Floor 1				25,107		
Projected Gross Square Feet - Floor 2					24,692	
Building Projected Gross Square Feet - All Floors					49,798	

3.2 PROGRAM - PUBLIC LOBBY

Court of Appeals, 6th Appellate District New Courthouse Space Program						
Item #	Component Description	Unit NSF	Planned Need			Notes
			Staff	Qty	NSF	
Public Lobby						
	Entry Vestibule	100		1	100	
	Security Screening Queuing	14		6	84	
	Weapons Screening Station	250		1	250	
	Secure Public Lobby	800		1	800	
	Security Guard Station	48		1	48	
	Coffee Cart	50		1	50	
	Security Staff & Control Room	150		1	150	Private Security
	California Highway Patrol Office	150		1	150	Co-locate with CHP Locker Room (Prefer Level 1) & provide secure gun locker in this space.
	California Highway Patrol Locker Room	150	1	1	150	Change area with Lockers for officers assigned to the 6th District Court of Appeals, Co-locate with CHP Office (Prefer Level 1)
	Public Lactation Room	50		1	50	
	Sub-Total				1,832	
Total Staff			1			
Total Net Square Feet (NSF)					1,832	
Grossing Factor			20%		366	
Total Departmental Gross Square Feet (DGSF)					2,198	

3.3 PROGRAM - COURT SETS

Court of Appeals, 6th Appellate District New Courthouse Space Program						
Item #	Component Description	Unit NSF	Planned Need			Notes
			Staff	Qty	NSF	
Typical Court Sets						
	En Banc Courtroom & Support					En Banc or other proceedings - provide space for 7 Justices for hosting the Supreme Court
	Courtroom	1,950		1	1,950	
	Courtroom Waiting	200		1	200	
	Vestibule entry	80		1	80	
	Courtroom Storage	40		1	40	
	AV Closet	15		1	15	
	Robing Room	300		1	300	Locate on Private Circulation as Anteroom to Courtroom
	Judicial Restrooms	60		1	60	Locate the Restrooms in Robing Room
	Sub-Total				2,645	
Total Staff			0			
Total Net Square Feet (NSF)					2,645	
Grossing Factor			30%		794	
Total Departmental Gross Square Feet (DGSF)					3,439	

3.4 PROGRAM - JUSTICE CHAMBERS SETS

Court of Appeals, 6th Appellate District New Courthouse Space Program						
Item #	Component	Unit	Planned Need			Notes
	Description	NSF	Staff	Qty	NSF	
Justice Chambers Sets						Planned for 8 Justices and Support Staff
	Presiding Justice Chambers	600	1	1	600	
	Associate Justice Chamber	500	6	7	3,500	6 Existing and 1 New
	Judicial Restroom	50		8	400	Attach directly to the Chambers
	Assistant workstation & support	350	7	8	2,800	Judicial Assistant Workstations with guest visitor waiting, copier, file storage, coffee counter support spaces 1 per Justice
	Research Attorneys	160	21	24	3,840	3 Attorneys per Justice in offices adjacent to Administrative Asst.
	Judicial Conference Room	300		1	300	Capacity for 15
	Sub-Total - Justices, Staff Offices, Workstations & Support Spaces		35		11,440	
Attorneys & Writs Offices, Workstations Support Spaces						Planned for 10 Total Employees
	Managing Attorney Office	200	1	1	200	
	Issues Attorney Office	160	1	1	160	
	Writ Supervising Attorney Office	160	1	1	160	
	Staff Attorney Offices	160	3	5	800	3 Existing and 2 new positions
	Judicial Assistant/Mediation Co	80	1	2	160	1 Existing and 1 new position
	Writs Prep Station	48		1	48	Locate adjacent to Writ attorney offices; includes file storage area with file cabinet and space for 2 open file shelves
	Copy/Work Area with counter	40		1	40	Locate Adjacent to Writs
	Supply/Equipment Storage Closet	50		1	50	
	Cart Storage					Included in Department Circulation Factor
	Sub-Total - Staff & Attorney Support Spaces		7		1,618	
	Sub-Total - All Spaces				13,058	
Total Staff			42			
Total Net Square Feet (NSF)					13,058	
Grossing Factor			30%		3,917	
Total Departmental Gross Square Feet (DGFSF)					16,975	

3.5 PROGRAM - COURT ADMINISTRATION

Court of Appeals, 6th Appellate District New Courthouse Space Program						
	Component	Unit	Planned Need			Notes
Item #	Description	NSF	Staff	Qty	NSF	
Court Administration						Staff Growth is planned for the 2040 need by increasing offices/workstations from 3 to 6 for Administration and 2 to 4 for IT.
Reception						
	Reception Area	100		1	100	Space for 4 to 6
	Standing Receptionist Point	20		1	20	
Offices, Workstations & Support						
	Clerk/Court Executive Office	300	1	1	300	
	Assistant Clerk/Deputy Office	175	1	1	175	
	Administrative Specialist Office	100	1	2	200	HR/Fiscal - 1 Existing and 1 New Position
	Intern/Extern Workstations	48		2	96	2 new positions
	Conference Room	300		0	0	Division Uses Mediation or Judicial Conferencing Space
	Copier/Printer Supply & Recycling Bin Area	80		1	80	Shared with Clerk Operations
	Secure File Storage Room	100		1	100	Shared with Clerk Operations
	Office storage	150		1	150	Shared with Clerk Operations
Court Administration - Information Technology (No Public Access)						
	Supervising Court System Administrator	150	1	1	150	
	Court System Administrator Workstation	80	1	3	240	1 Existing and 2 new positions
	IT Work Area/Bench	150		1	150	
	IT Equipment Storage Room	100		1	100	Co-locate Storage room with Work Bench Area
	File Server Room				0	See Building Support
Total Staff			5			
Total Net Square Feet (NSF)					1,861	
Grossing Factor			35%		651	
Total Departmental Gross Square Feet (DGSF)					2,512	

3.6 PROGRAM - CLERK OPERATIONS

Court of Appeals, 6th Appellate District New Courthouse Space Program						
Item #	Component	Unit	Planned Need			Notes
	Description	NSF	Staff	Qty	NSF	
Clerk Operations						Staff Growth from 8 to 12 for Court Operations for 2040 need will be accommodated by converting file area to workstations.
Public Lobby and Service Counter Area						
	Public Queuing Seating	120		1	120	Seating Space for 6
	Public Document Review Room	100		1	100	
	Counter Workstations (Secure)	48		2	96	Unassigned
Offices, Workstations & Support						
	Supervising Deputy Clerk	120	1	1	120	
	Senior Deputy Clerk	80	3	5	400	3 Existing and 2 new positions
	Deputy Clerk Workstations	80		2	160	2 new positions
	Assistant Deputy Clerk Workst	80	4	4	320	
	Conference/Training Room	200		1	200	
	File/Exhibit Storage Room	120		1	120	Temporary Storage for Paper Files and Case Related Evidence
	Copier/Printer Supply & Recycling Bin Area	80			0	See Court Administration for shared space
	Secure File Storage Room	100			0	See Court Administration for shared space
	Office storage	150			0	See Court Administration for shared space
	Sub-Total				1,636	
Total Staff			8			
Total Net Square Feet (NSF)					1,636	
Grossing Factor			35%		573	
Total Departmental Gross Square Feet (DGSF)					2,209	

3.7 PROGRAM - LAW LIBRARY

Court of Appeals, 6th Appellate District New Courthouse Space Program						
	Component	Unit	Planned Need			Notes
Item #	Description	NSF	Staff	Qty	NSF	
Law Library						No staff growth expected for this division.
	Reception Area	100		1	100	Standing area off public circulation, an unstaffed area for a user's orientation (includes a group copier, printer & periodical rack)
	Law Library	1,300		1	1,300	Provide a combination of 10 double-sided and 4 single sided shelving full height units to store 2,000 linear ft of shelving. At 28 NSF per double-sided unit need about 450 NSF for this shelving.
	Law Library Table Area	30		3	90	
	Law Library Work Room	150		1	150	material
	Law Librarian Office	175	1	1	175	
	Intern/Part-Time Workstation	48		1	48	intern staff
	Sub-Total				1,863	
Total Staff			1			
Total Net Square Feet (NSF)					1,863	
Grossing Factor			20%		373	
Total Departmental Gross Square Feet (DGSF)					2,236	

3.8 PROGRAM - MEDIATION OPERATIONS

Court of Appeals, 6th Appellate District New Courthouse Space Program						
	Component	Unit	Planned Need			Notes
Item #	Description	NSF	Staff	Qty	NSF	
Mediation Operations						
	Reception/Waiting Area	150		1	150	Mediation Waiting - Space for 10 - 15
	Mediation Reception Workstation	64		1	64	Locate with Reception/ Waiting Area
	Mediator Office	100		1	100	Hoteling Office for Mediator
	Mediation Small Conference Room	160		2	320	Up to 8 seating - Access to public circulation
	Mediation Medium Conference Room	300		1	300	Up to 15 seating - Access to public circulation
	Carts					Included in Department Circulation Factor
	Sub-Total - Mediation Operation Spaces		0		934	
	Total Staff		0			
	Total Net Square Feet (NSF)				934	
	Grossing Factor		30%		280	
	Total Departmental Gross Square Feet (DGSF)				1,214	

3.9 PROGRAM - BUILDING SUPPORT

Court of Appeals, 6th Appellate District New Courthouse Space Program						
Item #	Component Description	Unit NSF	Planned Need			Notes
			Staff	Qty	NSF	
Building Support						
Floor 1 - Support Spaces						
	Loading Receiving Area	200		1	200	Assumes no interior bays for loading/unloading
	Building Training Room	500		1	500	IT and other large group training space (25 Staff Capacity); Provide full A/V, electrical and P/C infrastructure. Co-locate with Conference Room, create a portable wall separating the 2 Rooms.
	Building Conference Room	500		1	500	Co-locate with the Training Room and create a portable wall separating the 2 Rooms.
	Trash Recycle Collection Area	100		1	100	
	Housekeeping Storage	150		1	150	
	Housekeeping Workstation	48		1	48	
	General Building Storage Room	250		1	250	
	Maintenance Workstation	48		1	48	
	Staff Break Rooms	300		1	300	One (1) per floor
	Staff Lactation Room	50		1	50	
	Staff Restrooms	TBD				Off restricted circulation and 1 set per floor sized for employee count per floor space in Grossing Factor
	Telecomm Rooms	150		1	150	One (1) per floor
	UPS Room	120		1	120	
	MDF	300		1	300	
	Main Electrical Room	200		1	200	
	Housekeeping closets	40		1	40	One (1) per floor
	Fire Control Room	100		1	100	
Sub-total Floor 1 - Support Spaces			0		3,056	
	Staff Break Rooms	300		1	300	One (1) per floor
	Telecomm Rooms	150		1	150	One (1) per floor
	Housekeeping closets	40		1	40	One (1) per floor
Sub-total Floor 2 - Support Spaces			0		490	Staff Break, Telecom & Housekeeping Closet
Sub-Total					3,546	
Total Staff			0			
Total Net Square Feet (NSF)					3,546	
Grossing Factor			35%		1,241	
Total Departmental Gross Square Feet (DGSF)					4,787	

3.10 PROGRAM - SITE REQUIREMENTS

Court of Appeals, 6th Appellate District New Courthouse Space Program					
10.0 New 6th Court of Appeals Courthouse Site Requirements					
#	Description	NSF		Number	Notes/Comments
A	Public Parking	To be determined		56	The Sunnyvale courthouse site has been test fit to support ≥ 73 including 17 secure parking spaces for public and staff use on the current site. Additional parking spaces could be leased from the city of Sunnyvale. Due to changing WFH and hybrid work practices, the minimum need for public and staff parking spaces will be evaluated when this project proceeds to future phases. Ensure the spaces comply with ADA parking and per space size standards.
B	Secure Parking	To be determined		12	The new courthouse has a minimum need of 17 secure, fenced and screened from exterior view judicial, court, CHP and Private Security parking spaces with direct access to staff restricted circulation. Ensure the spaces comply with ADA parking and per space size standards.
C	Secure Parking - CHP & Private Security	To be determined		5	Secure parking for CHP and private security as noted in 10B above
D	Emergency Generator	To be determined		1	Insure Generator is located away from facility air intake vents
E	Loading/Receiving Landing Area	To be determined		1	Exterior space, directly accessible from double door Loading Receiving Area shown in the Building Support Division (9.)with allowance for pallet jack drop-off mobility.

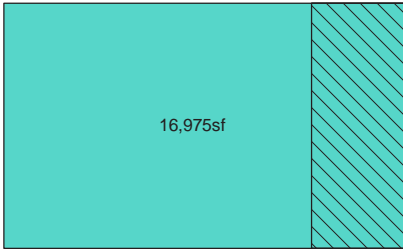


04

PROGRAM ADJACENCY TEST-FIT

4.1 PROGRAM AREA AND ADJACENCY

CHAMBERS



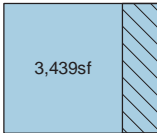
40% GROSSING



BUILDING SUPPORT



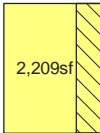
COURTROOM & SUPPORT



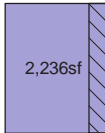
COURT ADMIN



CLERK OPERATIONS



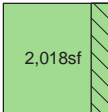
LAW LIBRARY



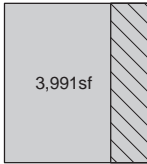
MEDIATION



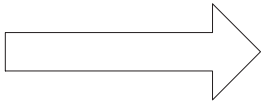
PUBLIC LOBBY



BUILDING SUPPORT

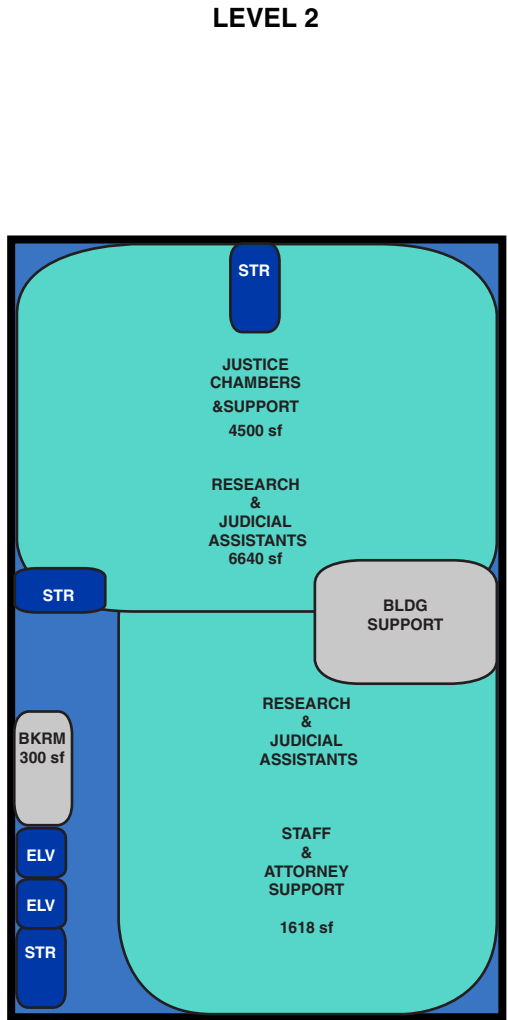
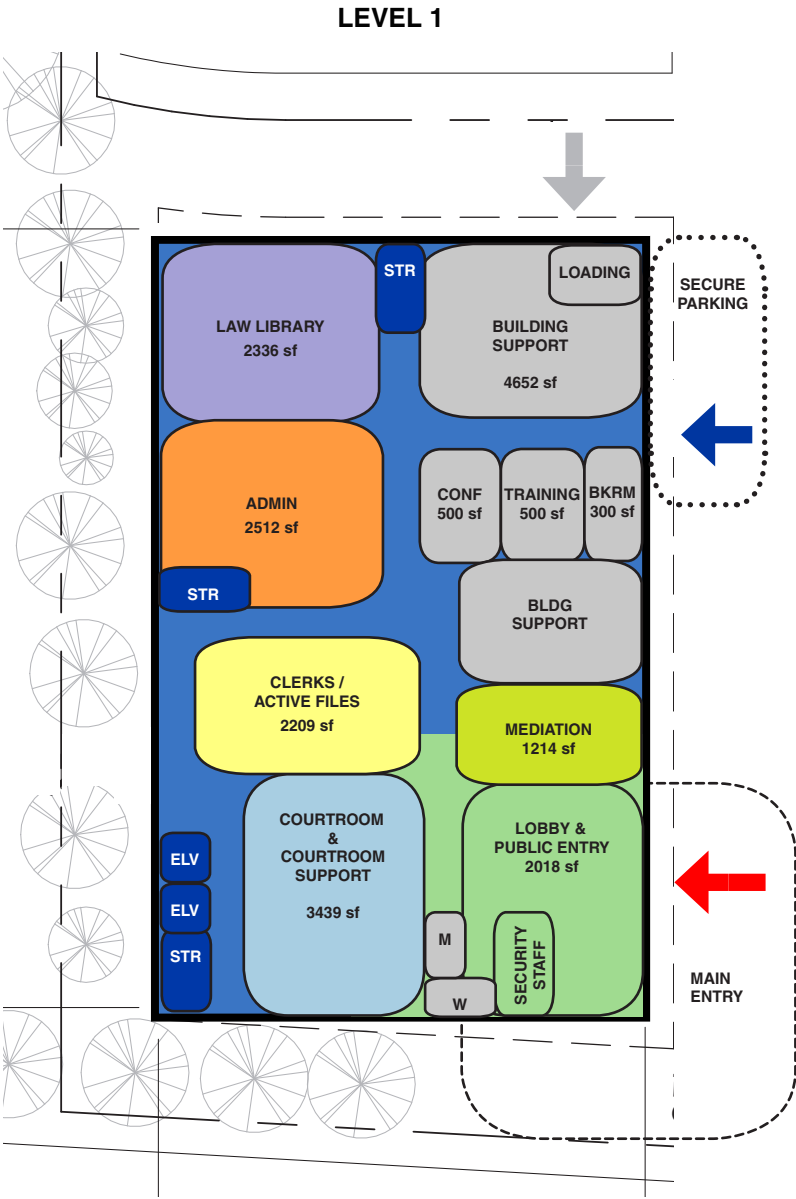


40% GROSSING



***HATCHED AREAS INSIDE BLOCKS DENOTE DEPARTMENTAL GROSSING FACTOR

4.2 PROGRAM ADJACENCY TEST FIT



Note: Program bubble sizes are generalized to show adjacencies.



05

OPTIONS ANALYSIS

5.1 INTRODUCTION

The purpose of this chapter is to evaluate the economic feasibility of building a permanent facility for the Court of Appeal, Sixth Appellate District on an available state-owned property within its jurisdiction, alleviating the uncertainty and rising costs of leasing space. The costs for the design and construction of the new building and property improvements will then be evaluated and compared with the leasing alternative that results in the study findings.

In the following chapter, Option 1 is the studied option to build a new courthouse on an available state-owned property in the jurisdiction of the Sixth Appellate District. The lease alternative is Option 2 to enter into a new long-term lease with the necessary square footage and court space configuration for contiguous operations when the current lease expires in January 2029. The third option merely maintains the status quo in the near term until the current lease expires at the end of January 2029.

5.2 ECONOMIC ANALYSIS

5.2.1 Regional Economic Background

Since it was established in 1984, the appellate district has successfully adjudicated cases from the most optimal location within its jurisdiction—Santa Clara County. As this county is the optimal location for continued public service, this study has focused on both the appellate district’s current location in downtown San Jose and the state-owned property in the city of Sunnyvale.

Santa Clara County encompasses a land area of approximately 1,300 square miles, extending from Palo Alto in the north to Gilroy in the south. It includes the 13 cities of San Jose, Sunnyvale, Cupertino, Campbell, Saratoga, Milpitas, Mountain View, Palo Alto, Santa Clara, Monte Sereno, Los Altos, Morgan Hill, and Gilroy and two towns of Los Altos Hills and Los Gatos.

The majority of urban development is within the northwestern portion of the county, known as the Santa Clara Valley or Silicon Valley and the epicenter of computer technology and development in the United States. It serves high-technology-oriented companies such as Apple, Google, Facebook, IBM, Microsoft, Zoom, and Intel Corporation as well as aerospace industries such as Lockheed and Martin Aerospace.

5.2.2 Redevelopment of the State-owned Property in the City of Sunnyvale

The property located at 605 W. El Camino Real in the city of Sunnyvale is a state-owned asset that was previously used by the Superior Court of Santa Clara County for trial court operations. It still contains the vacant 19,994 SF, single-story building (with a partial basement) constructed in 1967.

This building is in poor overall condition and has surpassed its useful life, making renovation for reuse by the superior court cost prohibitive. The property is irregular in shape, has an area of 2.03-acres, and has level topography (per FEMA is located in Flood Zone X500, defined as *areas determined to be outside 500-year floodplain determined to be outside the 1% and 0.2% annual chance floodplains*). Per the city of Sunnyvale’s zoning map, it is currently zoned P-F (Public Facilities), a zoning district that allows a Courthouse as a legal/conforming land use.

An Appraisal Report for the property was prepared by Property Sciences (see Appendix A.1 determining that the “Highest and Best use” of the property is utilizing the land only for redevelopment and confirming the above assertion that any renovation or reuse of the existing building is cost prohibitive and actually reduces the property value. The appraised value of the 2.03-acre property, land only for redevelopment, was established at \$19.4 million.

5.2.3 Long-term Lease Projections

In review of Santa Clara County - South Bay Area/Silicon Valley office rental market, over the past 12-months rental rates have increased and vacancy rates decreased. Per CBRE Research Figures for the Silicon Valley Office Market in 2022Q1, submarket statistics for Class A office space show a total vacancy for Sunnyvale of 6.7% and Downtown San Jose of 20.3% and lease rates increasing to an average FSG Direct Asking Rate of \$7.35 per square foot per month in Sunnyvale and \$4.83 per square foot per month in Downtown San Jose.

For purposes of this study, the current rent for the South Bay Area/Silicon Valley micro-market was pulled from Colliers Market Rent 2021Q4 and Mercury News.

Colliers Market Rent 2021Q4		Mercury News	
Base Rent:	\$ 5.88	Base Rent:	\$ 5.42
NNN:	\$ 0.40	NNN:	\$ 0.40
Total:	\$ 6.28	Total:	\$ 5.82

For purposes of projecting an appropriate and reasonable office rental rate for 2028Q4 at the time the existing appellate district’s lease will expire, the lower Mercury News rental rate was used with a 3% per year annual increase and a 5% discount rate. The resulting office rental rate that may be expected for the appellate district in November 2028 is \$6.50 per square foot per month.

Refer to Appendix A.5 for complete projected 30-year lease cost analysis for Option 2-Long-Term Lease with Expansion, both as Projected Yearly Rent and at 2029 Net Present Value (NPV).

5.3 PROJECT OPTIONS

5.3.1 OPTION 1: Build a New Courthouse on State-owned Property

This option will provide the construction of a new two-story appellate courthouse of approximately 50,000 square feet on an existing 2.03-acre, state-owned property in the city of Sunnyvale. The project will demolish the existing one-story facility, including basement, and construct the new courthouse in the same general building footprint. The project includes 17 secure parking spaces for justices with solar power generation capability and approximately 60 surface parking spaces for public and staff. The project will replace the Sixth Appellate District's current leased facility.

Overview:

- Provides a permanent facility for the Court of Appeal, Sixth Appellate District.
- Site Location: 605 W. El Camino Real; 2.03-acre site.
 - o Property Appraisal:
 - Land-only = \$19.4 million
- New Appellate District Courthouse
 - o Approximately 50,000 gross square feet (GSF) facility to replace existing leased facilities with deficiencies and accommodate future growth.
 - o 2-story with no basement
- Design-Build Project Delivery – funded through typical state budget process
 - o 30-year bond

5.3.1.1 Analysis

- a. Per the Property Sciences Appraisal Report (Appendix A.1) for 605 W. El Camino in the City of Sunnyvale, the “highest and best use” of the property is for redevelopment.

Redevelopment of this available state-owned property is the best use of this state-owned asset and makes it economically desirable for the proposed 50,000 square foot appellate district courthouse use.

- b. The estimated total Project Budget for the design and construction of the proposed New Sixth Appellate District Courthouse, utilizing the design-build delivery method, is approximately \$86 million. Costs by phase broken down as follows:

Acquisition Phase (State-owned property)	\$0
Performance Criteria Phase	\$2,700,000
Design-Build Phase	\$83,068,000
New Building Total:	\$85,768,000

Refer to Appendix A.2 and A.3 for the associated 3-Page Estimate and Conceptual Estimate Detail.

- c. To create a direct comparison with the alternative Option 2-Long-term Lease with Expansion which includes utilities and maintenance in the lease costs, it was necessary to estimate the potential utility and maintenance costs for the proposed new building over the next 30-years.

i. Utilities:	
Average Annual Utility Cost/sf (NPV) =	\$3.15/sf (*)
50,000 SF x \$3.15/SF =	\$158,000/year
\$158,000/year x 30-years (rounded) =	\$4.7 million
ii. Maintenance:	
Contract Annual cost/sf =	\$4.00/sf
50,000 SF x \$4.00/SF =	\$200,000/year
\$200,000/year x 30-years =	\$6.0 million

(*): Annual utility (electricity, gas sewer, water and trash) costs for the Morgan Hill Courthouse (43-N1), Palo Alto Courthouse (43-D1), Hall of Justice (43-A1 and 43-A2), and Downtown Superior Court (43-B1) were benchmarked to determine a probable utility cost for this new building. Ten years of utility costs for each facility were averaged from 2009 to 2019 and divided by their respective building square feet to determine the annual utility cost per square foot. The cost per square foot was averaged across the five existing facilities and then reduced by 20 percent to account for the aged and inefficient building usage, resulting in the projected annual utility cost for a new sustainable building in the same region. This was compared to utility costs of the New Santa Clara Family Justice Center and the costs were found to be comparable and validated. For purposes of this study, the average annual utility cost was adjusted to 2029 NPV.

- d. The estimated 30-year Building Cost (for comparison to Option 2) inclusive of property redevelopment, utilities, and maintenance, is:

Total Option 1, 30-Year New Building Cost: \$96,468,000

5.3.1.2 Pros

- a. Provides a permanent, long-term facility for the appellate district to continue its valued public service, removing the uncertainty of having to continue leasing office space within its operating budget.
- b. Save the state \$16.7 million of costs at 2029 Net Present Value (NPV).
 - i. Leasing costs at 2029 NPV are
\$113.2 million - \$96.5 million = \$16.7 million
- c. Save the state an estimated amount of \$141 million over a 30-year period of projected expenditures.
 - i. 237.4 million (Option 1 above - \$96.5 million = approximately \$141 million
- d. Eliminates the ongoing, long-term expenses of leasing office space and exposure to the risks of having to compete in a consistently high-demand rental market with private companies with the resources to pay top dollar for that same lease space.
- e. Improves court operational efficiency and security to the benefit of the public through appropriate organization and adjacency of spaces designed and constructed to current facility standards.
- f. Utilizes an existing state-owned asset to its greatest potential, increasing its value and worth within the State's real estate holdings.
 - i. A percentage of the \$85 million construction cost of a 50,000 square foot two-story building will have a direct investment return to the State in an increase valuation of the existing state-owned property.

5.3.1.3 Cons

- a. Requires commitment of capital-outlay resources.

5.3.2 OPTION 2: Long-term Lease with Expansion

This option will involve the negotiation a new long-term lease for a 50,000 square foot office space that can better support the appellate district’s operations more contiguously for improved public service. This new long-term lease is projected and analyzed for a 30-year term .

Overview:

- Lease cost for 30 years at projected market rate, starting in November 2028 to allow completion of improvements for the appellate district and move in prior to existing lease expiration on January 31, 2029.
- Lease space requirements to accommodate future growth are 50,000 square feet.
 - o Tenant Improvement costs for larger leased space.
- Market rent in the area is currently on average \$6.00 per square foot and expected to increase annually to \$6.50 per square foot in 2029 and continue annual increases.

5.3.2.1 Analysis

To determine projected lease costs, annual base rent plus NNN costs (triple net includes all utility and maintenance expenses for the lease space) were utilized from Colliers Market Rent 2021Q4 and Mercury News. The result defined the anticipated starting annual rent in the year 2028-29 to be \$6.50 per square foot.

30-Year Lease Costs (Projected) = \$229,500,000 (**)
 30-Year Lease
 (2029 Net Present Value) = \$105,300,000

(**): 30-year projected lease assumptions:

- i. Initial 10-year lease term with 3.5% increases each year.
- ii. 5-year extensions/renegotiations at 10% increase lease and 3.5%increases each year.

- a. 2029 Tenant improvement of new lease space at a cost of 158.00 per square foot x 50,000 square feet = \$7,900,000
- b. The estimated 30-year Lease Cost, inclusive of leasing and initial tenant improvement,
 - = Total Option 2,
30-Year Leasing Cost (Projected): **\$237,400,000**
 - = Total Option 2,
30-Year Leasing Cost (2029 NPV): **\$113,200,000**

Refer to Appendix A.5 for complete projected 30-year lease cost analysis of Option 2-Long Term Lease with Expansion, both as Projected Yearly Rent and at 2029 Net Present Value (NPV).

5.3.2.2 Pros

Commitment of capital-outlay resources may not be required; however, costs for tenant improvements and increased rent will be required.

5.3.2.3 Cons

- a. Ongoing lease costs are estimated to exceed the Option 1-New Sixth Appellate District Courthouse by \$16.7 million at 2029 NPV and by more than \$141 million of projected expenditures across 30 years.
- b. The appellate district continues to maintain uncertainty surrounding the location of its operations and ability to provide access to its court services.
- c. The appellate district continues to be vulnerable to the rental market conditions and escalating costs.
- d. Rather than from a state-owned asset, relies on the volatile rental market to provide available commercial office space that must be specially designed and constructed for the provision of court services to the public. Such projected lease expenditures could cost over \$229 million for next 30 years and have no capital benefit to the state and no return value of investment.

5.3.3 OPTION 3: Status Quo, Defer This Project

This option only maintains status quo for public service and operations in the near term until the current lease with extension expires at the end of January 2034. Beyond this date, neither the appellate district nor the Judicial Council has capability to ensure the court can remain in its current leased space. The long-term outlook for the subsequent 30 years is that at some point the appellate district will be forced to implement Option 2 without choice and limited pre-planning.

- d. If forced to implement Option 2 at a future time, and rather than use of a state-owned asset, relies on the volatile rental market to provide available commercial office space that must be specially designed and constructed for the provision of court services to the public. Such lease costs have no capital benefit to the state and no return value of investment.

Overview:

- Continue to lease the 10th and 11th floors of the Comerica Bank Building in downtown San Jose, which is a Class A, 12-story high-rise office building at 333 W. Santa Clara Street.
- Current appellate district space available is 43,758 square feet.
- Current negotiated rent for 2022 is \$3.45/sf and will increase to \$4.24 in 2028. This rate is well below the market rental rate.
- Lease expires January 2029 (with a 5-year extension option to 2034).
- Existing building owner may sell property or inheritors may opt not to renew lease or significantly change lease terms beyond the limits of the appellate district's budget.

5.3.3.1 Pros

- a. No commitment of capital-outlay resources.

5.3.3.2 Cons

- a. The existing lease provides only near-term space accommodations for the appellate district and no long-term accommodation
- b. Leaves the Sixth Appellate District vulnerable to the strong possibility of needing to relocate in the near term with risk of finding new leased space in a highly competitive and expensive rental market with limited lease space available and appropriate to be improved for court needs.
- c. The court remains in its existing conditions with deficiencies, such as security and space shortfall, limiting modernization of operations and improved service to the public over time.

5.4 OPTION FINDINGS

The recommended option is Option 1 - Build a New Courthouse on State-owned Property. This option provides the highest and best use of a state-owned asset and provides a permanent facility that supports the Court of Appeal, Sixth Appellate District operations well into the future.

- 5.4.1 Save the state \$16.7 million of costs at 2029 Net Present Value (NPV).
- 5.4.2 Save the state an estimated amount of \$141 million over a 30-year period of expenditures.
- 5.4.3 Utilizes an existing state-owned asset to its greatest potential, increasing its value and worth within the state's real estate holdings.
- 5.4.4 Provide a permanent, long-term facility for the appellate district, removing the uncertainty of having to continue leasing office space within its operating budget.
- 5.4.5 Eliminates the ongoing long-term expenses of leasing office space and exposure to the risks of having to compete in a consistently high-demand rental market with private companies with the resources to pay top dollar for lease space.
- 5.4.6 Improves court operational efficiency and security of the appellate district through appropriate organization and adjacency of spaces designed and constructed to the facility standards.
- 5.4.7 Provides onsite parking for court users to improve access to court services.



APPENDIX

- A.1** Option 1 – Property Sciences Appraisal Report,
605 W. El Camino Real, Sunnyvale
- A.2** Option 1 – 3-Page Estimate,
New Sixth Appellate District Courthouse
- A.3** Option 1 – Cost Estimate Detail,
New Sixth Appellate District Courthouse
- A.4** Option 1 – New Building, Utility Projection
- A.5** Option 2 – Projected Lease Cost Analysis



APPENDIX

A.1

Option 1 – Property Sciences Appraisal Report,
605 W. El Camino Real, Sunnyvale



APPRAISAL OF A *Special Use – Courthouse Property*



PROPERTY
605 W. El Camino Real
Sunnyvale, CA 94087
PSG File Number: 1078260

EFFECTIVE DATE: As Is: April 4, 2022
DATE OF REPORT: April 11, 2022
PREPARED FOR: Judicial Council of California
PREPARED BY: The Property Sciences Group Inc.

April 11, 2022

Ms. Mary Bustamante
Judicial Council of California
2860 Gateway Oaks Drive
Sacramento, CA 95833

JCC Request No. 43-F1-2022-02-22

Dear Ms. Bustamante:

In response to your request we have completed an appraisal of the property indicated in the following table:

Property Type	<i>Special Use – Courthouse Property</i>
Address	<i>605 W. El Camino Real</i>
City, State, Zip Code	<i>Sunnyvale, CA 94087</i>
Report Type	<i>Appraisal Report</i>
Effective Date	<i>April 4, 2022</i>
Interest Appraised	<i>Fee Simple</i>
Intended Use	<i>Internal Reporting Purposes</i>
Site Area	<i>87,247 sq. ft. (2.00 acres)</i>
Gross Building Area	<i>19,994 sq. ft.</i>

The value stated herein is based on our understanding of the site and improvement descriptions as represented to us by the owner's representative, client, public records, our inspection and other available sources. It is your responsibility to read the report and inform the appraisers of any errors or omissions you are aware of prior to utilizing it. This report is for the exclusive use of the client indicated above, and no other party shall have any right to rely on any service provided by The Property Sciences Group, Inc. without prior written consent. Except as noted within the engagement letter, release of this appraisal to any third party without authorization from The Property Sciences Group, Inc. is expressly prohibited. The Property Sciences Group, Inc. will not be responsible for any actions or occurrences as a result of unauthorized use of this report.

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Fax: (925) 273-9876

Southern California
130 North Brand Boulevard, Suite 415
Glendale, CA 91203
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Fax: (925) 273-9876

The following conclusions are premised on the Scope of Work as set forth throughout the attached report, Appraisers' Certification and the Assumptions and Limiting Conditions as cited in the attached report, as well as the facts and circumstances as of the valuation date. In addition, our appraisal is in compliance with the requirements of the Uniform Standards of Professional Appraisal Practice (USPAP), adopted by the Appraisal Standards Board of The Appraisal Foundation. The report also complies with the Supplemental Standards of Appraisal Practice and Code of Professional Ethics of the Appraisal Institute. We certify that this assignment was not based on a requested minimum valuation, a specific valuation, or the approval of a loan. In addition, we have read, understood, and satisfied the Competency Provision of the USPAP.

An "Extraordinary Assumption" is defined by USPAP as "an assumption directly related to a specific assignment of the effective date of the assignment results, which if found to be false, could alter the appraiser's opinions or conclusions." USPAP further states that "Extraordinary Assumptions" presume as fact otherwise uncertain information about physical, legal, or economic characteristics of the subject property; or about conditions external to the property, such as market trends; or about the integrity of data used in the analysis.

A "Hypothetical Condition" is defined by USPAP as "a condition, directly related to a specific assignment, which is contrary to what is known by the appraiser to exist on the effective date of the assignment results but is used for the purpose of the analysis." USPAP further states that "Hypothetical Conditions" are contrary to known facts about physical, legal or economic characteristics of the subject property; or about conditions external to the property such as market conditions or trends; or about the integrity of the data used in the analysis.

Based on a site inspection and a review of the plat map and legal description none of the site area is subject to any implied dedication which would either positively or negatively impact the land area which is the subject of this appraisal.

The use of extraordinary assumptions and/or hypothetical conditions may have affected the assignment results. The following Extraordinary Assumptions or Hypothetical Conditions were noted in this report.

Extraordinary Assumption – Change in Zoning: The analysis determining the As Is value of the subject property has been projected assuming that a potential buyer of the property is able to change the zoning or acquire a conditional use permit allowing for commercial use. The parcel is currently zoned P-F, Public Facilities Zone, and a change in zoning would convert the entire subject's zoning to C-2 (Highway Business) Zoning District. P-F zones allows for offices for government purposes. As the P-F Zoning is highly restrictive, it offers little value to potential buyers, and therefore we have projected that a change in zoning or a conditional use permit allowing of commercial uses would be necessary for the property to be at its highest and best use. Additionally, the majority of the nearby parcels along El Camino Real in the neighborhood of the subject are zoned C-2 (Highway Business). Based on our analysis of the subject's neighborhood, C-2 (Highway Business) Zoning was deemed to be the most probable zoning change for the subject's parcel. We have estimated the cost for the zoning change to be \$200,000 based on our discussion and experience with market participants. Additionally, the assumed zoning change will likely be a condition of sale. Any changes to this assumption may lead to alternate values applying.

Extraordinary Assumption – Property Inspection: The appraisers performed an exterior inspection only. We were unable to complete an interior inspection. We have assumed the interior condition is similar to our property inspection on July 10, 2020. Additionally, the property contact stated that the interior condition has not changed since our previous inspection. If it is determined later that the subject is in different condition and any changes to this assumption may lead to alternate values applying.

Extraordinary Assumption – Condition of the Subject: Based on the appraiser's observations of the subject property, as well as on conversations with the client and in public reports, the improvements have deferred maintenance throughout the property. The subject property has not been operational for several years and is utilized as storage. Deferred maintenance was noted on the interior of the subject including to the ceiling, gypsum board walls, flooring, as well as to the subject's furniture, fixtures, and equipment. This assumption assumes that the appraiser's estimations of the deferred maintenance are accurate and that any changes to this assumption may lead to alternate values applying.

Covid-19 Statement: The outbreak of the Novel Coronavirus (COVID-19) was declared a Global Pandemic by the World Health Organization on March 11, 2020. Over the course of the pandemic, we have seen that the pandemic has had an impact on the real estate market; however, that impact has varied by general economic conditions, location, and property type. As a general statement, the sectors most negatively impacted have been those of hospitality, retail, and restaurants. On the other hand, the industrial warehouse market has strengthened. Apartment properties suffered initially because of a rapid increase in unemployment but have regained some of their strength as the unemployment rate has decreased. The single-family residential market had remained strong throughout the pandemic. The situation regarding the office market is complex. In general, there is a drop in demand for office space as companies and industry sectors that were previously opposed to letting employees work from home have been forced to do so and have now seen that it can work and provides some benefits.

With the introductions of vaccines most of the United States has reopened and life and the economy are seeking to return to normal. However, there remains some area of concerns that may delay a full return to normal.

From the economic perspective, the labor market is unsettled with many available jobs going unfilled. In addition, there have been disruptions in the supply chain that has led to material shortages and has slowed the production of an array of essential and consumer items. With the shortage of some goods and the uneven supply of labor, inflation has now entered the picture. Economists believe that the economic problems will be short term and that the economy should make a full recovery.

The opinions of market value concluded in this appraisal are based on the most current market data available to the appraisers at the time of the assignment as well as the appraiser's best judgement. Because the impact the pandemic may have on the real estate market is not yet fully known, the client is advised to monitor the status of the of the subject property on a regular basis. *(* Statistics are from CDC website as of July 7, 2021)*

“Fair Market Value” The fair market value of the property is the highest price on the date of valuation that would be agreed to by a seller, being willing to sell but under no particular or urgent necessity for so doing, nor obliged to sell, and a buyer, being ready, willing, and able to buy but under no particular necessity for so doing, each

dealing with the other with full knowledge of all the uses and purposes for which the property is reasonably adaptable and available.

The effective date of the As Is Fair Market Value is April 4, 2022, the date of inspection. As a result of our study and investigation, we conclude that the estimated As Is Fair Market Value of the subject property's Fee Simple Estate, predicated on an estimated exposure time of up to twelve months, as of April 4, 2022, was:

AS IS FAIR MARKET VALUE

Nineteen Million Four Hundred Thousand Dollars

\$19,400,000

Thank you for the opportunity to provide this service. Respectfully submitted,

THE PROPERTY SCIENCES GROUP INC.



Robert Barnes

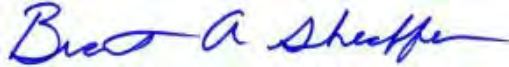
Senior Appraiser

AG041310

Exp. 11/16/2022

Phone: (213) 443-4540

Email: Robert.Barnes@PropSci.com



Brant A. Sheaffer, MAI

Managing Director

AG033878

Exp. 2/14/2023

Phone: (206) 319-5215

Email: Brant.Sheaffer@PropSci.com

Transmittal Letter
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We certify that, to the best of our knowledge and belief, the statements of fact contained in this report are true and correct.

The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are our personal, unbiased professional analyses, opinions, and conclusions.

We have no present or prospective interest in the property that is the subject of this report, and we have no personal interest or bias with respect to the parties involved; any specified interest or bias has not affected the impartiality of my opinions and conclusions.

Our engagement in this assignment was not contingent upon developing or reporting predetermined results.

Our compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.

Our analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice (USPAP), Title XI of the Financial Institutions Reform, Recovery, and Enforcement Act of 1989 (FIRREA), and the requirements of the Code of Professional Ethics and the Standards of Professional Appraisal Practice of the Appraisal Institute.

The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.

Chad Martin, MAI (AG3001541), an employee of Property Sciences Group Inc. completed an interior and exterior inspection of the subject property and provided an internal review. Robert Barnes has not inspected the property but prepared the report. Brant A. Sheaffer, MAI has not inspected the subject but has supervised the appraisal process, made a thorough review of the work file including the finished report, recommended changes where appropriate, and concurs with the analysis and value conclusions stated herein. Brant A. Sheaffer, MAI has satisfied the continuing education requirements for Members of the Appraisal Institute. The Property Sciences Group Inc. accepts full and complete responsibility for the appraisal.

The undersigned hereby acknowledge that they have the necessary education and appropriate experience to complete the appraisal assignment in a competent manner.

The appraisers acted in an independent capacity and not as employees/partners, principals, nor agents of the client's institution.

The appraisers have performed appraisal services, as appraiser or in any other capacity, for the subject property within the three years immediately preceding acceptance of this assignment.

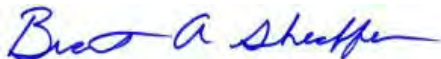
No one else provided significant professional assistance to the persons signing this report.



April 11, 2022

Robert Barnes AG041310
Senior Appraiser

Date



April 11, 2022

Brant A. Sheaffer, MAI AG033878
Managing Director

Date

PROPERTY AND REPORT SUMMARY

Property Type	Special Use – Courthouse Property
Address	605 W. El Camino Real
City, State, Zip	Sunnyvale, CA 94087
APN(s)	165-02-004
Zoning	P-F – Public Facilities Zone
Ownership	The State of California, on behalf of The Judicial Council of California, Administrative Office of the Courts
Interest Appraised	Fee Simple
Intended Use of Appraisal	Internal Reporting Purposes
Site Area	87,247 sq. ft. (2.00 acres)
Gross Building Area	19,994 sq. ft.
Net Rentable Area	19,994 sq. ft.

Dates of Value

As Is Fair Market Value	April 4, 2022
Date of Report	April 11, 2022

VALUATION SUMMARY

<u>Cost Approach</u>	<i>N/Ap</i>	Final Market Value Conclusions	
		<i>As Is Value</i>	\$19,400,000
<u>Sales Approach</u>	\$19,400,000		
\$/S.F. of Land	\$225.00	<i>Exposure Time</i>	Up to twelve months
<u>Income Approach</u>	<i>N/Ap</i>	<u>Insurable Replacement Cost</u>	\$5,200,000



SUBJECT PROPERTY

Property Type *Special Use – Courthouse Property*
Address *605 W. El Camino Real*
City, State, Zip *Sunnyvale, CA 94087*
APN: *165-02-004*

The subject property consists of a single tenant office property that was previously utilized by the State of California as the Sunnyvale Superior Courthouse. The subject property consists of 19,994 square feet of gross building area and is located along W. El Camino Real on an 87,247 square foot site. The subject property has deferred maintenance and is being appraised for land value.

APPRAISERS

<i>Robert Barnes</i>	<i>Senior Appraiser</i>	<i>AG041310</i>	<i>213-443-4540</i>
<i>Brant A. Sheaffer, MAI</i>	<i>Managing Director</i>	<i>AG033878</i>	<i>206-319-5215</i>
<hr/>			
<i>The Property Sciences Group, Inc.</i>	<i>Phone: 925.246.7300</i>		
<i>395 Taylor Blvd, Suite 250</i>	<i>Fax: 925.349.7200</i>		
<i>Pleasant Hill, CA 94523</i>	<i>http://www.propsci.com</i>		

CLIENT

Client: *Ms. Mary Bustamante*
Judicial Council of California
Address: *2860 Gateway Oaks Drive*
Sacramento, CA 95833

DATE OF APPRAISAL

Effective Date of Value	<i>As Is: April 4, 2022</i>
Date of Inspection	<i>April 4, 2022</i>
Date of Report	<i>April 11, 2022</i>

OWNER AND OCCUPANCY

Preliminary Report	<i>Yes</i>
Title Company	<i>Chicago Title Company</i>
Date	<i>April 6, 2009</i>
Owner	<i>The State of California, on behalf of The Judicial Council of California, Administrative Office of the Courts</i>
Occupancy Rate	<i>Owner: 0%</i> <i>Tenant: 0%</i> <i>Vacant: 100%</i> <i>Total: 0%</i>

The subject property is currently 100% occupied as storage.

SALE HISTORY

Transfers in past 5 years	<i>No</i>
Source	<i>Public Record</i>

To the best of our knowledge the subject has not transferred in the past five years, nor is it currently listed for sale.

REPORT TYPE

This is an Appraisal Report, compliant with FIRREA (Financial Institutions, Reform, Recovery, and Enforcement Act of 1989, as amended by the Dodd-Frank Reform Act) and the reporting requirements set forth under Standards Rule 2-2 (a) of the Uniform Standards of Professional Appraisal Practice (USPAP) for an Appraisal Report. It contains the data, reasoning, and analyses used in the appraisal process to develop the appraiser's opinion of value. Supporting documentation concerning the data, reasoning, and analyses is retained in the appraiser's file. The depth of discussion contained in this report is specific to the needs of the client and for the stated intended use. The appraisers are not responsible for unauthorized use of this report. The appraisers possess the necessary experience and competence to complete this appraisal in conformity with the USPAP competency rule.

STANDARD OF VALUE

“Fair Market Value” The fair market value of the property is the highest price on the date of valuation that would be agreed to by a seller, being willing to sell but under no particular or urgent necessity for so doing, nor obliged to sell, and a buyer, being ready, willing, and able to buy but under no particular necessity for so doing, each dealing with the other with full knowledge of all the uses and purposes for which the property is reasonably adaptable and available.

INTENDED USE & INTENDED USER

The intended use of this report is for **Internal Reporting Purposes** any other use is prohibited. The intended user of this report is **Judicial Council of California**. Release of this appraisal to any third party without authorization from *The Property Sciences Group Inc.* is expressly prohibited. A third party is defined as anyone other than the client indicated on the cover page. *The Property Sciences Group Inc.* will not be responsible for any actions or occurrences as a result of unauthorized use of this report.

PROPERTY INTEREST APPRAISED

A "Fee Simple Estate" is defined as follows: Absolute ownership unencumbered by any other interest or estate, subject only to the limitations imposed by the governmental powers of taxation, eminent domain, police power, and escheat.

Personal property is defined as follows: 1. Identifiable tangible objects that are considered by the general public as being "personal"-for example, furnishings, artwork, antiques, gems and jewelry, collectibles, machinery and equipment; all tangible property that is not classified as real estate. (USPAP, 2010-2011 ed.) 2. Consists of every kind of property that is not real property; movable without damage to itself or the real estate; subdivided into tangible and intangible.

No items of personal property were included in the valuation of the subject.

The definition noted above is derived from the Dictionary of Real Estate Appraisal, Appraisal Institute, 5th Edition, 2010.

SCOPE OF APPRAISAL AND REPORTING PROCESS

The scope of the appraisal included:

- interior/exterior inspection
- reviewed floor plans
- researched comparable sales
- interviewed principals leasing brokers, appraisers, city and government personnel and/or local property managers
- reviewed published surveys
- reviewed public records
- reviewed private data providers
- reviewed PSG files

The type and extent of the analysis is further addressed in the Methodology Section of this Report. The appraisers have analyzed/appraised the subject's property type before and possess the necessary competence to complete this appraisal in conformity with the competency provision of USPAP. This appraisal has been prepared in conformity with the:

- Uniform Standards of Professional Appraisal Practice (USPAP)
- Financial Institutions Reform, Recovery, & Enforcement Act of 1989 (FIRREA)
- Appraisal Institute Code of Professional Ethics
- Appraisal Institute Standards of Professional Appraisal Practice
- Federal Deposit Insurance Corporation (FDIC)
- Code of Federal Regulations (CFR) requirements for above

The appraisers reviewed:

- published market reports from leading brokerage houses and providers
- public records
- private party data providers including Costar Inc., Loopnet, TRW, Dataquick, and Multiple Listing Services among others
- proprietary data retained in Property Sciences files

The Scope of Work is further delineated throughout the various sections of this report. The reader is directed to the various sections of this report for a more detailed explanation of the scope of work as it relates to the relative section of the report.

EXPOSURE TIME

Exposure Time is defined in the Dictionary of Real Estate Appraisal (Appraisal Institute, 5th Edition, 2010) as "The estimated length of time the property interest being appraised would have been offered on the market prior to the hypothetical consummation of a sale at market value on the effective date of the appraisal."

MARKETING TIMES PwC INVESTOR SURVEY	
Property Type (Market)	1 st Qtr. 2022
National Regional Mall	3.0 – 18.0 months (12.0 Avg.)
National Power Center	3.0 – 12.0 months (6.6 Avg.)
National Strip Shopping Center	2.0 – 18.0 months (6.8 Avg.)
National CBD Office	3.0 – 18.0 months (9.3 Avg.)
National Suburban Office	1.0 – 15.0 months (7.0 Avg.)
National Warehouse	1.0 – 9.0 months (3.3 Avg.)
National Apartment	1.0 – 12.0 months (4.3 Avg.)
National Net Lease	2.0 – 18.0 months (6.2 Avg.)
National Medical Office	1.0 – 12.0 months (4.6 Avg.)
National Full-Service Lodging	1.0 – 12.0 months (6.8 Avg.)
National Economy/Limited-Service Lodging	2.0 – 12.0 months (6.8 Avg.)
National Luxury/Upper-Scale Lodging	1.0 – 12.0 months (7.0 Avg.)
National Select-Service Lodging	1.0 – 12.0 months (4.8 Avg.)

Source: Price Waterhouse Coopers

As of the effective date, the short and long-term impact on the real estate market from the COVID-19 virus is unknown. However, due to the virus, it is reasonable to assume that current market conditions will extend marketing times beyond the recent historical levels. Additionally, it could have a negative impact on values, but the impact is still unknown. Consequently, a reasonable exposure time at the estimate of market values, assuming sufficient and reasonable marketing efforts, was up to twelve months. Additionally, assuming an active market with adequate buyers and sellers in addition to adequate financing, the estimated marketing time for the subject is also up to twelve months.

REGIONAL DESCRIPTION

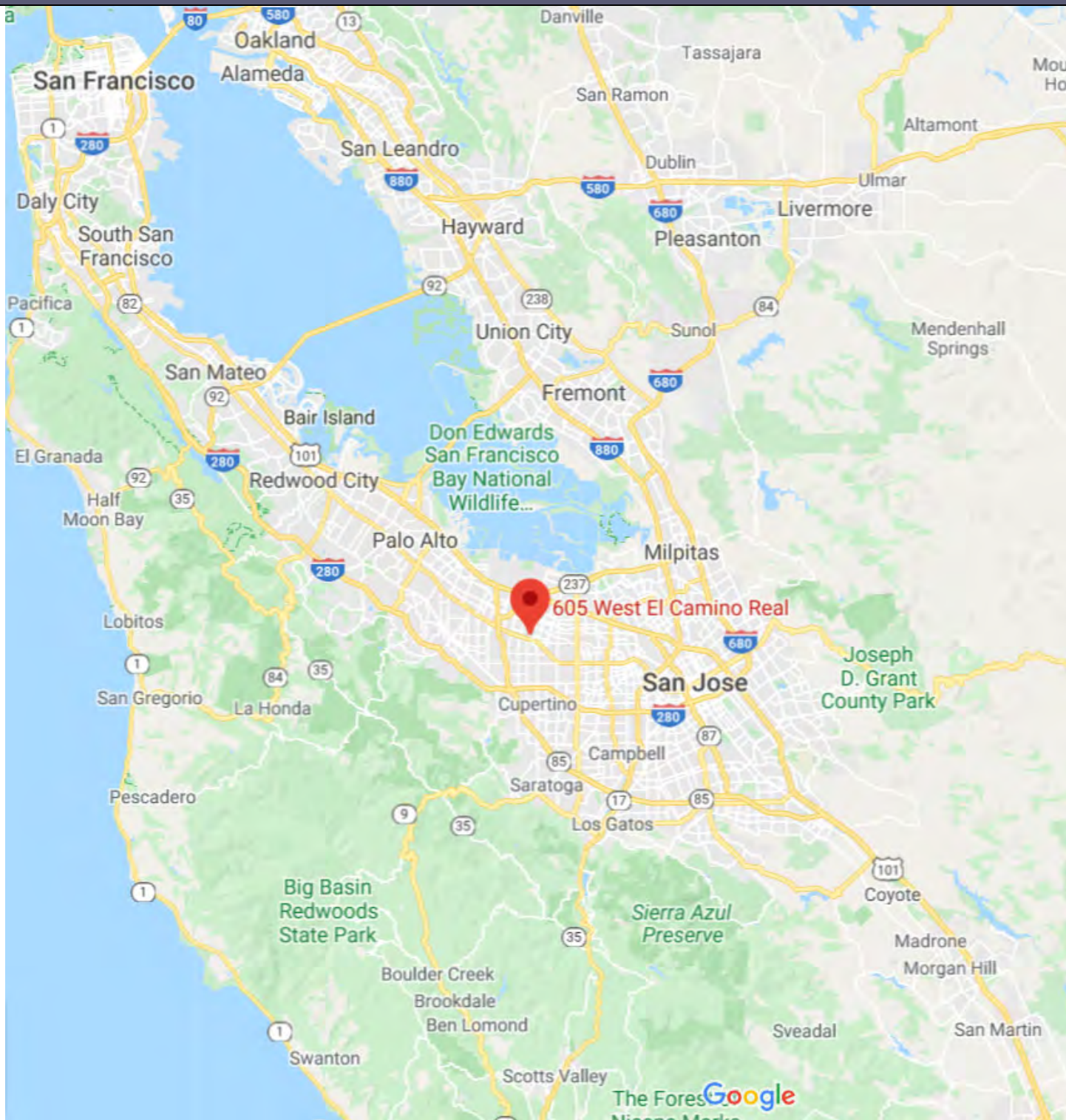
The San Francisco Bay Area encompasses the nine counties fronting San Francisco Bay. This is a diverse area in terms of employment, geography, and residential characteristics. This region has also experienced tremendous growth over the past two decades.

Development in the area originated along the perimeter of the San Francisco Bay. As employment increased and the downtown areas developed with office, industrial, and high technology businesses, residential development expanded in an outward pattern along major transportation corridors. Throughout the 1980's secondary cities developed rapidly with more housing. As a result, businesses moved their back-office operations out of the high-priced downtown districts to suburban communities, such as Walnut Creek and Pleasanton. As land supply diminished and prices increased along the Bay, residential development has moved outward to once rural areas such as Livermore, Tracy, Antioch, Brentwood, and Gilroy. With Bay Area single-family home prices among the highest in the nation, affordability issues hamper the ability of employees to live and work within the same community.

With the shift in housing to outlying areas, the Bay Area has some of the most congested highways in the nation. Commute times have increased dramatically over the years and some of the highways are virtually grid locked during weekdays. This has resulted in a number of no-growth initiatives by various cities and counties which are aimed at limiting new commercial and residential development.

The Bay Area has a relatively diverse economic base. The South Bay and Silicon Valley are noted for technology companies. San Francisco is the center for trade and finance and has maintained a relatively strong economy. The East Bay area is primarily industrial with secondary office operations located in the suburbs and the North Bay areas such as Napa County. The Napa Valley is primarily agricultural and is a world-renowned wine producing area. Overall, the Bay Area remains a desirable place to live and work but faces substantial challenges related to growth, affordability, and employment.

REGIONAL MAP



COUNTY DESCRIPTION

Santa Clara County encompasses a land area of 1,300 square miles and extends from Palo Alto/Menlo Park in the north to Gilroy in the south. It includes the cities of San Jose, Sunnyvale, Cupertino, Campbell, Saratoga, Milpitas, Mountain View, Palo Alto, Santa Clara, Morgan Hill, and Gilroy. Santa Clara County is bordered by San Mateo County to the north, San Francisco Bay and the Diablo Mountain Range to the east, the Santa Cruz Mountains to the west, and San Benito County to the south.

Most urban development is within the northwestern portion of the county, known as the Santa Clara Valley or Silicon Valley. Much of the rest of the county is hilly or mountainous open space or in agricultural use. The Association of Bay Area Governments estimates there are 29,000 acres of available land in the county with only Napa and San Francisco counties having a smaller percentage available for development. Consistent with past patterns, most of the land (18,900 acres or 65%) will be put to residential use.

Traditionally, employment in Santa Clara County has been concentrated in the City of San Jose, providing heavy industrial jobs and white-collar positions with the remaining areas being agricultural in orientation. In the last twenty-five years agriculture was replaced by residential housing to support a growing industrial base centered on the development of the computer and the creation of Silicon Valley. This fueled the development of high concentrations of well-paying technology and office jobs.

Santa Clara County is part of the Silicon Valley, which is the epicenter of computer development in the United States. It includes companies such as Apple, Google, Facebook, IBM, Microsoft, and Intel Corporation. In addition to high technology-oriented companies, aerospace industries such as Lockheed and Martin Aerospace are located at the former naval air station of Moffet Field in Mountain View. Health care and government are the top employers in the County with Stanford University and the Stanford Medical Center in Palo Alto being major educational and research centers for advanced medical treatments.

There has been a tremendous shift in housing in Santa Clara County over the past decade. San Jose was the primary residential area for the county with modest homes that provided housing for the primarily blue-collar industrial workers. However, as previously indicated, the conversion of the county from an agrarian to an industrial base, fueled by the development of the computer, created the conversion of orchards to industrial business parks and residential subdivisions. With the shift to high-tech jobs, wages have increased and housing prices and quality have also climbed. In addition, the lack of land near the Bay has resulted in urban sprawl, particularly in the once rural areas of Morgan Hill and Gilroy to the south, extending as far as Hollister in San Benito County.

Santa Clara County has an excellent freeway system, although traffic congestion is increasing. Three major airports: San Francisco International, Oakland International and San Jose International, along with smaller, community airfields located in San Jose and San Martin in the south of the county, provide air transportation. All major rail lines service the area, and the deep-water ports of San Francisco and Oakland provide significant sea shipping lines and facilities.

CITY DESCRIPTION

The subject property is located in the City of Sunnyvale, Santa Clara County, California. This area is part of the San Francisco Bay Area Region and the San Jose Primary Metropolitan Statistical Area (PMSA). San Francisco is 35 miles to the north along the San Mateo Peninsula, and the City of Oakland is approximately 45 miles north along the East Bay. In addition, the Central Valley is easily accessible via I-680, which provides access to I-580. Sunnyvale is bounded by Palo Alto and the San Francisco Bay to the north, Mountain View to the west, Cupertino to the south, and San Jose and Santa Clara to the east.

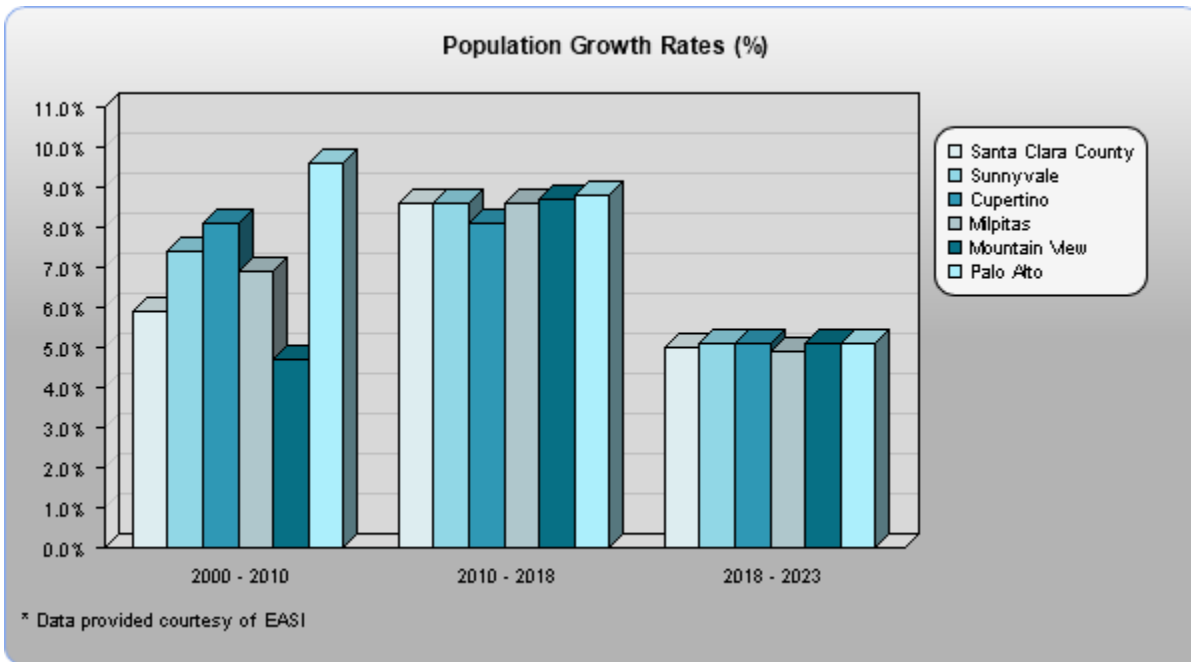
Santa Clara County and Sunnyvale are part of the Silicon Valley, an internationally-known high technology center. R&D and high-tech manufacturing fuel not only the county's employment base, but constitute a principle force in the entire Bay Area economy. Although slowed by the recession over the past few years, all projections indicate that job and population growth will continue in tandem well into the next decade. Sunnyvale, like most other nearby communities, is moderately to densely developed with shopping centers, office buildings, residential subdivisions and supporting commercial services.

POPULATION CHARACTERISTICS

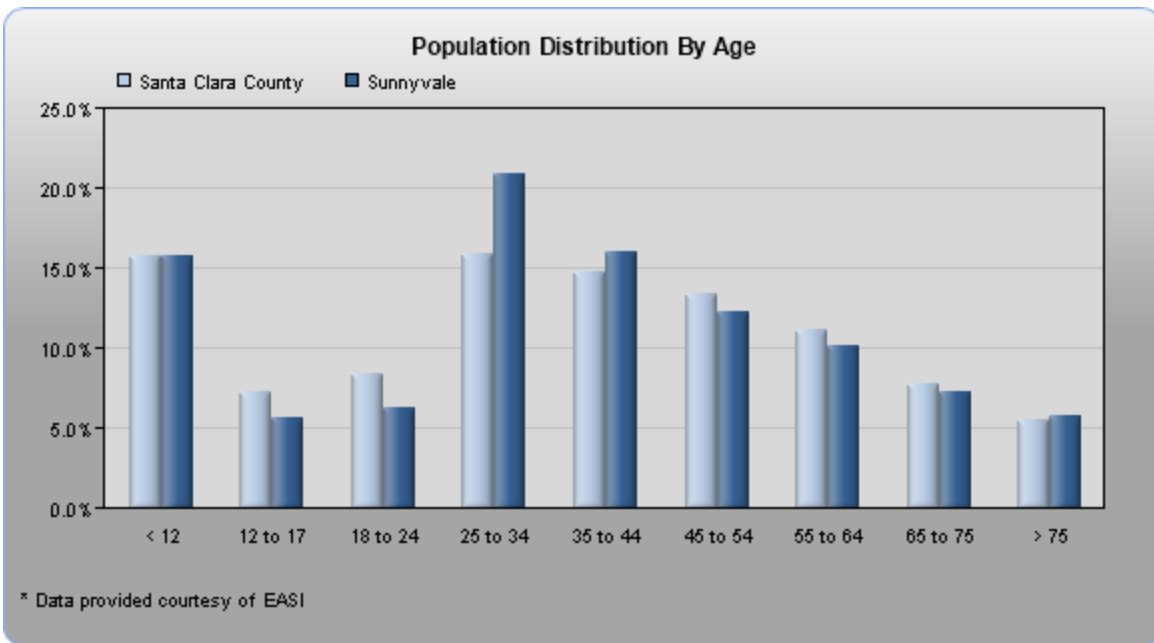
With the rapid development of the East Bay area after World War II and the more recent technology boom of the 1990s, Santa Clara County saw incredible growth. The cities of Mountain View, Sunnyvale, Cupertino, Santa Clara, and Campbell have also seen this growth. As the Bay Area population continues to increase, development is occurring on the outer perimeter of the County and along major transportation routes. The South County area, in southern Santa Clara County, is located along U.S. Highway 101 and has provided an ideal area to accommodate this growth. The area has abundant, relatively inexpensive, land which has permitted large tracts of land for master planned communities. The area also has an abundant supply of land for commercial development, providing services and retail for the expanding population as well as adding employment opportunities. Over the next several years, residential development is expected to continue in the county.

The City of Sunnyvale is one the smaller cities in Santa Clara County (based on total population). As can be seen in the following table, the population of Sunnyvale has experienced moderate growth in population between 2010 and 2018. In addition, population growth is expected to be slow over the next decade, as the city is essentially built-out.

Population – County and Selected Cities				
	2000	2010	2018	2023
Santa Clara County	1,682,614	1,781,642	1,934,934	2,032,272
Campbell	38,430	39,349	42,818	44,998
Cupertino	53,936	58,302	63,041	66,247
Milpitas	62,479	66,790	72,561	76,122
Mountain View	70,716	74,066	80,546	84,659
Palo Alto	58,757	64,403	70,065	73,612
San Jose	903,201	945,942	1,026,913	1,078,749
Santa Clara	102,289	116,468	126,416	132,743
Sunnyvale	130,477	140,081	152,153	159,869

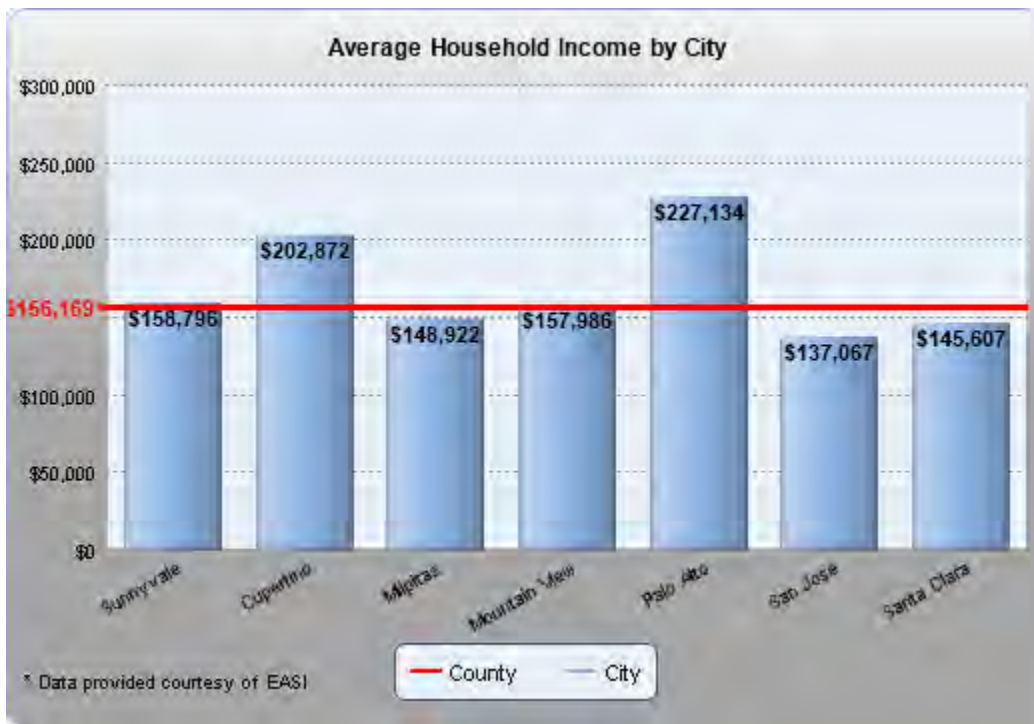


Population Change (%) County and Selected Cities			
	2000-2010	2010-2018	2018-2023
Santa Clara County	5.9 %	8.6 %	5.0 %
Campbell	2.4 %	8.8 %	5.1 %
Cupertino	8.1 %	8.1 %	5.1 %
Milpitas	6.9 %	8.6 %	4.9 %
Mountain View	4.7 %	8.7 %	5.1 %
Palo Alto	9.6 %	8.8 %	5.1 %
San Jose	4.7 %	8.6 %	5.0 %
Santa Clara	13.9 %	8.5 %	5.0 %
Sunnyvale	7.4 %	8.6 %	5.1 %



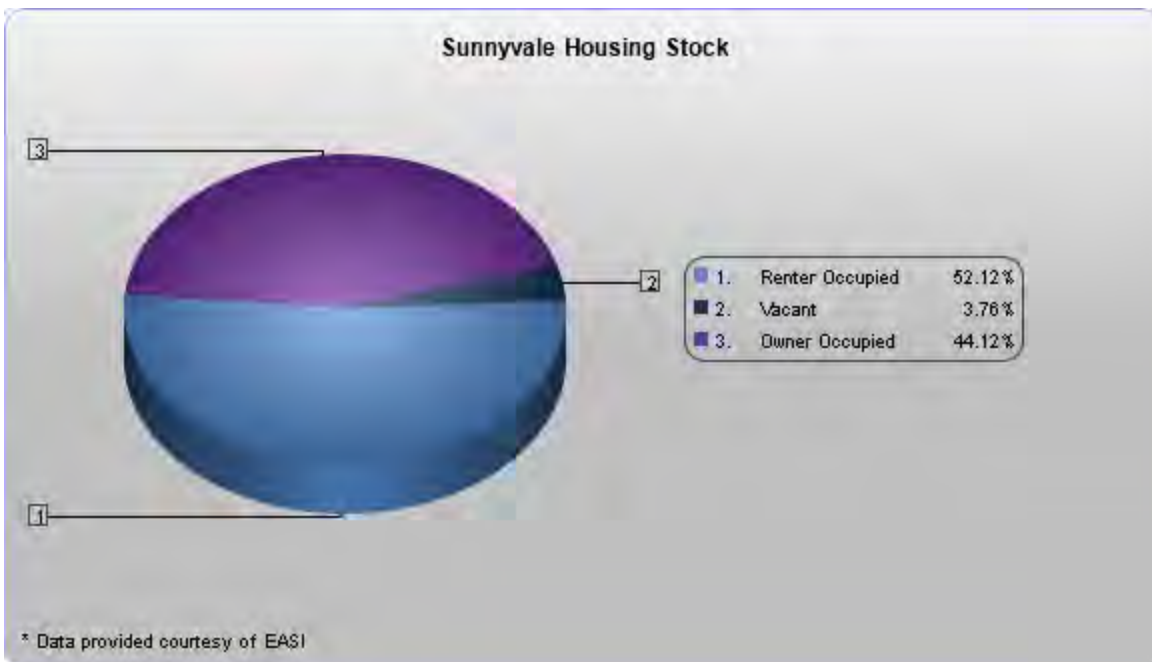
As noted in the Population by Age Distribution chart, the City of Sunnyvale attracts a variety of age groups; however, the city has the largest population base in the 25 to 44-age categories. This data indicates the area attracts younger households, primarily due to employment opportunities.

INCOME CHARACTERISTICS



Income levels in Santa Clara County vary significantly from city to city. Some of the wealthiest communities include the cities of Palo Alto and Cupertino. Although the mean household income in Sunnyvale is lower than the county overall, it is above some of the other cities in the county, particularly the south county area.

HOUSING CHARACTERISTICS

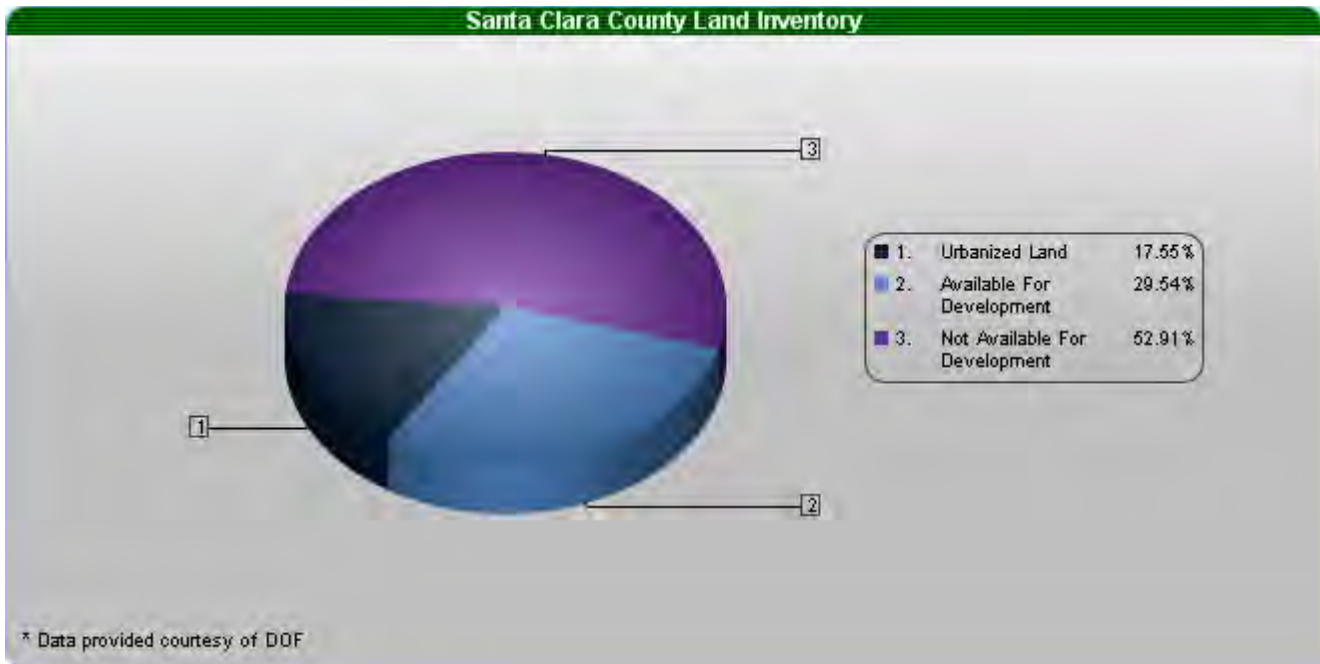


The City of Sunnyvale's housing stock is 52.12% renter-occupied and 44.12% owner-occupied. In comparison, Los Gatos and San Jose are 66% and 61% owner-occupied respectively.

According to Core Logic, median prices of all homes were reported as follows:

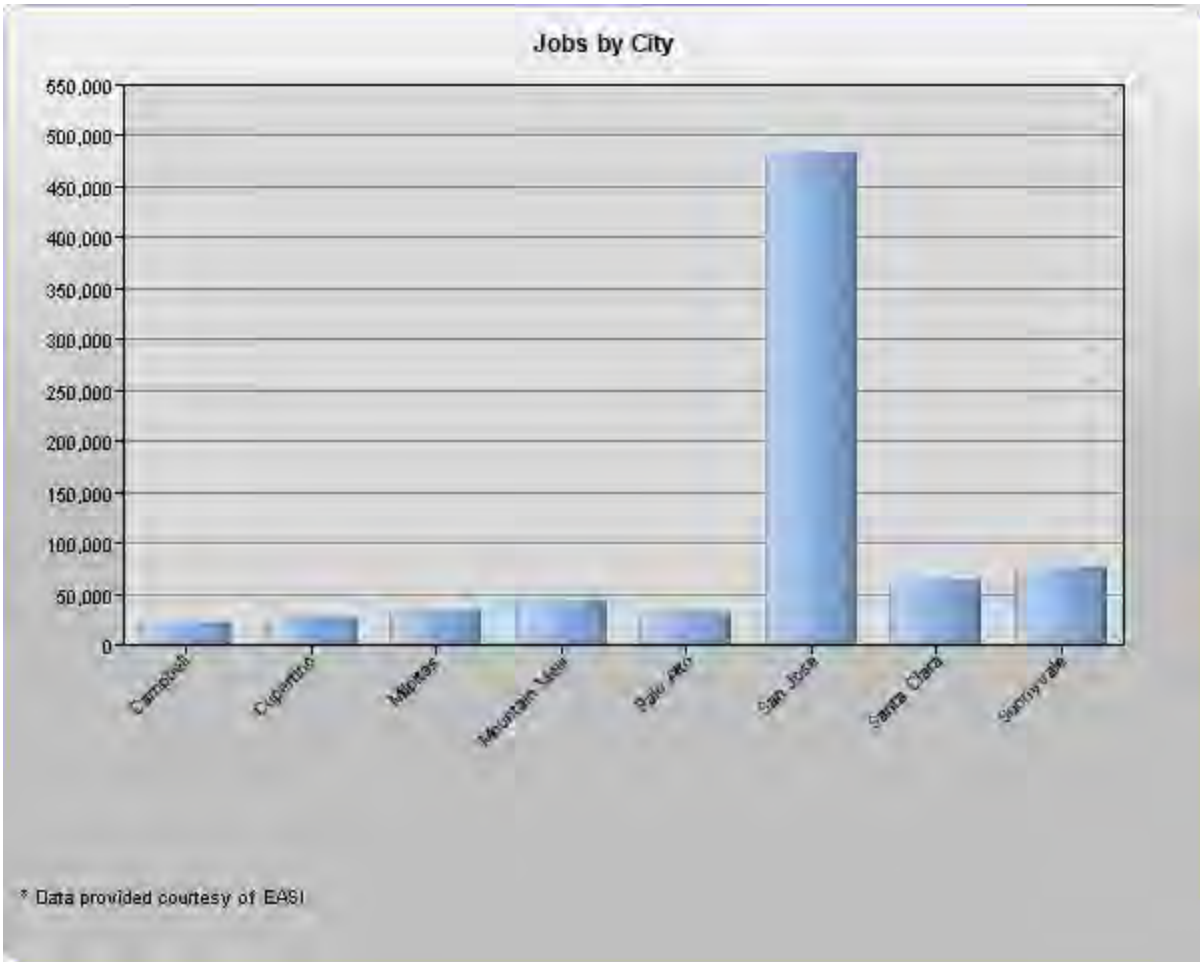
Area	January 2022	January 2021	% Change
Santa Clara County	\$1,257,000	\$1,121,000	12.1%
Sunnyvale	\$1,655,000	\$1,460,000	13.4%

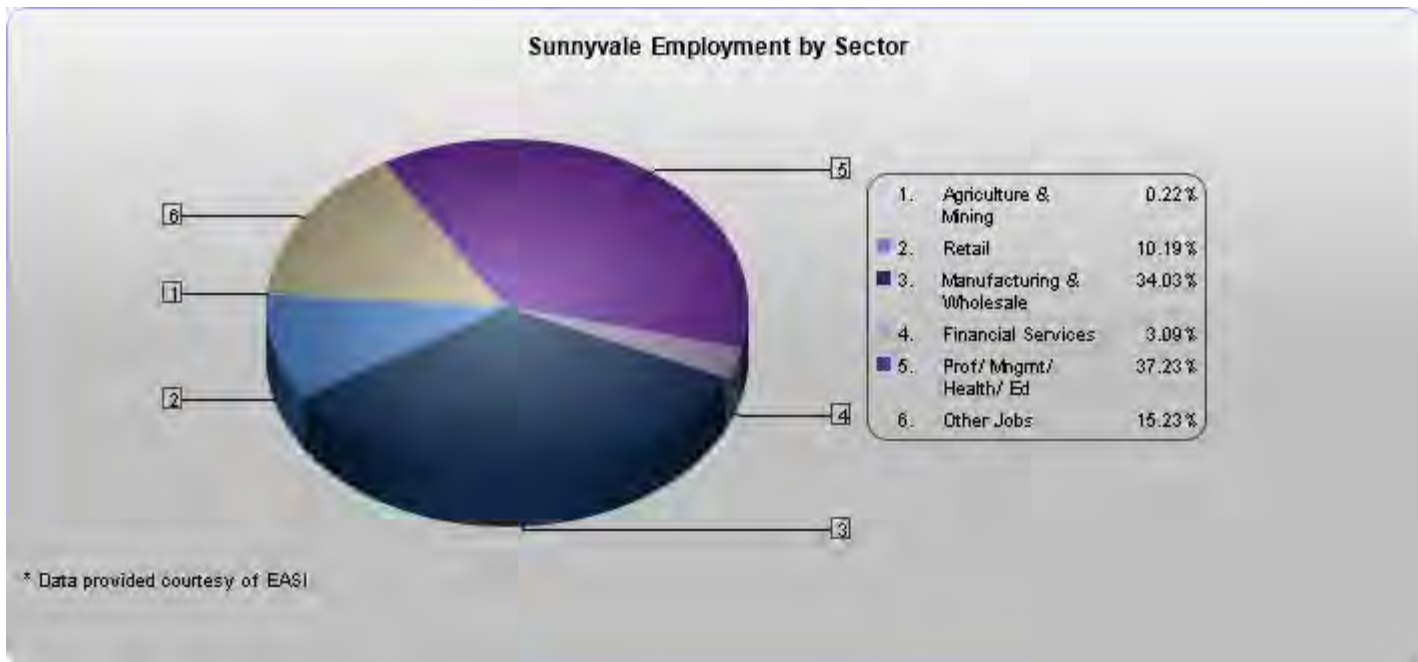
LAND USE



According to the California Department of Housing and Community Development, there is still land available for future development in Santa Clara County. The rapid pace of development in the county, however, has resulted in a growing "anti-development" sentiment. Large portions of the county are being included in green belt areas and zoned for agricultural use in order to slow growth. The south county area has substantial land still available for commercial and residential development. In the rest of the county the majority of land available for development consists of infill and redevelopment parcels. In addition, with the escalating price of land and buildings, sites that were once considered marginal are also being developed. This includes bay lands and steep hillside parcels.

EMPLOYMENT CHARACTERISTICS





The largest employment sectors in the City of Sunnyvale are the Professional Service/Management/Health/Education sector and the manufacturing and wholesale.

The unemployment rate for the City of Sunnyvale was estimated at 2.5% as of January 2022 which is lower than the averages for Santa Clara County, which was estimated at 3.3%, by the Employment Development Department. The average unemployment rate in Sunnyvale in 2019 was approximately 2.0% and the average for the county was approximately 2.5%. The unemployment rate is similar to pre-Covid-19 indicating that the market has nearly recovered from its affects.

SUMMARY AND ANALYSIS

The Bay Area region has numerous attributes that include a diversified economic base, high-paying jobs, an educated populace, excellent distribution infrastructure and a mild climate. Detractors include traffic and commute problems due to a strained transportation infrastructure, high housing costs and a lack of developable land. The Santa Clara County and the city of Sunnyvale have a strong market appeal amongst homeowners, even if it means commuting to other communities for employment.

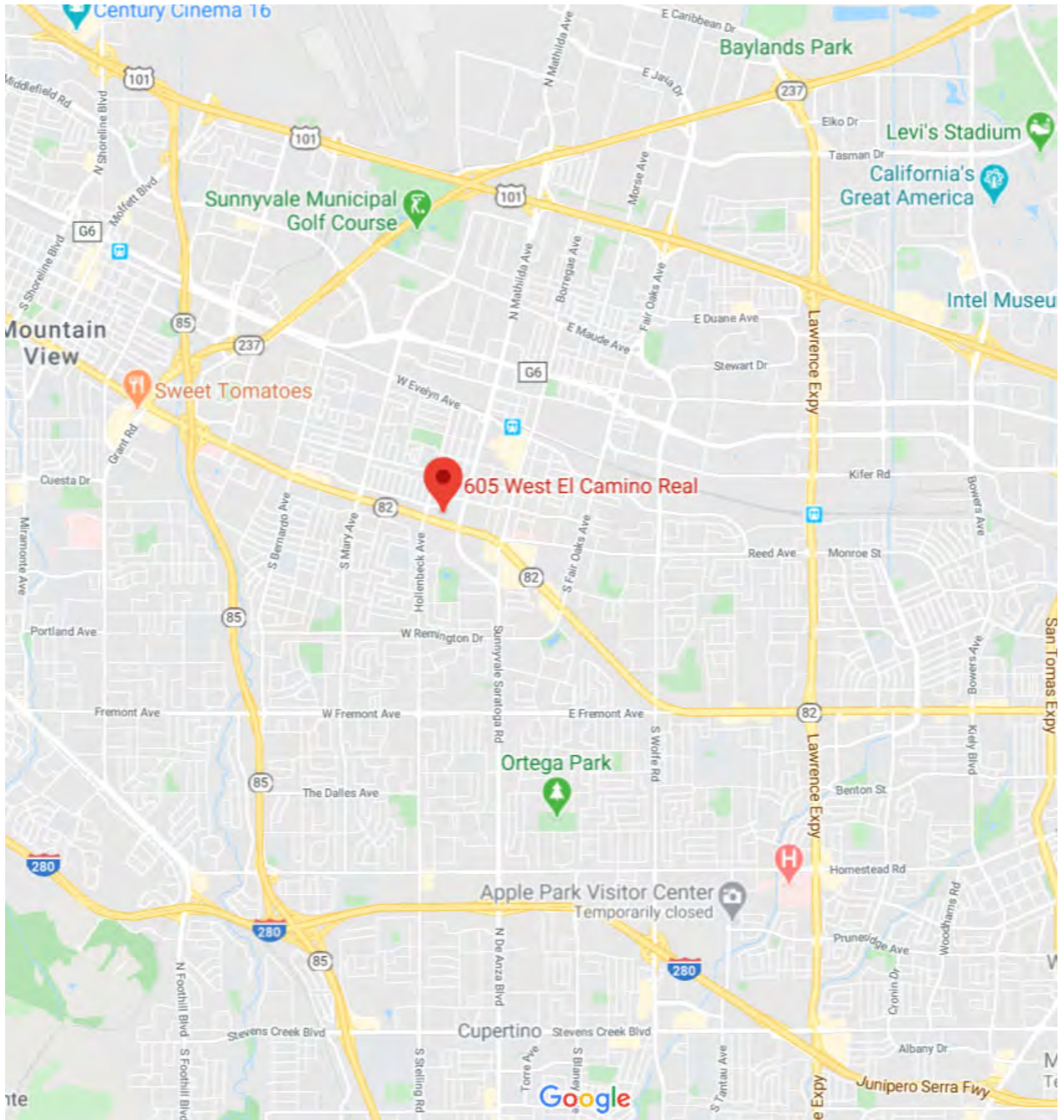
NEIGHBORHOOD

Street Name	Frontage	Direction	Lanes	Parking
W. El Camino Real	<i>280 Ft</i>	<i>East/West</i>	<i>Six</i>	<i>None</i>
All American Way	<i>8 Ft</i>	<i>East/West</i>	<i>Two</i>	<i>None</i>
Lighting	<i>Adequate</i>			
Intersection Controls	<i>Stop Sign</i>			
Adjacent Uses				
North of Subject	<i>Sunnyvale City Hall</i>			
South of Subject	<i>Hotel & Retail</i>			
East of Subject	<i>Public Land</i>			
West of Subject	<i>Police Station</i>			
Neighborhood Boundaries				
North	<i>US-101</i>			
South	<i>I-280</i>			
East	<i>Lawrence Expressway</i>			
West	<i>SR-85</i>			
Freeways	Name	Miles	Direction	
	<i>State Route 85</i>	<i>1.7</i>	<i>West</i>	
	<i>US 101</i>	<i>2.0</i>	<i>North</i>	
	<i>I-280</i>	<i>2.5</i>	<i>South</i>	

The subject property is situated along the north side of W. El Camino Real, between Mathilda Avenue and Pastoria Avenue in the city of Sunnyvale, CA. The neighborhood is predominately commercial uses along El Camino Real with residential uses are located nearby on secondary streets.

The neighborhood as well as its infrastructure is suburban. The streets are improved with concrete curbs and gutters, streets are paved with asphalt, and all utilities and city services are available to the neighborhood. The properties in the area generally reflect average levels of maintenance and condition and the market appeal and acceptance of the properties is average. The neighborhood is in the stable stage of its life cycle. The stable stage is defined as "a stage in a neighborhood life cycle in which the neighborhood experiences equilibrium without marked gains or losses." The Dictionary of Real Estate, 5th Edition.

NEIGHBORHOOD MAP



MARKET OVERVIEW

THE COMMERCIAL REAL ESTATE MARKET

The PwC Real Estate Investor Survey for the First Quarter of 2022 summarizes the current state of the commercial real estate market, with excerpts as follows:

“Two years from the onset of the pandemic, much of the U.S. commercial real estate (CRE) industry is demonstrating a resurgence after being hit hard by tenant move outs and closures, lease renegotiations, and diminished tenant demand. Certain property sectors and niche property types, like warehouse, medical office buildings, and self-storage, never seemed negatively impacted by the pandemic and continue to post solid impressive performances. In turn, many investors are continuing to pursue buying opportunities as they have since the start of the pandemic – with discipline, caution, and careful underwriting. “Our investment objectives haven’t changed over the past year,” remarks an investor, currently buying office assets. “Our goals are the same as last year – buy selectively and be cautious,” says another.

Given the vast number of office metros expected to be in the recession phase of the real estate cycle by year-end 2022, buyers are understandably adopting a restrained approach as new leasing trends evolve and the work-from-home movement endures. The PwC Real Estate Barometer forecasts that 65.0% of the 57 office cities analyzed will be in recession by yearend 2022. The good news, however, is that 2022 is projected to be the bottom of the current cycle for the office sector. In 2023, most office metros will be in either recovery (56.0%) or expansion (35.0%). In contrast, 2022 is expected to be another banner year for the industrial sector with 76.0% of the 55 metros analyzed projected to be in expansion. This percentage declines only slightly in 2023 (64.0%), continuing a favorable environment for sellers.

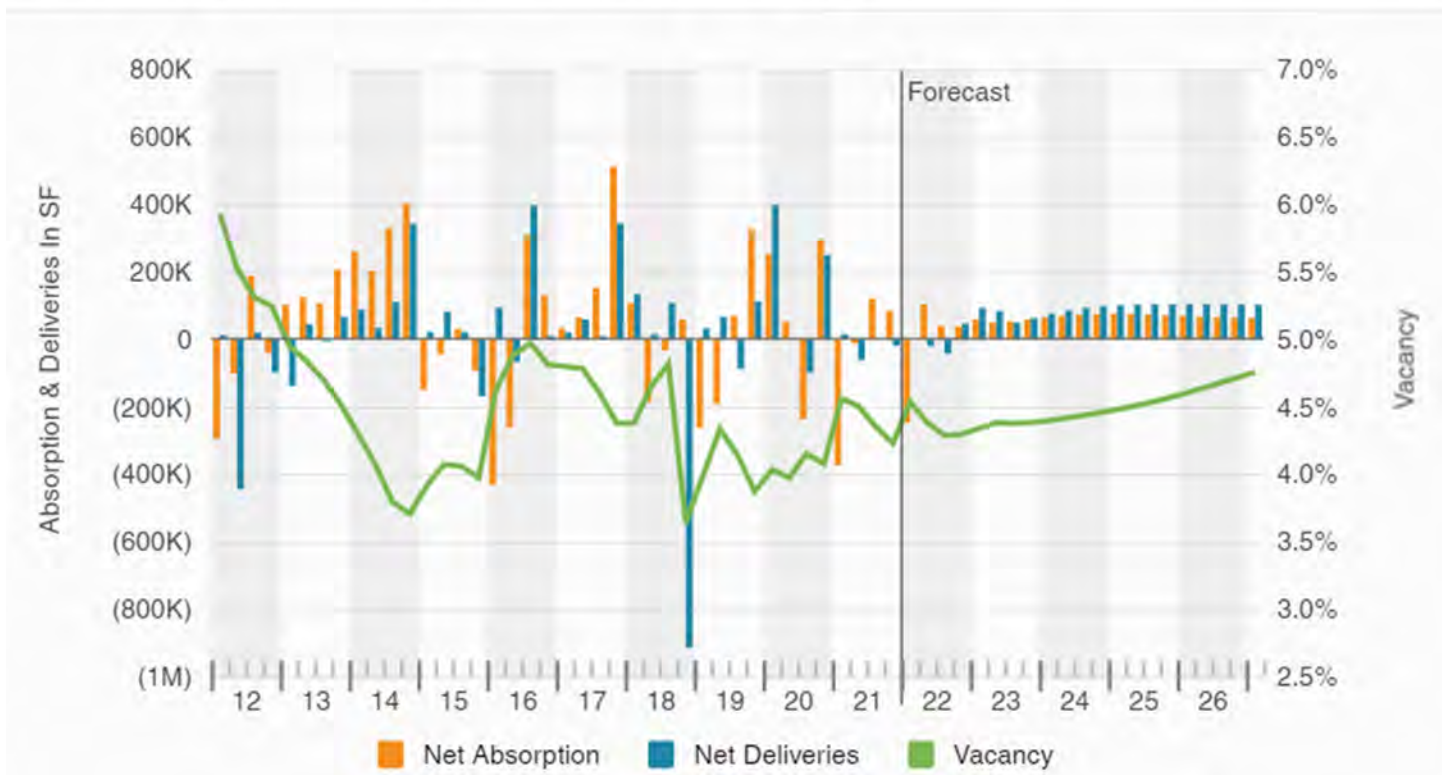
For buyers, the stability demonstrated by the apartment sector throughout the pandemic remains enticing. “The ongoing pandemic is obviously challenging, but we are actively monitoring the situation and have no immediate plans to change our long-term investment strategy,” comments an investor. By year-end 2022, the PwC Real Estate Barometer forecasts that 54.0% of the 82 cities analyzed will be in the expansion phase of the cycle, including Detroit, Buffalo, Providence, Fort Worth, and Tacoma.

While the portion of U.S. retail metros in expansion for 2022 is much lower than the other three CRE sectors, the outlook for the retail sector is one of the most positive in years as more consumers shop in stores and the buy-online-pick-up-in-store purchasing pattern continues to revitalize many physical retail locations. As such, 49.0% of the 80 retail metros analyzed are forecasted to be in recovery by year-end 2022, including Cleveland, Central New Jersey, and Las Vegas. It remains to be seen if a true retail renaissance is emerging, but when combined with the positive trends occurring elsewhere in the industry, it’s understandable why many investors remain committed to acquiring CRE assets during such a transformative time.”

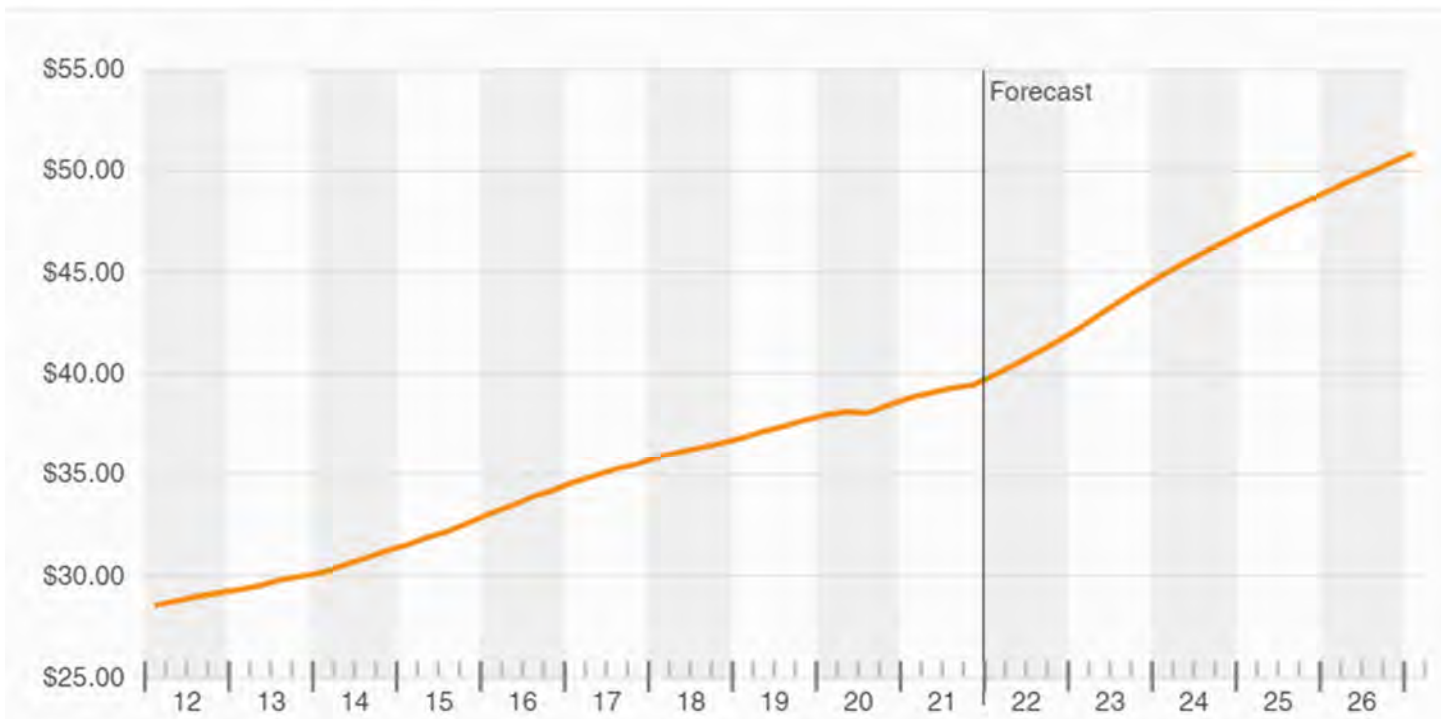
SOUTH BAY/SAN JOSE RETAIL MARKET

The subject is located in the South Bay/San Jose designated market area. According to CoStar, as of March 24, 2022, the vacancy rate is 4.6%, which is an increase of 0.1% from the prior period of 4.5%. Net absorption was negative (134,000) square feet over the past 12 months, which is an increase from the prior period of negative (203,000) square feet. The average quoted rental rate was \$39.80 per square foot, per year or \$3.32 per square foot, per month, which is a 2.7% increase from the prior period. The current average capitalization rate is 5.0% which is a decrease of 0.1% from the prior period of 5.1%.

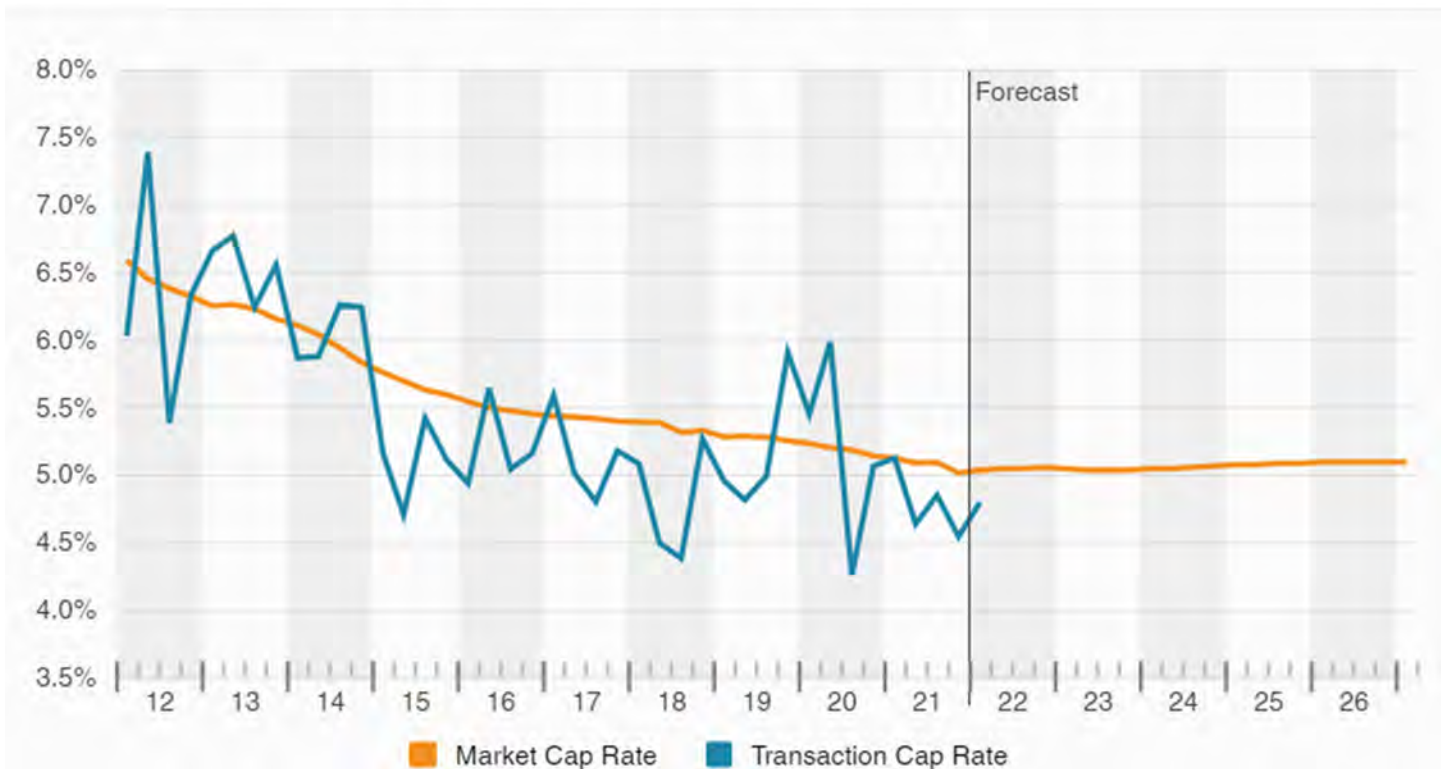
Net Absorption, Net Deliveries & Vacancy



Market Rent Per SF



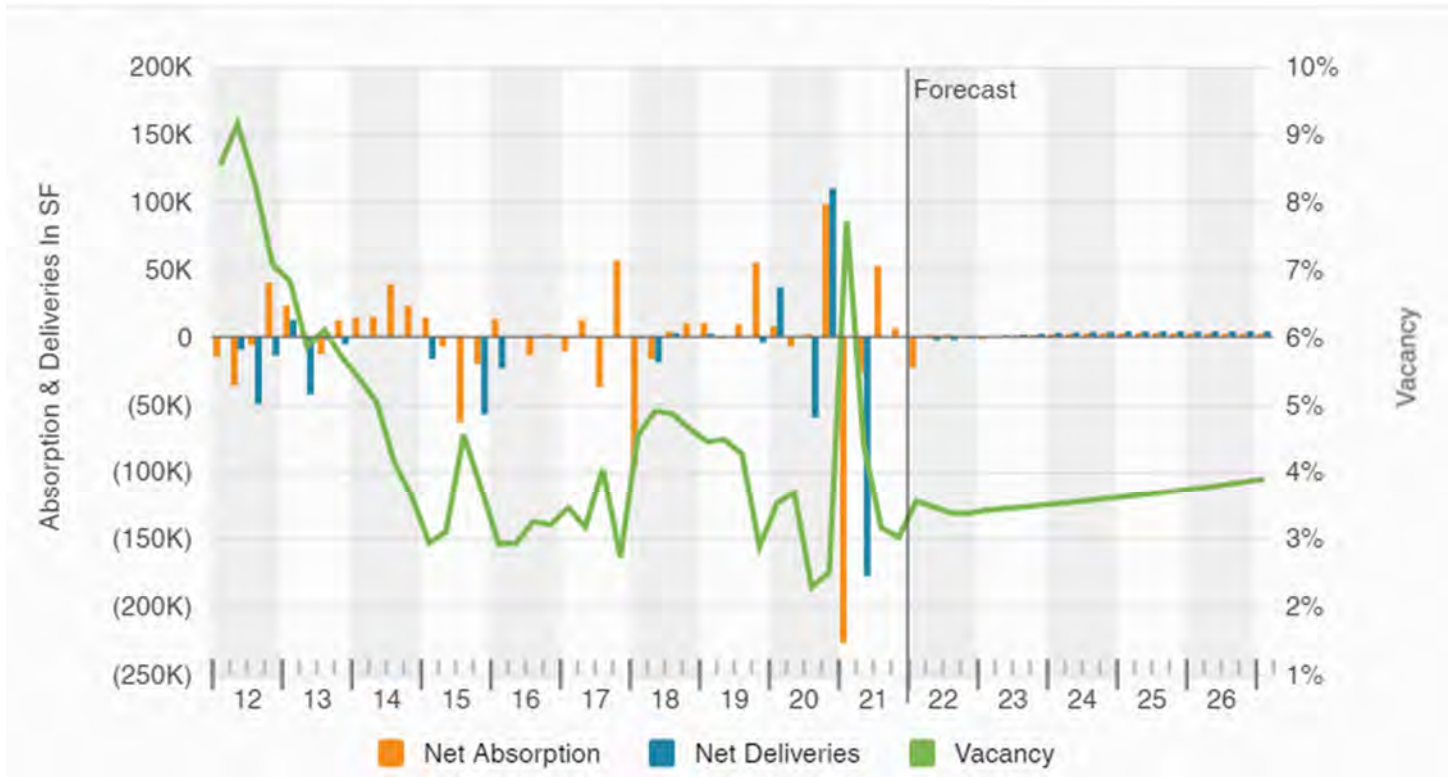
Market Cap Rate & Transaction Cap Rate



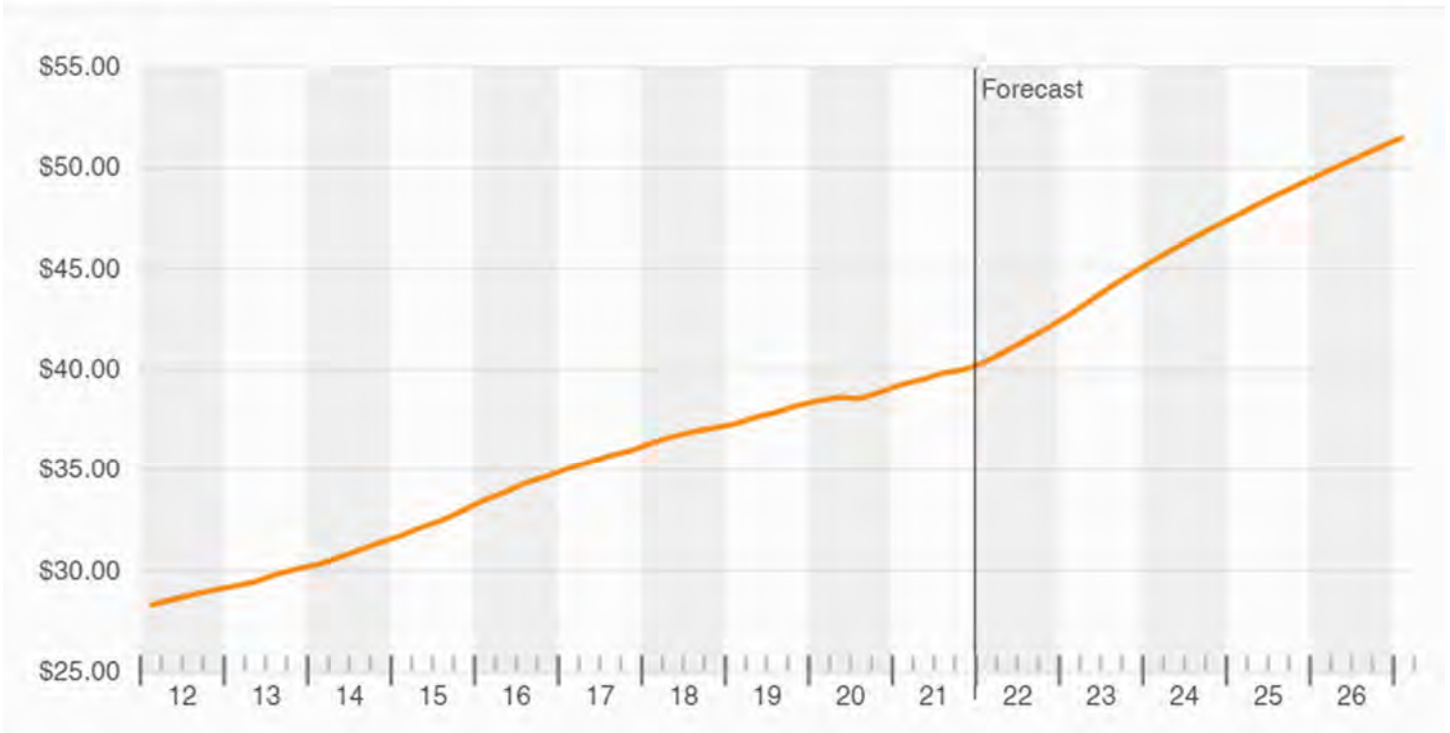
RETAIL MICRO-MARKET

We also assembled data on retail buildings in the immediate area of the subject. We utilized a two-mile radius from the subject's location, which corresponds approximately with the subject's micro-market area. According to CoStar, current vacancy rate is 3.5%, which is a decrease of 3.7% from the prior period of 7.2%. Net absorption was negative (5,700) square feet over the past 12 months, which is an increase from the prior period of negative (111,000) square feet. The average quoted rental rate was \$40.28 per square foot, per year or \$3.36 per square foot, per month, which is a 2.8% increase from the prior period. The current average capitalization rate is 4.8% which is unchanged from the prior period of 4.8%.

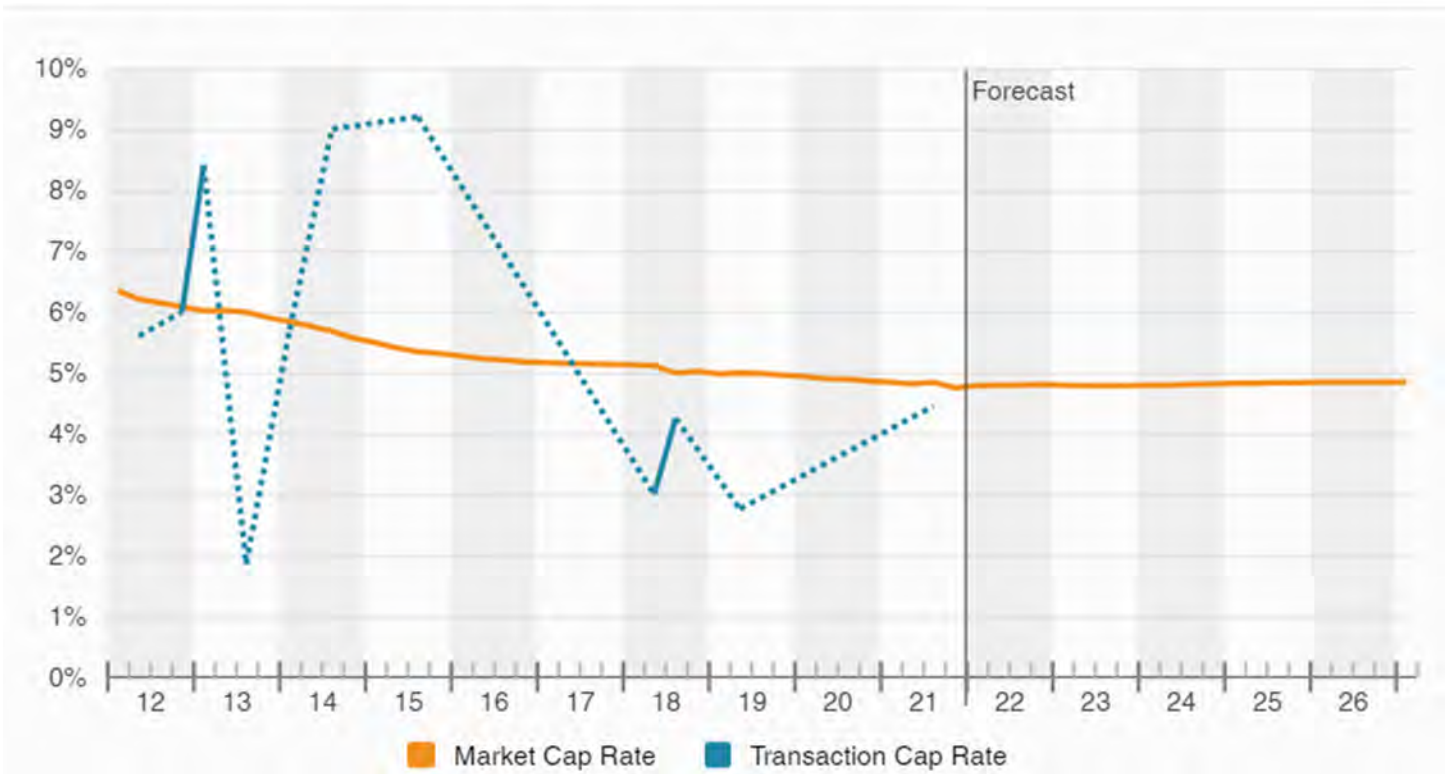
Net Absorption, Net Deliveries & Vacancy



Market Rent Per SF



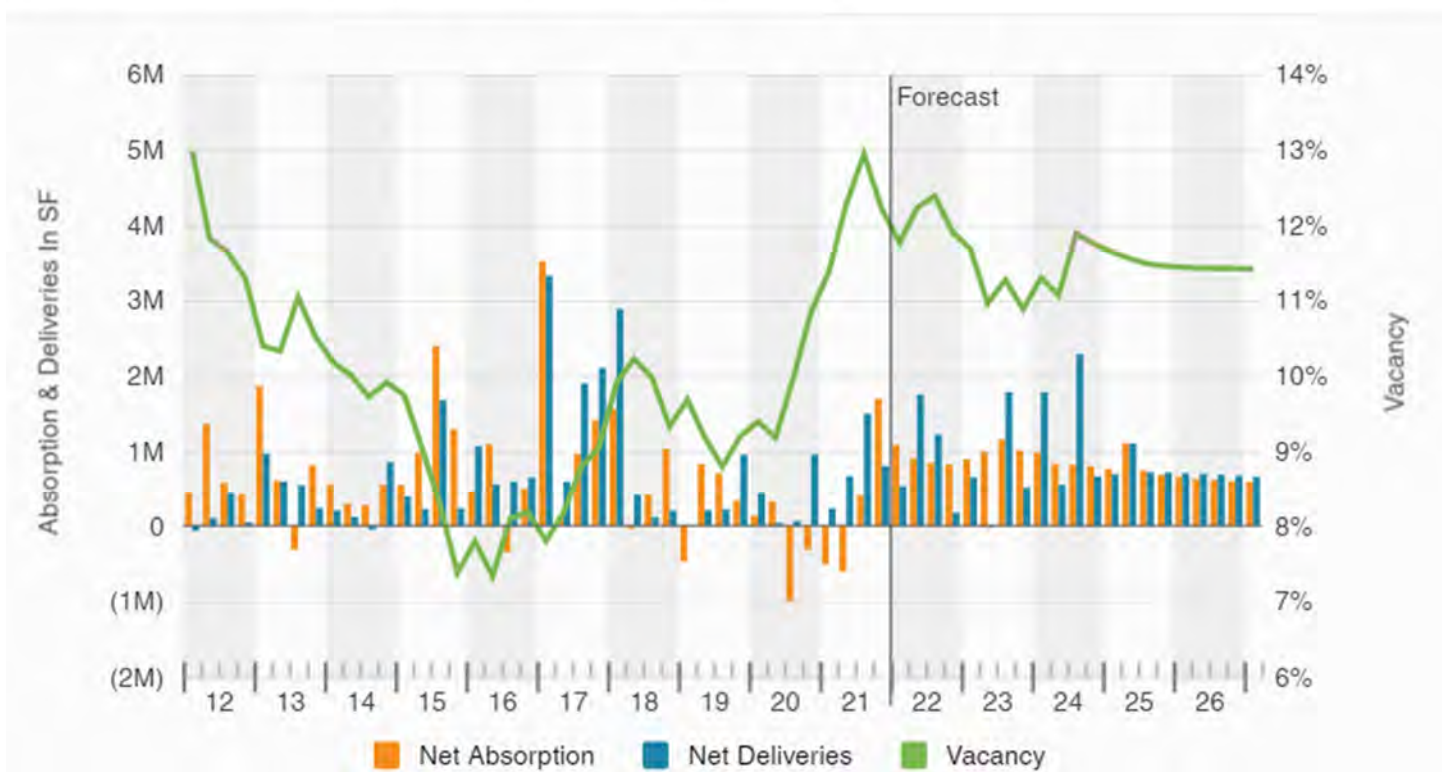
Market Cap Rate & Transaction Cap Rate



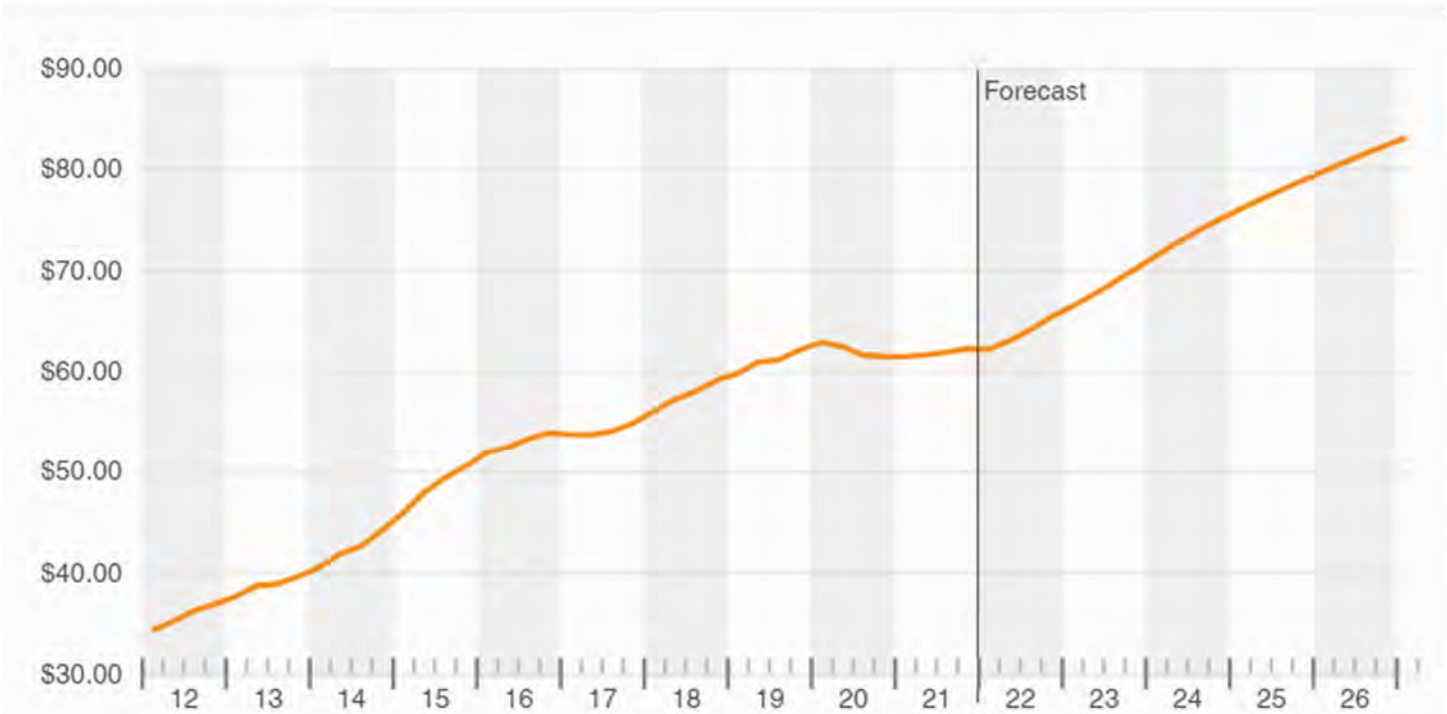
SOUTH BAY/SAN JOSE OFFICE MARKET

The subject is located in the South Bay/San Jose designated market area. According to CoStar, as of March 24, 2022, the vacancy rate is 11.8%, which is an increase from the prior period of 11.3%. Net absorption was positive (2,500,000) square feet over the past 12 months, which is an increase from the prior period of negative (1,400,000) square feet. The average quoted rental rate was \$5.17 per square foot, per month, which is a 1.2% increase from the prior period. The current average capitalization rate is 5.0% which is unchanged from the prior period of 5.0%.

Net Absorption, Net Deliveries & Vacancy



Market Rent Per SF



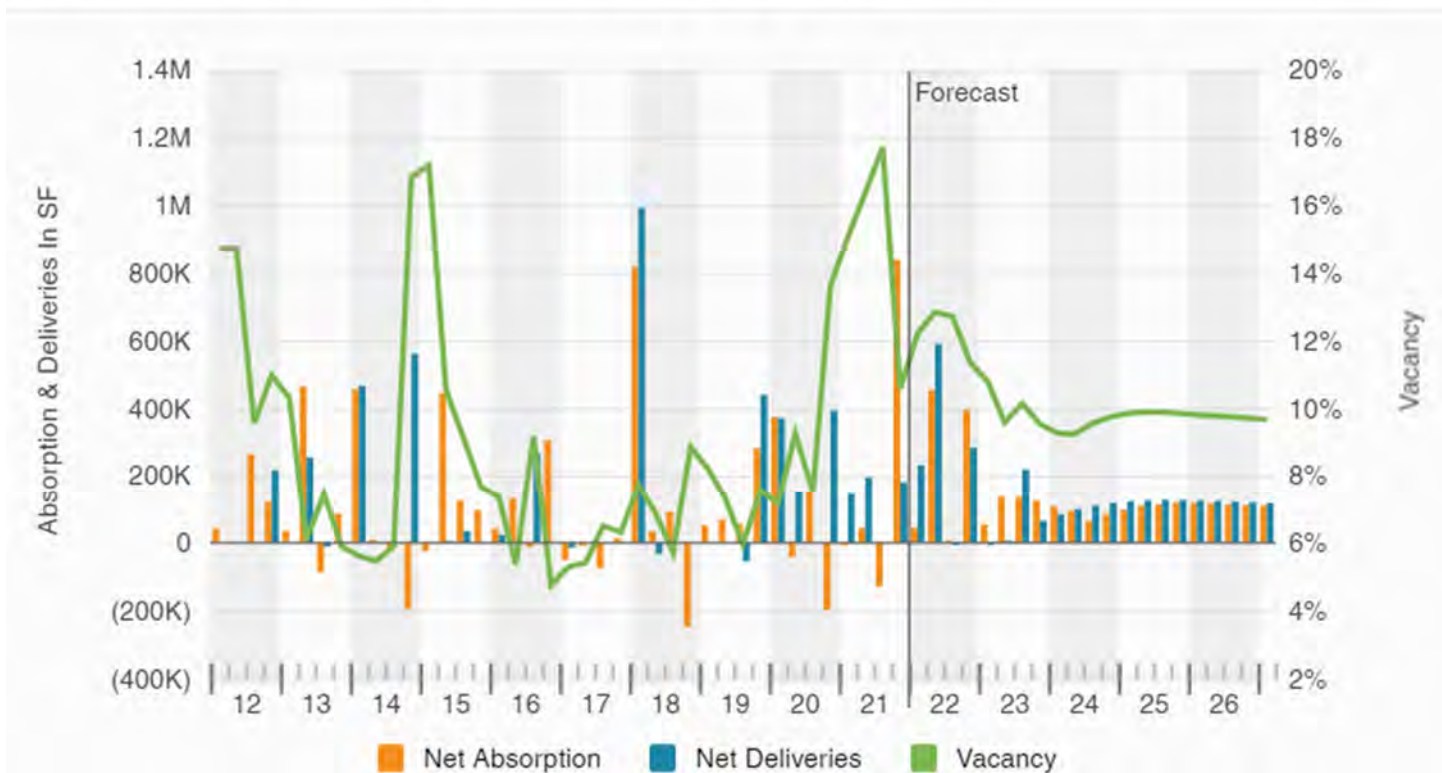
Market Cap Rate & Transaction Cap Rate



OFFICE MICRO MARKET

We also assembled data on office buildings in the immediate area of the subject. We utilized a two-mile radius from the subject's location, which corresponds approximately with a portion of the subject's submarket area. According to CoStar, current vacancy rate is 12.6%, which is a decrease of 2.3% from the prior period of 14.9%. Net absorption was positive (755,000) square feet over the past 12 months, which is an increase from the prior period of negative (57,200) square feet. The average quoted rental rate was \$6.21 per square foot, per month, which is an increase of 1.4% from the prior period. The current average capitalization rate is 4.9% which is unchanged from the prior period of 4.9%.

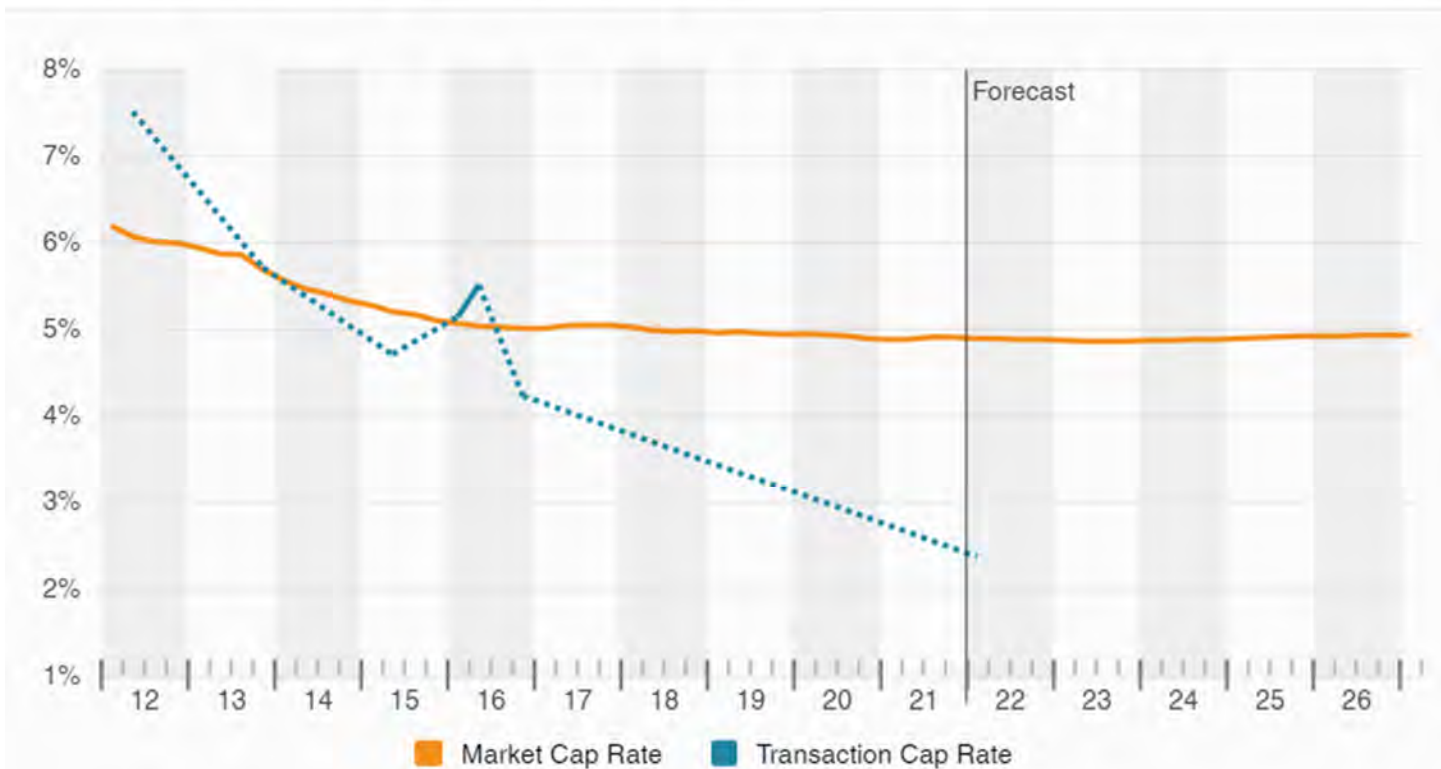
Net Absorption, Net Deliveries & Vacancy



Market Rent Per SF



Market Cap Rate & Transaction Cap Rate



SUMMARY

Over the past 12 months, rental rates have increased, and vacancy rates have decreased. However, due to the virus, it is reasonable to assume that current market conditions will extend marketing times beyond the recent historical levels. The outlook for Sunnyvale continues to be positive based on increased rental rates and stabilized vacancy as well as due to the subject's good location within Silicon Valley in the Bay Area, which is expected to provide sufficient demand for the subject property's use

SITE DESCRIPTION

Assessor's Parcel Number	165-02-004		
Lot Area (acres)	2.00 acres		
Lot Area (sq. ft.)	87,247 sq. ft.	Source	Public Record
Excess Land	No		
Surplus Land	No		
Floor Area Ratio (FAR)	0.23		
Lot Coverage	23%		
Shape	Irregular		
Corner Lot	No		
Topography	Level		
Census Tract	5086.01		
	Map	Date	Zone
FEMA	060352-06085C0206H	May 18, 2009	X500
	<i>The subject property is located in Flood Zone X500, defined as, "Areas determined to be outside 500-year floodplain determined to be outside the 1% and 0.2% annual chance floodplains." Flood insurance is not required for properties in this zone.</i>		
Easements	Yes		
CC&Rs	No		

SITE DESCRIPTION

The subject property's site is irregular with an area of 87,247 square feet or 2.00 acre, according to the Assessor's files. The site is level with all utilities connected and lot coverage is 23% (19,994 square foot building footprint / 87,247 square foot lot size) with a floor area ratio (FAR) of 0.23 (19,994 square foot building area / 87,247 square foot lot size). The Assessor's parcel map is included in the following pages.

LEGAL DESCRIPTION

The Assessor's Parcel Number is 165-02-004. A copy of the legal description is part of the Preliminary Report, included in the Addenda

ALQUIST-PRIOLO GEOLOGIC HAZARDS ACT

All properties in California are subject to some degree of seismic risk. The Alquist-Priolo Special Studies Zone Act of 1972 was enacted by the State of California to regulate development near active earthquake faults. The Act required the State Geologist to delineate earthquake fault zones along known faults in California. Cities and counties affected by the identified zones must limit certain development projects within the zones unless geologic investigation demonstrates that the sites are not threatened by surface displacement from future faulting. The Alquist-Priolo maps identify areas at risk of having surface ruptures; they do not address seismic risk due to soil composition or distance

from an active fault. The appraisers are not qualified in the determination of seismic risk, and the client is advised to consult a geotechnical expert in the determination of seismic risk.

SOIL CONDITIONS/TOXIC CONDITIONS

Soil studies of the subject property were not made available or reviewed as part of this appraisal. The soils are presumed adequate to support development, as evidenced by the existing improvements. This appraisal is based on the special assumption that the property is not adversely affected by any environmental or toxic conditions. The appraisers are not qualified in the determination of environmental or toxic conditions, and the client is advised to consult an expert in this area.

EASEMENTS

The Preliminary Report did contain reference to easements of record for ingress and egress and no easements, other than typical public utility easements, were noted during our inspection. This appraisal assumes there are no easements that negatively impact the use, marketability, or value of the subject property.

CC&Rs

The Preliminary Report did contain reference to conditions, covenants and restrictions (CC&Rs). This appraisal assumes there are no CC&Rs that negatively impact the use, marketability, or value of the subject property.

SITE IMPROVEMENTS

Parking Total	41	Ratio	2.05 per SF of GBA
Open Spaces	41	Surface	Asphalt
Landscaping	Average		
Curbs	Yes	Sidewalks	Yes
Storm Drains	Yes		
Water Service	Public	Sewer Service	Public

REAL ESTATE TAXES

PROPERTY TAX SUMMARY	
Parcel Number	165-02-004
Land	N/Ap (Government Owned)
Improvements	N/Ap (Government Owned)
Personal Propety	\$0
Total Assessed Value	N/Ap (Government Owned)
Tax Rate	N/Ap (Government Owned)
Annual Taxes	N/Ap (Government Owned)
Special Assesments	N/Av
Delinquent Taxes	No
Total Taxes	N/Av

Specific property tax information for the 2021/2022 tax year is shown in the preceding table and represents current information based on current assessed value. According to the County Tax Collector, as of the date of the report, taxes for the subject property are current. This appraisal analysis assumes that all tax payments will be (or have been) made and that there will be no adverse effect or liens on the subject property resulting from unpaid taxes.

In 1978, the voters of California enacted Proposition 13. This bill limited property taxes to 1% of the 1975 assessed value plus any voter approved city, special district or county bonds. The State Board of Equalization cannot increase the assessed values more than 2% per year. However, if a property is sold or substantially improved, the assessed or taxable value adjusts to market value of the property (usually sales price) as estimated by the County Assessor's Office as of the transaction date.

ZONING DESCRIPTION-AS IS

Primary Zoning	<i>P-F (public facilities)</i>
Purpose	<i>The P-F (public facilities) zoning district is reserved for the construction, use and occupancy of governmental, public utility and educational buildings and facilities, and other uses compatible with the public character of the district.</i>
Permitted Uses	<i>A variety of public facilities including public offices, fire stations, police stations, post offices, public schools, hospitals, and various other public facility uses.</i>
Change in Zoning Likely	<i>Unknown</i>

Development Standards	Permitted	Subject's Actual
Lot Size	<i>Not Prescribed</i>	<i>87,247</i>
FAR	<i>Not Prescribed</i>	<i>0.23</i>
Coverage	<i>Not Prescribed</i>	<i>23%</i>
Parking	<i>Not Prescribed</i>	<i>41</i>
Legally Permitted	<i>Yes</i>	
Conforming	<i>Yes</i>	

According to the Municipal Code, the subject property's current use and development are legal and conforming. The improvements could be re-built to their current density if destroyed by natural disaster.

ZONING DESCRIPTION-EXTRAORDINARY ASSUMPTION

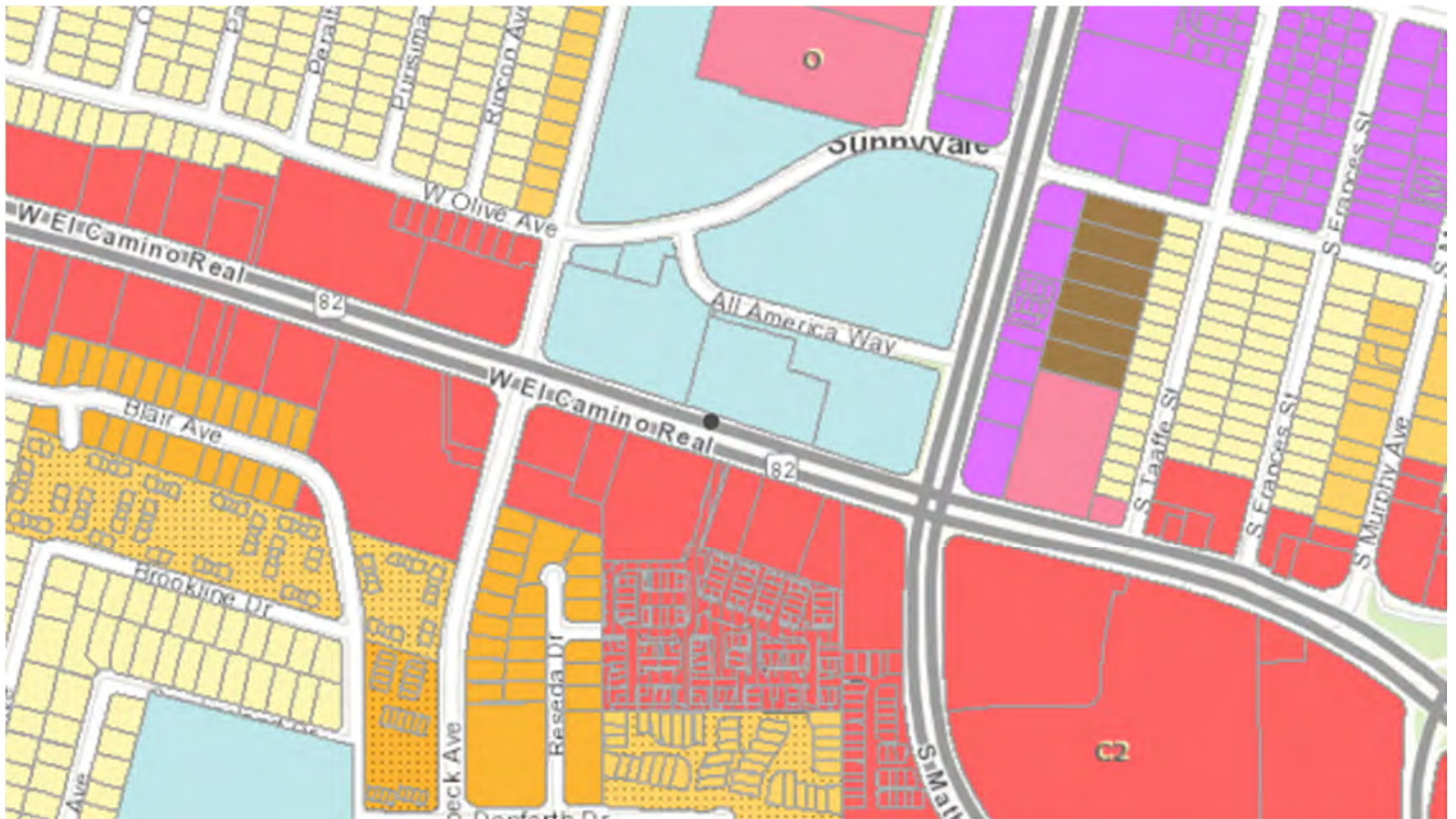
Primary Zoning	<i>C-2 (Highway Business) Zoning</i>
Purpose	<i>The C-2 highway business zoning district is reserved for the construction, use and occupancy of retail commercial buildings, tourist accommodations and service facilities adapted to principal highway commercial zoning districts.</i>
Permitted Uses	<i>A variety of commercial uses are permitted.</i>
Change in Zoning Likely	<i>No</i>

Development Standards	Permitted	Subject's Actual
Lot Size	<i>None</i>	<i>87,247 SF</i>
FAR	<i>None</i>	<i>0.23</i>
Coverage	<i>35%</i>	<i>23%</i>
Parking	<i>4 per 1,000 SF</i>	<i>41</i>
Legally Permitted	<i>Yes</i>	
Conforming	<i>Yes</i>	

The zoning change based upon our Extraordinary Assumption would require the site to be redeveloped and any proposed development would be required to adhere to all zoning regulation. We assume any proposed development would be legal and conforming.

Please note that we are not experts in the interpretation of complex zoning ordinances, but the property appears to be a legal and conforming use based on our review of public information. Detailed zoning studies are typically performed by a zoning or land use expert, including attorneys, land use planners, or architects. The depth of our study correlates directly with the scope of this assignment, and it considers all pertinent issues that have been discovered through our due diligence.

SUBJECT ZONING MAP



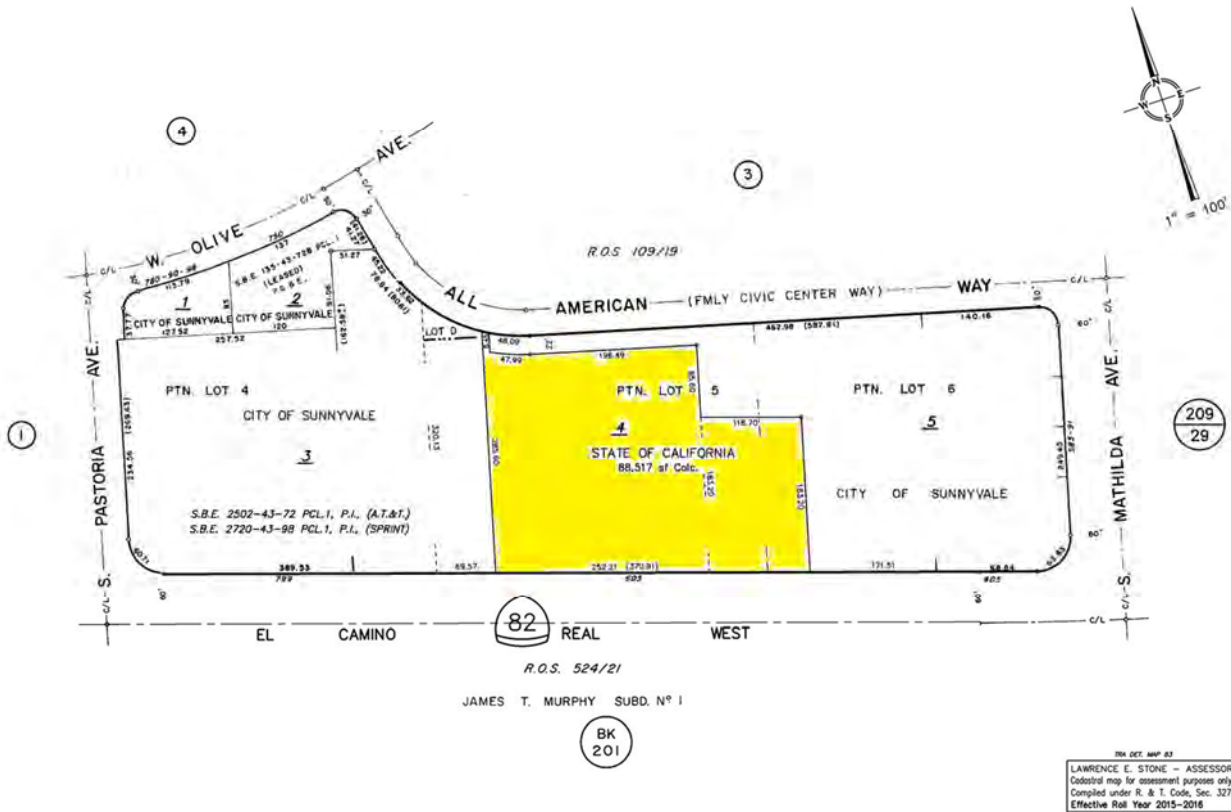
Per the Sunnyvale department of planning and zoning and per the zoning map above, the subject property currently zoned P-F (public facilities).

Due to the subject's limited uses allowed for private development, and due to the subject being zoned as P-F Zone, we have projected that changing the entire parcel's zoning to C-2 (Highway Business) Zoning is the highest and best use for the subject property (discussed later in the appraisal).

SUBJECT ASSESSOR'S PARCEL MAP

OFFICE OF COUNTY ASSESSOR — SANTA CLARA COUNTY, CALIFORNIA

BOOK 165 PAGE 2



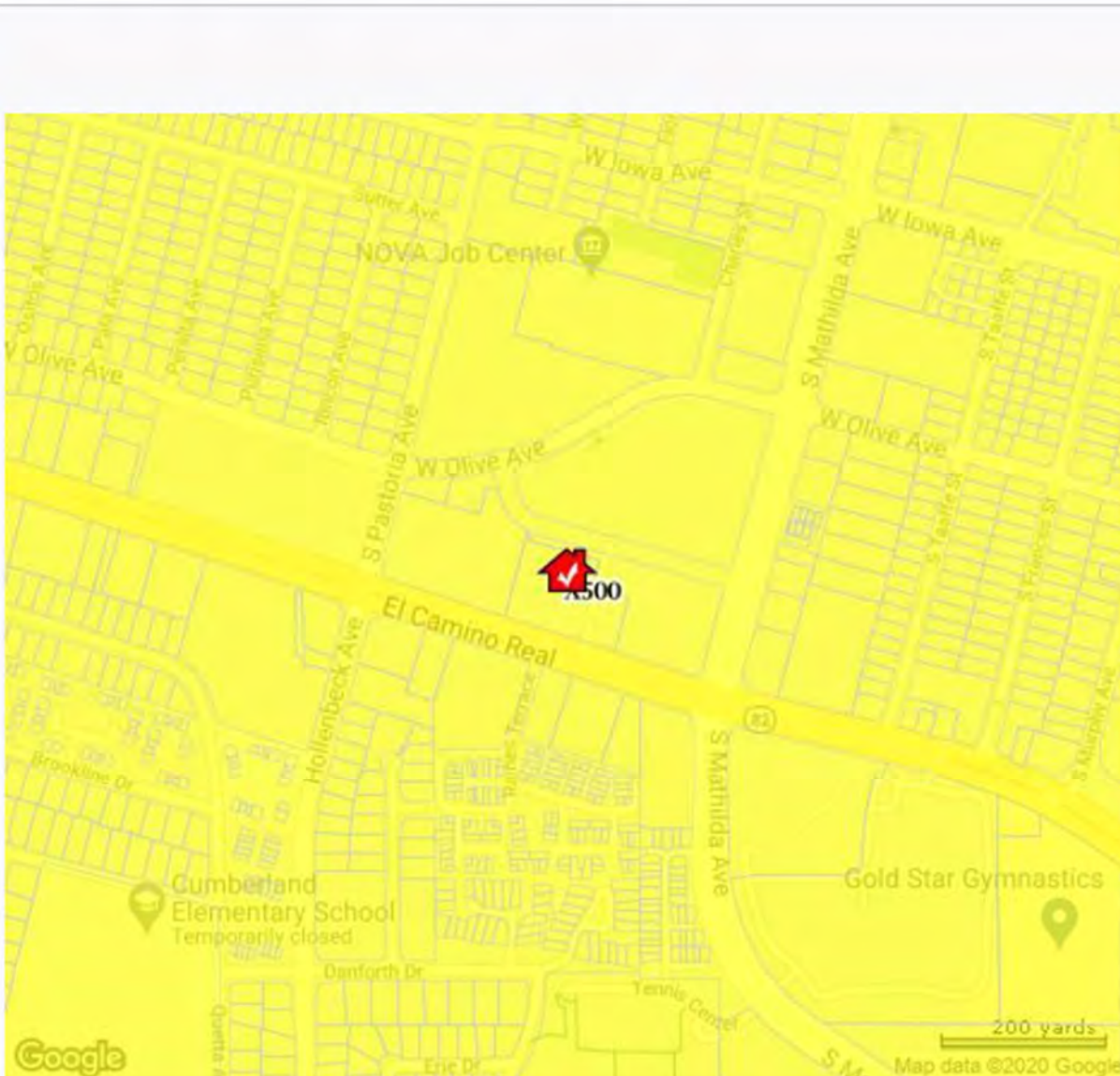
204 DET. MAP 83
LAWRENCE E. STONE - ASSESSOR
Cadastral map for assessment purposes only
Compiled under R. & T. Code, Sec. 327
Effective Roll Year 2015-2016

FLOOD MAP

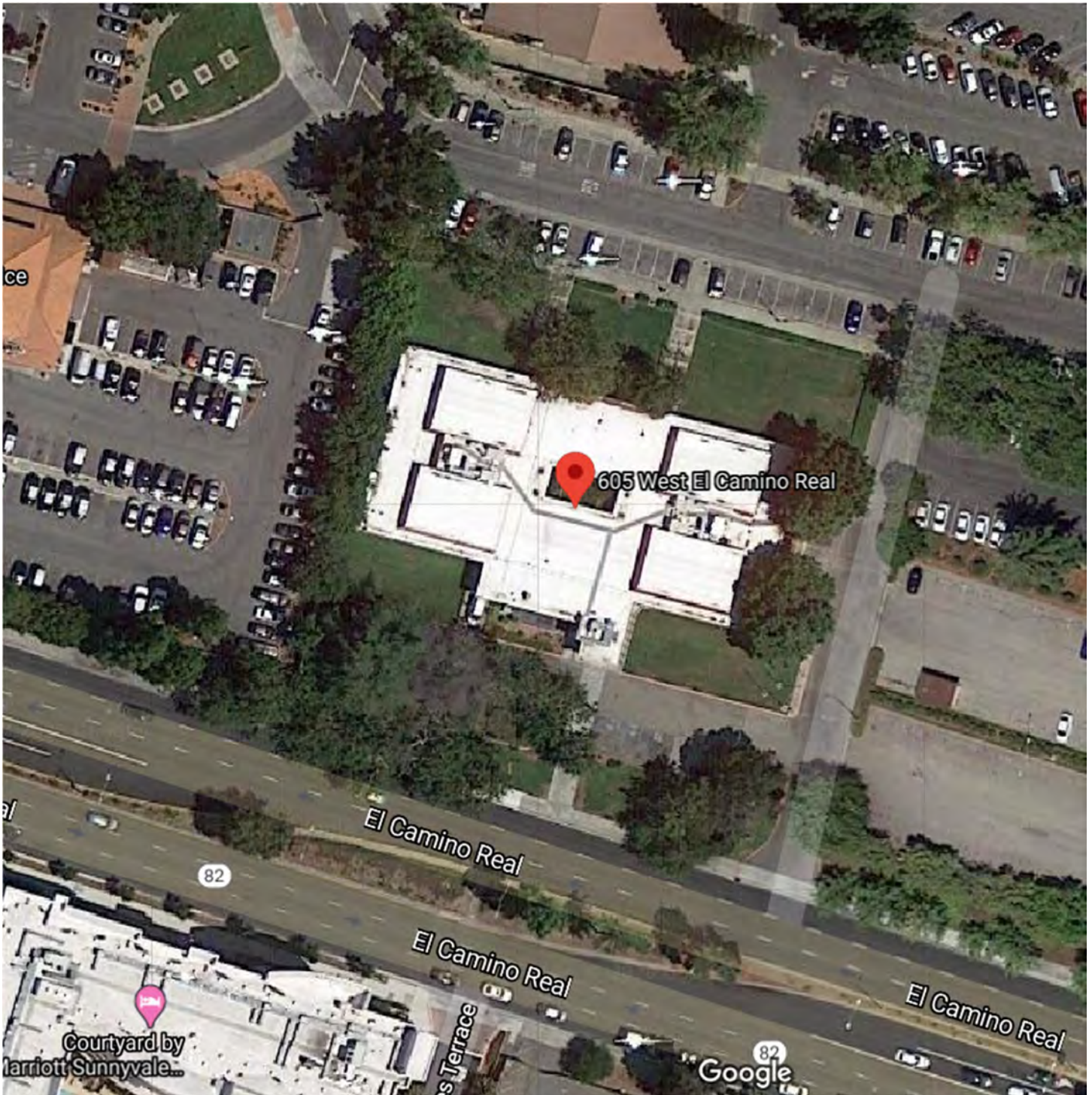
Flood Zone Code	Flood Zone Panel	Panel Date
X500	060352 - 06085C0206H	05/18/2009
Special Flood Hazard Area (SFHA)	Within 250 ft. of multiple flood zones?	Community Name
Out	No	SUNNYVALE

Flood Zone Description:

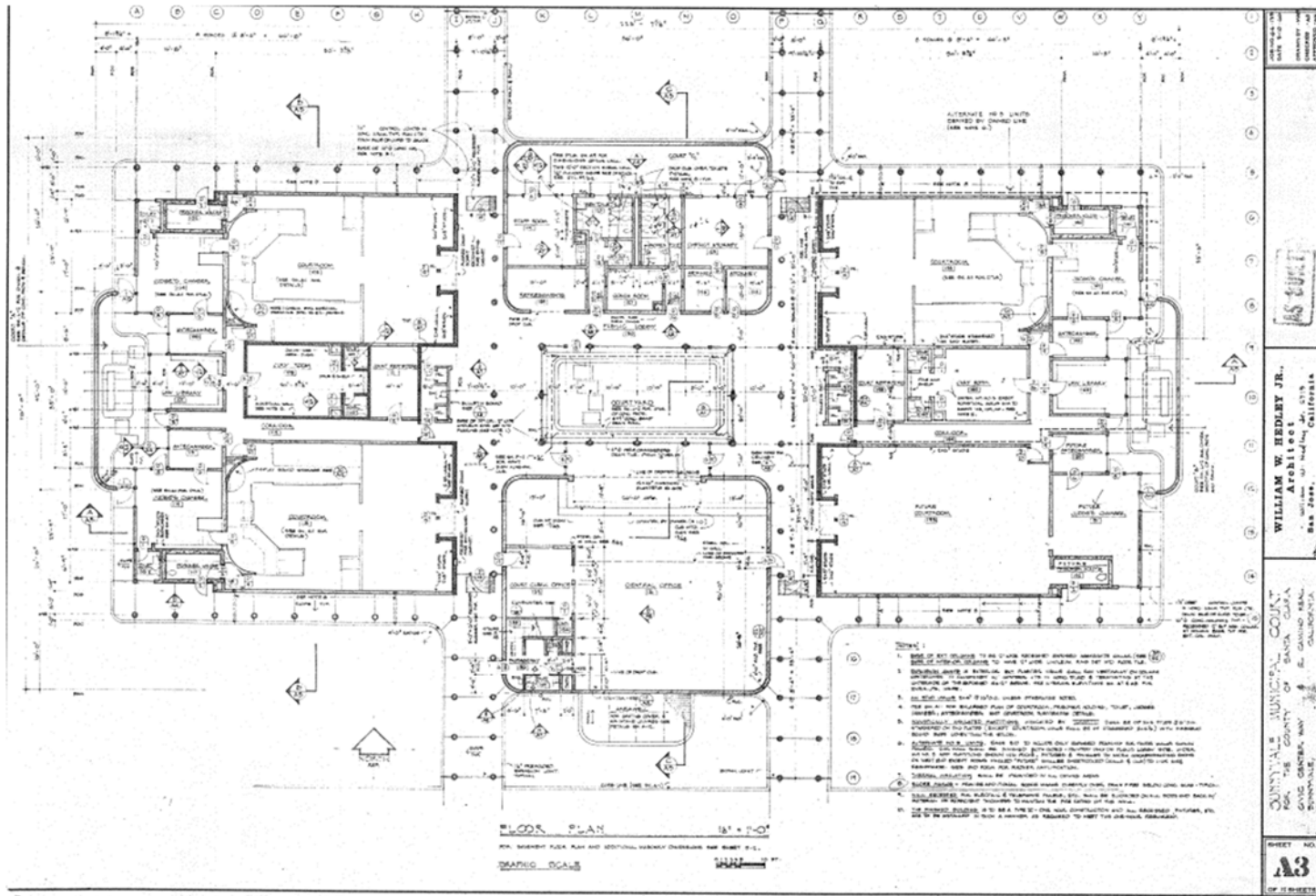
Zone X (500-year)-An area inundated by 500-year flooding; an area inundated by 100-year flooding with average depths of less than 1 foot or with drainage areas less than 1 square mile; or an area protected by levees from 100-year flooding.



SUBJECT AERIAL VIEW



SUBJECT SITE PLAN



BUILDING DESCRIPTION

The subject property was initially constructed in 1967 for use as a courthouse building. The subject property includes 19,994 square feet of gross building area on a single parcel consisting of 87,247 square feet.

The subject is demised into a public lobby area, courtroom, breakroom, jury assembly room, kitchen, mechanical room, and holding cells as well as multiple private offices, conference rooms, and restrooms. The space is improved with acoustic tile ceilings and gypsum board walls, brick walls, as well as a mix of concrete, laminate and carpeted flooring. The subject exterior is improved with asphalt paved parking spaces and a courtyard area located on the north side of the building. Overall, the subject is in poor overall condition and has a poor level of appeal.

Based on the appraiser's observations of the subject property, as well as on conversations with the client, the improvements have deferred maintenance throughout the property. The subject property has not been operational for several years and is utilized as storage. Deferred maintenance was noted on the interior of the subject including to the ceiling, gypsum board walls, flooring, as well as to the subject's furniture, fixtures, and equipment. This assumption assumes that the appraiser's estimations of the deferred maintenance are accurate and that any changes to this assumption may lead to alternate values applying. As a result of the subject's deferred maintenance, we have estimated that highest and best use of the property is to demolish the property, change the parcel's zoning to C-2 (Highway Business) Zoning District or acquire a conditional use permit, and market the property for land value. Our analysis of the property's highest and best use can be found later in the appraisal report.

CHARACTERISTICS

Stories	<i>1</i>		
Gross Building Area	<i>19,994 sq. ft.</i>	<i>Source</i>	<i>Inspection/ Site Plan</i>
Net Rentable Area	<i>19,994 sq. ft.</i>	<i>Source</i>	<i>Inspection/ Site Plan</i>
Number of Units	<i>1</i>		
Year Built	<i>1967</i>		
Overall Condition	<i>Average</i>		
Overall Quality	<i>Average</i>		

Marshall Valuation

Economic Life (yrs.)	<i>50 years</i>
Effective Age (yrs.)	<i>50 years</i>
Remaining Life (yrs.)	<i>0 years</i>
Depreciation	<i>100.00%</i>

STRUCTURAL DESCRIPTION

Foundation	<i>Slab</i>	<i>Material</i>	<i>Concrete</i>
Wall System	<i>Concrete</i>	<i>Surface</i>	<i>Brick</i>
Unreinf. Masonry Building	<i>N/A</i>		
Roof System	<i>Wood Beam</i>	<i>Surface</i>	<i>Built-up</i>
Window System	<i>Other</i>	<i>Glazing</i>	<i>Single Pane</i>
Primary HVAC	<i>Forced Air</i>	<i>Appears Adequate</i>	<i>No</i>
Electrical Service	<i>Appears Inadequate</i>		

INTERIOR DESCRIPTION

Primary Flooring Surface	<i>Concrete</i>		
Secondary Flooring Surface	<i>Carpet/Vinyl</i>		
Interior Walls	<i>Gypsum Board (Primary)</i>	Finish	<i>Paint</i>
	<i>Brick (Secondary)</i>		
Primary Ceiling	<i>Acoustic Tile</i>		
Fire Sprinklers	<i>No</i>	Alarm System	<i>No</i>
Primary Lighting	<i>Fluorescent</i>		
ADA Compliant	<i>Compliance survey not performed</i>		
Overall Condition	<i>Poor</i>		
Overall Quality	<i>Poor</i>		
Functional Layout	<i>Average</i>		

SUBJECT PHOTOS



Exterior



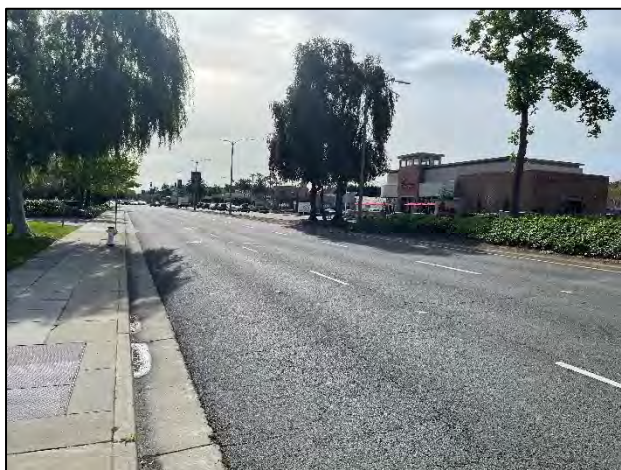
Exterior



Exterior



Exterior



Street Scene West



Street Scene East

SUBJECT PHOTOS



Exterior



Exterior



Exterior



Exterior



Interior



Interior

SUBJECT PHOTOS



Interior



Interior



Interior



Interior



Interior



Interior

SUBJECT PHOTOS



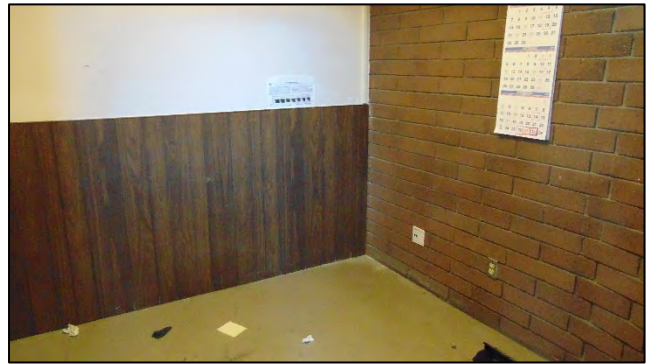
Interior



Interior



Interior



Interior



Interior

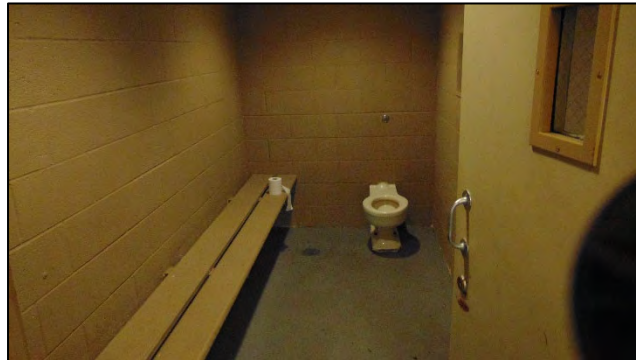


Interior

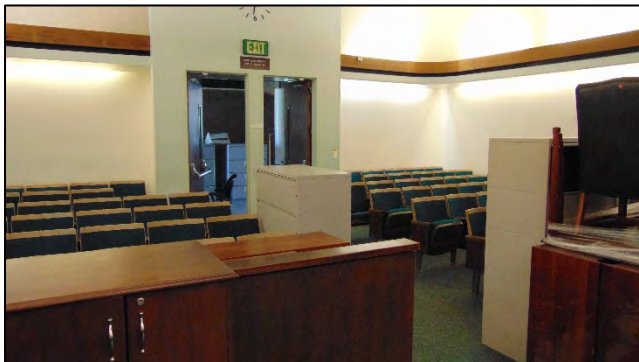
SUBJECT PHOTOS



Interior



Interior



Interior



Interior



Interior



Interior

HIGHEST & BEST USE AS VACANT

LEGALLY PERMISSIBLE

Currently the zoning for the subject property is P-F – Public Facilities Zone. Permitted uses in the zoning district for P-F Zones are Public Facilities such as Police Stations, Fire Stations, Public Libraries, among other public facilities uses. If the property were to be sold to the private sector there would likely be zoning change. We assume that a potential buyer will be from the private sector and be able to change the subject's zoning to C-2 (Highway Business) Zoning as that is the primary zoning along El Camino Real and a prospective buyer will want to develop the property similar to the current neighborhood needs build-out. Permitted uses in a C-2 (Highway Business) Zoning include various commercial uses; based on our assumption the site will be suitable for commercial development.

PHYSICALLY POSSIBLE

The subject consists of a single parcel comprising 87,247 sq. ft., 2.00 acres. The topography is generally level with no apparent drainage or easement problems. No soil problems are presumed. All customary and usual utilities are available. The site has average access and average street visibility. The site is not limited by its physical characteristics, except for size.

FINANCIALLY FEASIBLE

The subject lies in the city of Sunnyvale. Land uses around the subject include various commercial uses, and residential uses nearby on supporting streets. As noted in the Market Overview chapter, retail vacancy rates in the subject's market area are at approximately 3.7%, for the sub-market area vacancy rates are at 2.1%, and within a one-mile radius of the subject vacancy rates are at 2.2%. Currently, speculative commercial development is not considered financially feasible given the economic climate.

MAXIMALLY PRODUCTIVE USE AND IDEAL IMPROVEMENT

It has been concluded in the previous sections that the subject site is constrained by its size, the zoning regulations that apply to the site, and the demand for commercial uses. Considering the subject's location, nearby uses, zoning, and current real estate marketplace, a commercial project would result in maximum productivity to site.

CONCLUSION

A commercial development would be legally permissible, physically possible, financially feasible, and will result in the maximum productivity to the site. These uses therefore result in the highest and best use, as though vacant.

HIGHEST AND BEST USE AS IMPROVED

The subject property is currently improved with a Special Use – Courthouse Property. The purpose of the appraisal for the client's internal reporting purposes. Per the property contact, and noted during the property inspection, the subject has deferred maintenance and is currently in poor condition overall; therefore, in determining the highest and best use of the subject property we have also considered the land value of the subject property.

The highest and best use as improved considers two possible scenarios regarding the improvements and analyzes which of the two scenarios make the most sense. Our analysis determines what the most probable buyer of this improved site would do with the improvements.

The scenarios are:

1. Renovation of the existing improvements
2. Land value as potential redevelopment site

Both uses are physically possible based on the size, shape and location of the site; it is legally permissible based on the assumption the owner is able to convert the subject's zoning to C-2 (Highway Business) Zoning District or is able to obtain a conditional use permit for commercial use; it is financially feasible given the demand in the market for similar space.

Therefore, the highest and best use comes down to which one has the highest maximally productive use. The scenarios are discussed in the following pages.

RENOVATION OF EXISTING IMPROVEMENTS SCENARIO

To determine the value of the subject property as if the subject property was re-zoned, the property's existing improvements were renovated and were in average condition, we have utilized a sales comparison approach to determine the price per square foot of building for the subject by utilizing sales comparable properties that reflect the highest and best use of the subject property as renovated. The highest and best use of the subject property as renovated was determined to be as commercial use, which includes both retail and office uses as the build-out for both uses is similar and permitted in the subject's projected zoning of C-2 (Highway Business Zoning District). See our sales comparison analysis below:

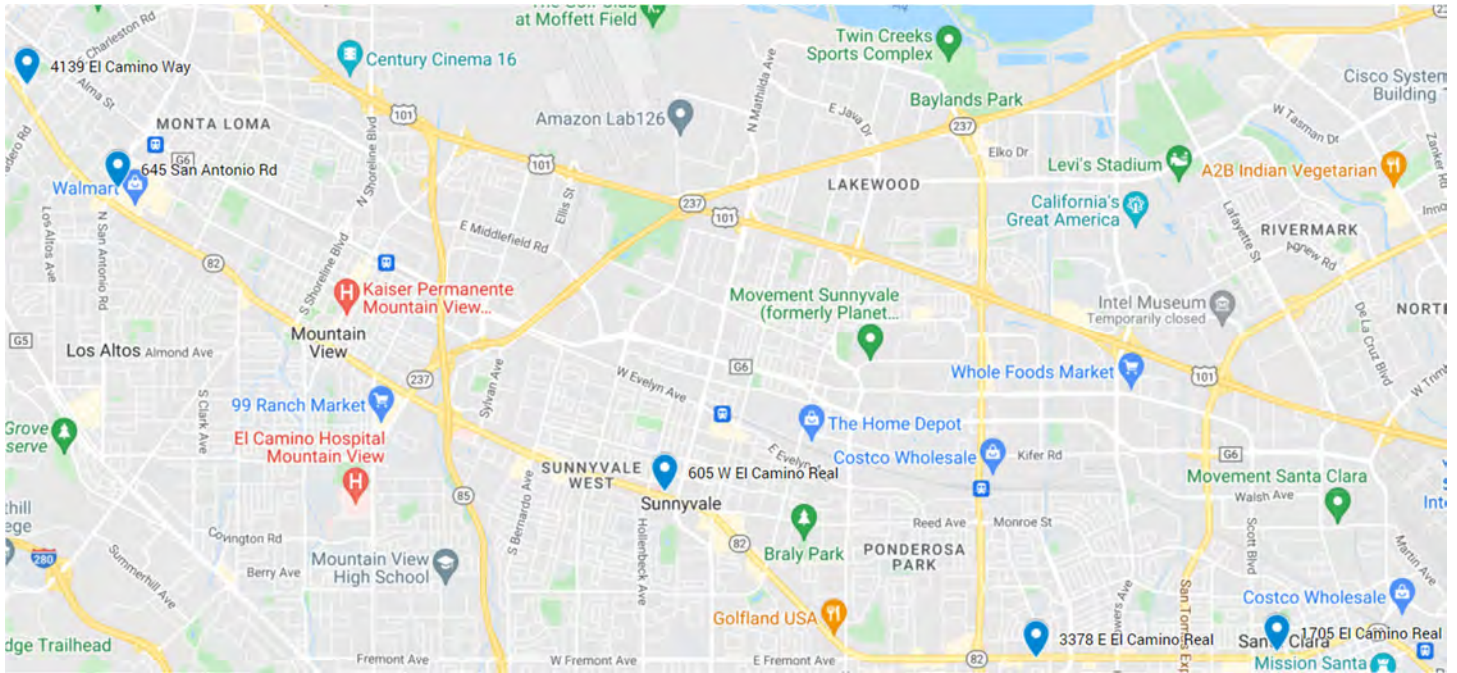
SALES COMPARISON APPROACH (RENOVATION OF EXISTING IMPROVEMENTS)

The Sales Comparison Approach is based on the principle of substitution and the proposition that an informed purchaser would pay no more for a property than the cost of acquiring an alternate property with the same utility. The purpose of sales comparison approach is to discover what competitive properties have sold for recently on the local market and through an appropriate adjustment process, develop an indication of what they would have sold for if they had possessed all the basic and pertinent physical and economic characteristics of the as renovated condition of subject property. When comparable sales are truly competitive, the indications usually fall into a pattern clustering around a tight range. When appropriately correlated, the Sales Comparison Approach provides a realistic indication of the market value of the as renovated condition of the subject property.

The selected unit of comparison is *price per square foot of Gross Building Area (GBA)*. The comparables were obtained and researched using CoStar Comps Inc., LoopNet, MLS, Property Sciences Group (PSG) Data, and local real estate brokers. The comparables selected are considered to be the best available at the time of this report and are described in detail in the following pages.

COMPARABLE IMPROVED SALES									
	SUBJECT	SALE 1		SALE 2		SALE 3		SALE 4	
ADDRESS	605 W. El Camino Real	645 & 685 San Antonio Rd & 2580 & 2590 W. El Camino Real		4139 El Camino Way		3378-3386 El Camino Real		1705 & 1715 El Camino Real	
CITY	Sunnyvale, CA	Mountain View		Palo Alto		Santa Clara		Santa Clara	
COUNTY	Santa Clara	Santa Clara		Santa Clara		Santa Clara		Santa Clara	
APN	165-02-004	4 Apr's	ADJ.	132-44-100	ADJ.	290-02-102	ADJ.	224-49-009 & 012	ADJ.
VERIFICATION	Inspection/ Public Record Owner	CoStar/Public Records Broker, Chris Hoffmann		CoStar/Public Records Broker, Howard Berry		CoStar/Public Records Seller, An Shin		CoStar/Public Records Broker, John Machado	
DOCUMENT #	-	25084518		N/Av		24569843		N/Av	
BUYER	-	San Antonio Center LP		Momentum for Health		Veguard USA LLC		N/Av	
SELLER	-	MGP IX SAC Retail LLC		Annual Reviews Inc		An Shin		Enterprise Trust & Investment Co	
SALE PRICE	-	\$77,100,000		\$9,000,000		\$5,340,000		\$15,500,000	
PRICE/SF BUILDING	-	\$841		\$589		\$681		\$878	
PRICE/SF LAND	-	\$327		\$304		\$139		\$163	
RIGHTS CONV'D	Fee Simple	Leased Fee		Leased Fee		Leased Fee		Leased Fee	
ADJ. SALE PRICE	-	\$77,100,000		\$9,000,000		\$5,340,000		\$15,500,000	
FINANCING	-	Conventional		Conventional		Conventional		Conventional	
ADJ. SALE PRICE	-	\$77,100,000		\$9,000,000		\$5,340,000		\$15,500,000	
COND. OF SALE	-	Market		Market		Market		Market	
CONCESSIONS	-	None Known		None Known		None Known		None Known	
ADJ. SALE PRICE	-	\$77,100,000		\$9,000,000		\$5,340,000		\$15,500,000	
DATE OF SALE	-	August 31, 2021		June 24, 2021		August 10, 2020		Active	-10%
MARKETING TIME	-	N/Av		1 Month		N/Av		18+Months	
ADJ. SALE PRICE	-	\$77,100,000		\$9,000,000		\$5,340,000		\$13,950,000	
LOCATION	Average	Similar		Similar		Similar		Similar	
PROX. TO SUBJECT	-	4.6 Miles NW		56 Miles NW		3 Miles SE		4.7 Miles SE	
SITE									
PARCEL (SQ. FT.)	87,247	235,660		29,621		38,333		94,960	
PARCEL (ACRES)	2.00	5.41		0.68		0.88		2.18	
ZONING	C2	CS		CN		CT		CT	
UTILITIES	Connected	Similar		Similar		Similar		Similar	
FRONTAGE/ VISIBILITY	Average	Similar		Inferior	10%	Similar		Similar	
ACCESSIBILITY	Average	Similar		Similar	10%	Similar		Similar	
FAR	0.23	0.39		0.52		0.20		0.19	
PARKING/1,000 SQ. FT.	2.05	2.37		1.90		5.74		5.95	
BUILDING									
BUILD-OUT	Retail/Office	Retail		Office		Retail		Retail	
OCCUPANCY	100%	100%		100%		100%		100%	
YEAR BUILT	1967	2013		1967		1959		1975	
GBA (SF)	19,994	91,637	10%	15,273		7,842	-5%	17,651	
CONDITION	Average	Superior	-15%	Inferior	10%	Inferior	10%	Inferior	5%
CONST. QUALITY	Average	Similar		Similar		Similar		Similar	
TOTAL NET ADJUSTMENT	-	-5.0%		30.0%		5.0%		-5.0%	
ADJUSTED SALE PRICE	-	\$73,245,000		\$11,700,000		\$5,607,000		\$14,647,500	
FINAL ADJ. PRICE / SF	-	\$799		\$766		\$715		\$830	
CAPITALIZATION RATE	-	4.50%		N/Av		N/Av		3.50%	

SALES COMPARISON APPROACH MAP



COMPARABLE 1

Property Information

Property Type	Retail Property
Address	645 & 685 San Antonio Rd & 2580 & 2590 W. El Camino Real, Mountain View, CA
APN	4 Adjacent APN's
Zoning	CS
Gross Building Area	26,442 Sq. Ft.
Year Built	2013
FAR	0.39
Land Area	235,660 Sq. Ft.



Sale Data

Sales Date	8/31/2021
Sales Price	\$77,100,000
Price Per Square Foot	\$841
Rights Transferred	Leased Fee

Financial Analysis

Occupancy	Investment
EGI	N/Av
NOI	\$3,469,500
Cap Rate	4.50%

Verification Sources Comps CoStar, The Property Sciences Group, Inc., Chris Hoffman Broker

Comments

The comparable is multi-tenant retail building.

The comparable required an upward adjustment for a larger building size, due to economies of scale and a downward adjustment due to condition.

COMPARABLE 2

Property Information

Property Type	Office Property
Address	4139 El Camino Way, Palo Alto, CA
APN	132-44-100
Zoning	CN
Gross Building Area	15,273 Sq. Ft.
Year Built	1967
FAR	0.52
Land Area	29,621 Sq. Ft.



Sale Data

Sales Date	6/24/2021
Sales Price	\$9,000,000
Price Per Square Foot	\$589
Rights Transferred	Leased Fee

Financial Analysis

Occupancy	Investment
EGI	N/Av
NOI	N/Av
Cap Rate	N/Av

Verification Sources Comps CoStar, The Property Sciences Group, Inc., Howard Berry, Broker

Comments

The broker did not report a capitalization rate.

The comparable is on less visible street, requiring an upward adjustment for visibility. The comparable has an inferior floor area ratio, requiring an upward adjustment. The comparable will be of inferior condition after the subject's renovation, requiring an upward adjustment.

COMPARABLE 3

Property Information

Property Type	Retail Property
Project Name	N/Ap
Address	3378-3386 El Camino Real, Santa Clara, CA
APN	290-02-102
Zoning	CT
Gross Building Area	7,842 Sq. Ft.
Year Built	1959
FAR	0.20
Land Area	38,333 Sq. Ft.



Sale Data

Sales Date	8/10/2020
Sales Price	\$5,340,000
Price Per Square Foot	\$681
Rights Transferred	Leased Fee

Financial Analysis

Occupancy	Investment
EGI	N/Av
NOI	N/Av
Cap Rate	N/Av

Verification Sources Comps CoStar, The Property Sciences Group, Inc., An Shin-Seller

Comments

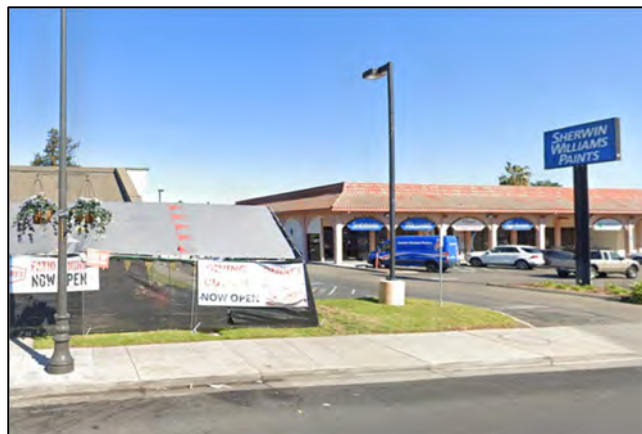
A capitalization rate was not reported.

The comparable property is significantly smaller compared to the subject property, and due to economies of scale, smaller properties typically sell for more on a price per square foot basis compared to larger properties, requiring a downward adjustment. The comparable will be of inferior condition after the subject's renovation, requiring an upward adjustment.

COMPARABLE 4

Property Information

Property Type	Retail Property
Project Name	N/Ap
Address	1705 & 1715 El Camino Real, Santa Clara, CA
APN	224-49-009 & 224-49-012
Zoning	CT
Gross Building Area	17,651 Sq. Ft.
Year Built	1975
FAR	0.19
Land Area	94,960 Sq. Ft.



Listing Data

Sales Date	Active
List Price	\$15,500,000
Price Per Square Foot	\$878
Rights Transferred	Leased Fee

Financial Analysis

Occupancy	Investment
EGI	N/Av
NOI	\$542,500
Cap Rate	3.50%

Verification Sources Comps CoStar, The Property Sciences Group, Inc., John Machado, Broker

Comments

The comparable is multi-tenant retail building that reported a capitalization rate of 3.50%.

The comparable requires a downward adjustment for negotiation as properties typically sell below their asking price. The comparable will be of inferior condition after the subject's renovation, requiring an upward adjustment.

ANALYSIS AND CONCLUSIONS

Our search for comparable properties having transferred since August 2020 yielded three closed sales and an active listing that were deemed similar to the As Renovated condition of the subject. All of the comparable sales are older than six months. However, they were used for analysis as they were deemed by the appraiser to provide the best support the indication of value by the sales comparison approach in the subject's market area.

The unadjusted comparables ranged from \$589 to \$878 per square foot of gross building area, with an average of \$747 per square foot. Subsequent to adjustment, the range tightened to \$715 to \$830 per square foot of gross building area, with an average of \$777 per square foot. In our analysis, we have selected a unit indicator based equally on all of the sale's comparable properties.

Accordingly, we have selected a unit indicator at \$775 per square foot of building area. The value indication for the subject property by the Sales Comparison Approach is:

As Renovated Building Value Estimate
19,994 Square Feet x \$775/SF = \$15,495,350
\$15,500,000 (Rounded to nearest \$10,000)

AS IS FAIR MARKET VALUE

To estimate the As Is Fair Market Value of the property based on the renovation of the existing property scenario, we must deduct out the costs to renovate the property, to change the zoning so that the use upon renovation is permitted, and entrepreneurial profit. The renovation costs include the cost to gut the building down to the studs, repair or replace the roof, replace the plumbing and electrical systems, and completely renovate the interior and exterior of the subject property. The proposed zoning for the subject property, C-2 (Highway Business Zoning District is consistent with the zoning in neighborhood of the subject property, and within the immediate vicinity of the subject property. Any change in zoning typically incurs costs associated with application & permitting fees, the costs associated with preparing building plans for the department of building and planning to review, as well as the costs associated with the time needed to wait for a change in zoning. The renovation and zoning change costs were based on conversations with brokers and developers who work in the subject's market area as well as the appraiser's experience appraising similar properties. We have estimated that cost to be \$200,000.

A project such as the renovation of the subject requires time, effort, and risk. The market generally anticipates an entrepreneurial profit for such undertakings. Generally, the profit is proportional to the amount of risk incurred and the time and effort associated with completing the project. Given the scale of the subject’s projected renovation, and current market conditions, developer’s profit of 10% is considered appropriate. The chart on the following page illustrates the deductions from the As Complete value.

As Is Market Value			
As Renovated Value			\$15,500,000
Renovation Cost			
605 W. El Camino Real	19,994 SF @ \$150.00 Per SF	\$2,999,100	(\$2,999,100)
Zoning Change			
605 W. El Camino Real		\$200,000	(\$200,000)
Sub Total			(\$3,199,100)
Entrepreneurial Profit	10% of Subtotal		(\$319,910)
Total Redevelopment Costs			(\$3,519,010)
As Is Value			\$11,980,990
		Rounded	\$12,000,000

Accordingly, the As Is Fair Market Value of the subject property’s Fee Simple Estate for the value of the property in the as renovated scenario, as derived by the **Sales Comparison Approach**, as of April 4, 2022 is:

ESTIMATED VALUE OF THE SUBJECT VIA THE AS RENOVATED SCENARIO
Twelve Million Dollars
(\$12,000,000)

LAND VALUE SCENARIO

The value under this scenario, as discussed later in the report, is **\$19,400,000**

HIGHEST AND BEST USE CONCLUSION

As noted in the two highest and best use scenarios above, the As Is Value of renovating the existing improvements is \$12,000,000 but the value of the land is \$19,400,000.

Therefore, re-zoning the subject or acquiring a conditional use permit and utilizing the subject for land value is the highest and best use

The Cost Approach adds land acquisition costs and building costs (direct and indirect), to arrive at a total replacement cost for the subject property. From this figure the applicable depreciation is subtracted to determine an As Is depreciated value. The Cost Approach is a good indicator of value when the subject property is new and accurate data exists on building costs. There must also be recent land sales in order to estimate the site value. However, the Cost Approach is subject to discrepancy in the assemblage of information required including: building costs, estimation of depreciation, and estimation of entrepreneurial incentive or profit. The Cost Approach was not developed due to: 1.) the older age of the subject property's improvements which makes depreciation estimates subjective; 2.) the renovation and repair over the years tends to skew depreciation estimates; and 3.) the fact that purchasers in this market rarely base their investment decision on the depreciated replacement cost of a property.

The Sales Comparison Approach involves direct comparisons of the property being appraised to similar properties that have sold in the same or a similar market in order to derive an estimate of value for the subject property. This approach is based on the principle of substitution and that an informed purchaser would not pay more for a property than the cost of acquiring another property with similar utility. This approach is applicable when an active market provides a sufficient quantity of comparable sales that can be verified from reliable sources. The Sales Comparison Approach was used in appraising the subject property since adequate data from comparable sales was available for analysis and the unit price ranges were sufficiently narrow to provide a reasonable value estimate for the subject property.

The Income Capitalization Approach is based on the principle of anticipation and is a procedure in appraisal analysis that converts anticipated benefits to be derived from the ownership of property into a present dollar value estimate. The Income Capitalization Approach is widely applied in appraising income-producing properties since they are typically purchased for investment purposes and the projected net income stream and capitalization rate are the critical factors determining market value via this approach. Given the specific characteristics of the subject property the Income Capitalization Approach was not performed.

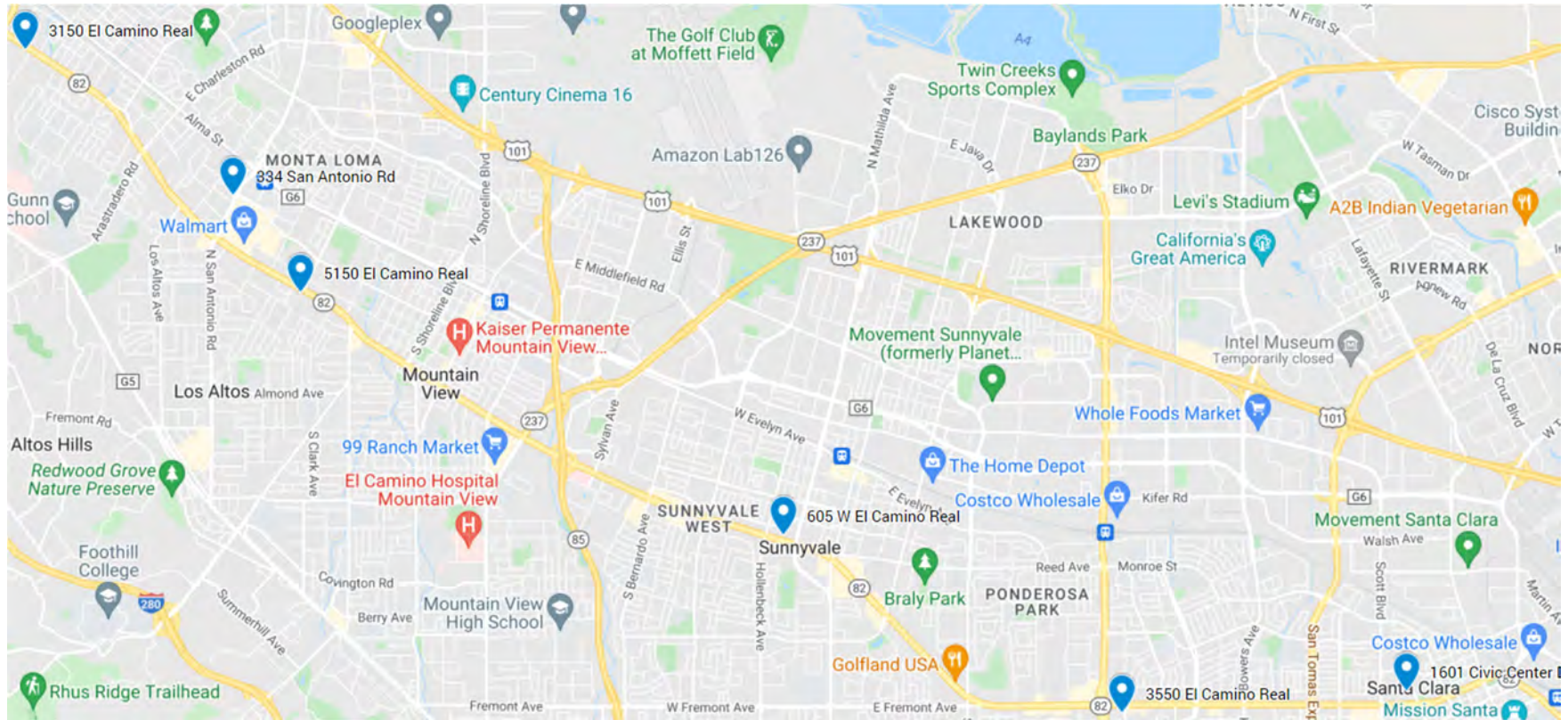
SALES COMPARISON APPROACH

The Sales Comparison Approach is based on the principle of substitution and the proposition that an informed purchaser would pay no more for a property than the cost of acquiring an alternate property with the same utility. The purpose of sales comparison is to discover what competitive properties have sold for recently on the local market and through an appropriate adjustment process, develop an indication of what they would have sold for if they had possessed all the basic and pertinent physical and economic characteristics of the subject property. When comparable sales are truly competitive, the indications usually fall into a pattern clustering around a tight range. When appropriately correlated, the Sales Comparison Approach provides a realistic indication of the market value of the subject property.

A summary of the data on four closed property sales are included in the following table with a sales map and photographs of the comparables included in the addenda. The selected unit of comparison is price per square foot of building. The comparables were obtained and researched using CoStar Comps Inc., LoopNet, MLS, Property Sciences Group (PSG) Data, and/or local real estate brokers. The comparables selected are considered to be the best available at the time of this report and are described in detail in the following pages.

COMPARABLE LAND SALES										
	SUBJECT	SALE 1		SALE 2		SALE 3		SALE 4		SALE 5
ADDRESS	605 W. El Camino Real Sunnyvale, CA	3550 El Camino Real Santa Clara, CA		5150 El Camino Real Los Altos		3150 & 3160 El Camino Real Palo Alto, CA		334 San Antonio Rd Mountain View, CA		1601 Civic Center Dr Santa Clara, CA
APN(s)	165-02-004	290-01-113	ADJ.	170-04-066	ADJ.	142-20-054 & 055	ADJ.	148-15-020	ADJ.	224-49-006
VERIFICATION	Public Record Inspection	Public Record CoStar		Public Record CoStar		Public Record CoStar		Public Record CoStar		Public Record CoStar
DOCUMENT NO.	***	David Taxin, Broker 25215396		Ralph Borelli, Seller 25133374		Jennifer Voorhies, Seller 24943020		Naresh Krishnamoorti, Buyer 24744173		Jeff Aguilar, Broker 24380714
BUYER	***	County of Santa Clara		5150 ECR Los Altos LLC		3150 ECR PA LLC		334 San Antonio LLC		Civic Center LP
SELLER	***	Shri Jai Ranchhodrai Inc		5150 ECR Group LLC		Joyce Voorhies		Sylvia Duong Hang, LLC		K&K Outdoor Advertising
SALE PRICE	***	\$14,000,000		\$48,000,000		\$16,000,000		\$6,300,000		\$12,100,000
PRICE/SF	***	\$279		\$290		\$346		\$219		\$197
RIGHTS CONV'D	Fee Simple	Fee Simple		Fee Simple		Fee Simple		Fee Simple		Leased Fee
ADJ. SALE PRICE	***	\$14,000,000		\$48,000,000		\$16,000,000		\$6,300,000		\$12,100,000
FINANCING	***	Conventional		Conventional		Conventional		Conventional		Conventional
ADJ. SALE PRICE	***	\$14,000,000		\$48,000,000		\$16,000,000		\$6,300,000		\$12,100,000
COND. OF SALE	***	Market		Market		Market		Market		Market
CONCESSIONS	***	None		None		None		None		None
ADJ. SALE PRICE	***	\$14,000,000		\$48,000,000		\$16,000,000		\$6,300,000		\$12,100,000
DATE OF SALE	***	1/10/2022		10/14/2021		4/30/2021		12/10/2020		1/15/2020
MARKETING TIME	***	18 Months		1 Month		N/Ap		1 Month		18 Months
ADJ. SALE PRICE	***	\$14,000,000		\$48,000,000		\$16,000,000		\$6,300,000		\$13,310,000
LOCATION	Proximity to Subject	2.7 Miles SE		3.9 Miles NW		6.5 Miles NW		4.7 Miles NW		4.7 Miles SE
DEMOGRAPHICS/CITY	Average	Similar		Similar		Similar		Similar		Similar
SITE										
CURRENT USE	Previously Developed	Previously Developed		Previously Developed		Previously Developed		Previously Developed	10%	Previously Developed
INTENDED USE	Commercial	Commercial		Commercial		Commercial		Commercial		Commercial
PARCEL (AC)	2.00	1.15		3.80		1.06		0.66		1.41
PARCEL (SF)	87,247	50,094	-5%	165,528	5%	46,230	-10%	28,794	-10%	61,420
ZONING	C2	CT		CT		CS		Planned Development		CT
ADDITIONAL ZONING	None	None		None		None		Mixed-Use		None
SHAPE	Irregular	Irregular		Rectangular		Rectangular		Rectangular		Rectangular
TOPOGRAPHY	Level	Level		Level		Level		Level		Level
UTILITIES	Connected	Similar		Similar		Similar		Similar		Similar
FRONTAGE/VISIBILITY	Average	Similar		Similar		Similar		Superior		Similar
TRAFFIC COUNT	35,660	46,306	-5%	45,200	-5%	46,726	-5%	39,564	-5%	5,279
ENTITLEMENTS	No	Yes-Condos	-10%	Yes-Condos	-10%	Yes-Prelim	-5%	Yes-Prelim	-5%	Yes-Condos
NET ADJUSTMENTS	***	-20.0%		-10.0%		-20.0%		-5.0%		-10.0%
ADJUSTED SALE PRICE	***	\$11,200,000		\$43,200,000		\$12,800,000		\$5,985,000		\$11,979,000
ADJUSTED PRICE/SF	***	\$224		\$261		\$277		\$208		\$195

SALES COMPARISON APPROACH MAP



COMPARABLE 1

Property Information

Property Type	Land Sale
Address	3550 El Camino Real, Santa Clara, CA
APN	290-01-113
Zoning	CT-Commercial Thoroughfare
Current Use	Improved Lot (Sold for Land Value)
Intended Use	Intended & entitled for condominiums
Land Area (AC)	1.15 AC
Land Area	50,094 Sq. Ft.



Sale Data

Sales Date	1/10/2022
Sales Price	\$14,000,000
Price Per SF of Land	\$279
Rights Transferred	Fee Simple

Financial Analysis

Occupancy	Vacant
GIM	N/Av
NOI	N/Av
OAR	N/Av

Verification Sources David Taxin(Broker), Public Record, Comps CoStar

Comments

The subject property consists of a motel development in Santa Clara. The comparable is located on a primary street.

The comparable property is slightly smaller than the subject property, and due to economies of scale a downward adjustment is required. The traffic count is higher than the subject's, requiring a downward adjustment. The comparable is entitled to have condominiums built on the site, requiring a downward adjustment for entitlements.

COMPARABLE 2

Property Information

Property Type	Land Sale
Address	5150 El Camino Real, Los Altos, CA
APN	170-04-066
Zoning	CT-Commercial Thoroughfare
Current Use	Improved Lot (Sold for land value)
Intended Use	Intended & entitled for condominiums
Land Area (AC)	3.80 Acres
Land Area	165,528 Sq. Ft.



Sale Data

Sales Date	10/14/2021
Sales Price	\$48,000,000
Price Per SF of Land	\$290
Rights Transferred	Fee Simple

Financial Analysis

Occupancy	30%
GIM	N/Av
NOI	N/Av
OAR	N/Av

Verification Sources Ralph Borelli (Seller), Public Record, Comps CoStar

Comments

The subject property consists of a retail development in Los Altos. The comparable is located on a primary street.

The comparable property is larger than the subject property, and due to economies of scale an upward adjustment is required. The traffic count is higher than the subject's, requiring a downward adjustment. The comparable is entitled to have condominiums built on the site, requiring a downward adjustment for entitlements.

COMPARABLE 3

Property Information

Property Type	Land Sale
Address	3150 & 3160 El Camino Real, Palo Alto, CA
APN	142-20-054 & 142-20-055
Zoning	CS (Service Commercial)
Current Use	Improved Lot (Sold for land value)
Intended Use	Intended and Preliminary talks for mixed-use
Land Area (AC)	1.06
Land Area	46,230 Sq. Ft.



Sales Data

Sales Date	4/30/2021
Listing Price	\$16,000,000
Price Per SF of Land	\$346
Rights Transferred	Fee Simple

Financial Analysis

Occupancy	100%
GIM	N/Av
NOI	N/Av
OAR	N/Av

Verification Sources Jennifer Voorhies (Broker), Public Record, Comps CoStar

Comments

The subject property consists of a retail development in Palo Alto. The comparable is located on a primary street.

The property is located in an area within a similar market area, requiring no adjustment for location. The property is expected to be redeveloped with a mixed-use property similar to a likely development of the subject. The site is smaller, requiring a downward adjustment due to economies of scale. The traffic count is higher than the subject's, requiring a downward adjustment. The site is level, similar to the subject. The site has no entitlements, however, preliminary discussion with the city had begun, therefore, a downward adjustment is required.

COMPARABLE 4

Property Information

Property Type	Land Sale
Address	334 San Antonio Road, Mountain View, CA
APN	148-15-020
Zoning	P – Planned (Mixed Use)
Current Use	Improved Lot (Sold for land value)
Intended Use	Intended and Preliminary talks for mixed-use
Land Area (AC)	0.66
Land Area	28,794 Sq. Ft.



Sales Data

Sales Date	12/20/2020
Listing Price	\$6,300,000
Price Per SF of Land	\$219
Rights Transferred	Fee Simple

Financial Analysis

Occupancy	100%
GIM	N/Av
NOI	N/Av
OAR	N/Av

Verification Sources Naresh Krishnamoorti (Buyer), Public Record, Comps CoStar

Comments

The subject property is a gas station in Mountain View. The comparable is located on a primary street.

The property is expected to be redeveloped with a mixed-use property similar to a likely development of the subject. The site is smaller, requiring a downward adjustment due to economies of scale. The site is level, similar to the subject. The site has no entitlements, however, preliminary discussion with the city had begun. Additionally, the subject will collect income from the tenant while the buyer can receive entitlements, therefore, a downward adjustment is required. The comparable is a gas station and due to the nature of the business it is possible that the site could have environmental issues, causing an increase in redevelopment cost to cure potential contamination risk, resulting in an upward adjustment.

COMPARABLE 5

Property Information

Property Type	Land Sale
Address	1601 Civic Center Drive, Santa Clara, CA
APN	224-49-006
Zoning	CT-Commercial Thoroughfare
Current Use	Improved Lot (Sold for Land Value)
Intended Use	Intended & entitled for condominiums
Land Area (AC)	1.41 AC
Land Area	61,420 Sq. Ft.



Sale Data

Sales Date	1/15/2020
Sales Price	\$12,100,000
Price Per SF of Land	\$197
Rights Transferred	Fee Simple

Financial Analysis

Occupancy	Vacant
GIM	N/Av
NOI	N/Av
OAR	N/Av

Verification Sources Bryan Carnes (Broker), Public Record, Comps CoStar

Comments

The comparable property is improved with an office building and a paved lot, (sold for land value) located Santa Clara. The comparable has similar frontage and visibility compared to the subject property and is considered to be similar to the subject's parcel overall.

The comparable sold over two years ago, since then the market has increased, resulting in an upward adjustment for market conditions. The comparable property is slightly smaller than the subject property, and due to economies of scale a downward adjustment is required. The traffic count is lower than the subject's, requiring an upward adjustment. The comparable is entitled to have condominiums built on the site, requiring a downward adjustment for entitlements.

Conclusion of Land Sales

Prior to adjustment, the comparables had a price per square foot of land range of \$197 to \$346 with an average of \$266 per square foot of land. After adjustments, the comparables indicate a price range of \$195 to \$277 with an average of \$233 per square foot of land. All sales were given considerable weight in our analysis. Therefore, give the sites location, characteristics and projected zoning we have determined the subject to have the following value: \$225 per square foot of land.

The fee simple value of the land is calculated as follows:

$$\begin{aligned} & \mathbf{87,247 \text{ Square Feet of Land} \times \$225 \text{ per Square Foot of Land} = \$19,630,575} \\ & \mathbf{(\$19,630,000 \text{ Rounded})} \end{aligned}$$

To estimate the As Is Fair Market Value of the property via the sales comparison approach for land value, we must deduct out the costs to change the zoning to C-2 (Highway Business Zoning District) or to acquire a conditional use permit for commercial use), and entrepreneurial profit. The proposed zoning for the subject property, C-2 (Highway Business Zoning District) is consisted with the zoning in neighborhood of the subject property, and within the immediate vicinity of the subject property. Any change in zoning or the acquisition of a conditional use permit for commercial use typically incurs costs associated with application & permitting fees, the costs associated with preparing building plans for the department of building and planning to review, as well as the costs associated with the time needed for a change in zoning. It is noted that no deduction for demolition cost was utilized as all of the comparables were sold with previous developments on the site.

A project such as the renovation of the subject requires time, effort, and risk. The market generally anticipates an entrepreneurial profit for such undertakings. Generally, the profit is proportional to the amount of risk incurred and the time and effort associated with completing the project. Given the scale of the subject's development, and current market conditions, developer's profit of 10% is considered appropriate. The chart on the following page illustrates the deductions from the Land value.

As Is Market Value	
Land Value with C2 Zoning	\$19,630,000
Demolition Costs	
605 W. El Camino Real	19,994 SF @ \$0.00 Per SF \$0
	\$0
Zoning Change	
605 W. El Camino Real	\$200,000
	(\$200,000)
Sub Total	(\$200,000)
Entrepreneurial Profit	10% of Subtotal
	(\$20,000)
Total Redevelopment Costs	(\$220,000)
As Is Value	\$19,410,000
	Rounded \$19,400,000

Accordingly, the estimated As Is Fair Market Value of the subject property's Fee Simple estate as derived by the Sales Comparison Approach, as of April 4, 2022, was:

As Is Fair Market Value Via Sales Comparison Approach
<i>Nineteen Million Four Hundred Thousand Dollars</i>
<i>(\$19,400,000)</i>

RECONCILIATION AND CONCLUSION

APPROACHES TO VALUE	VALUE INDICATOR
<u>As Is Fair Market Values</u>	
Cost Approach	N/Ap.
Sales Comparison Approach	\$19,400,000
Income Capitalization Approach	N/Ap.
Reconciled As Is Fair Market Value	\$19,400,000

The Cost Approach was not developed since purchasers in this market rarely base their investment decision on the depreciated replacement cost of a property. Furthermore, peers in our profession would not deem the Cost Approach applicable for the subject property.

The Sales Comparison Approach included four closed sales. The adjusted price per square foot indicators varied from \$195 to \$277 per square foot of land area, with an average of \$233 per square foot. Upon review and comparison between the subject property and the comparable sales, a price per square foot of land of \$225 was considered appropriate for application to the subject property. The Sales Comparison Approach was given primary reliance in our final value estimate for the subject.

The Income Capitalization Approach was not developed since the subject property is being valued for land value and purchasers in this market rarely base their investment decision for land purchases on the income generating potential of the land. Furthermore, peers in our profession would not deem the Sales Comparison Approach applicable for the subject property.

“Fair Market Value” The fair market value of the property is the highest price on the date of valuation that would be agreed to by a seller, being willing to sell but under no particular or urgent necessity for so doing, nor obliged to sell, and a buyer, being ready, willing, and able to buy but under no particular necessity for so doing, each dealing with the other with full knowledge of all the uses and purposes for which the property is reasonably adaptable and available.

As a result of our study and investigation, we conclude that the As Is Fair Market Value of the subject property’s Fee Simple Estate, as of April 4, 2022 predicated upon an exposure time of up to twelve months and subject to the *Assumptions and Limiting Conditions* included in the appraisal, was:

AS IS FAIR MARKET VALUE

Nineteen Million Four Hundred Thousand Dollars

(\$19,400,000)

INSURABLE REPLACEMENT COST

At the request of the client, an insurable replacement cost estimate is provided. Insurable Replacement Cost is defined as:

The current replacement cost of building structures only, including existing tenant improvements. The estimate of Insurable Replacement Cost should include allowances for repair, engineering and design fees, building permit fees, as well as contractor's overhead and profit. It will not include: (1) costs associated with land acquisition and development; (2) professional fees not directly related to repairs; (3) taxes; (4) financing costs; (5) property owner's overhead and profit; (6) loss of income during repairs; (7) loss of personal property not necessary to the operation, management or marketing of the project; and (8) any/all other costs not relevant to the repair of the insured damages.

The estimated cost new of improvements is based on current prices of labor and materials to either reproduce the improvements or to replace the improvements with equally desirable facilities with similar utility.

In estimating the replacement cost new of the subject improvements, *Marshall Valuation Service* figures for construction of a similar building were used. Costs developed reflect the final cost to the owner and include typical costs of:

1. Professional fees such as average architect's & engineer's fees, landscape design, etc.
2. Plans, plan checking and estimated average permit fees.
3. Normal construction loan fees and interest during typical course of construction.
4. Materials, sales tax on materials, and labor costs are included.
5. Utilities from the lot line to the structure for typical setbacks.
6. Contractor overhead and profit, including on-site supervision, workmen's compensation, fire & liability insurance, unemployment insurance, equipment, temporary facilities, security, etc. are included. It is noted that the developer/entrepreneurial profit is not included.
7. Costs of typical site preparation, including foundation excavation and backfill.

The costs reflect the current replacement cost of fully finished buildings, including engineering and design fees; permit fees; contractor's overhead and profit, and all tenant improvements.

The costs do not include costs associated with land acquisition and development; professional fees not directly related to repairs, taxes, financing costs, owner's overhead and profit; loss of income during repairs, chattels not included above; and all other costs not relevant to the repair of insured damages.

NOTE: The Insurable Replacement Cost provided should be considered a preliminary estimate. The appraisers are not licensed contractors or professional insurance underwriters. The estimate provided is based on published guidelines for general property types and not specific to the subject property. For

a complete and accurate account of the cost to replace the existing improvements, we recommend that a licensed contractor or insurance company be contacted to estimate the current construction costs.

INSURABLE REPLACEMENT COST ESTIMATE

PROPERTY: Courthouse/Office Building
LOCATION: 605 W. El Camino Real, Sunnyvale, CA
PROPERTY DESCRIPTION: Average Class C, Governmental Buildings (November 2021)
 Section 15, Page 30

INSURABLE REPLACEMENT COST CALCULATIONS:

Building #	605 W. El Camino Real		
Building Size (SF):	19,994		
Structure Class:	C		
Marshall Valuation	Sec 15; Pg 30		
Service Reference:	Nov-21		
(or source referenced)			
Base Cost PSF/Per Unit:	\$189.00		
Plus (PSF)			
Sprinklers>	\$4.34		
>			
>			
>			
Subtotal:	\$193.34		
Multipliers			
Number of Stories:	1.000		
Height Per Story:	1.000		
Perimeter:	1.000		
Current:	1.020		
Local:	1.320		
Adjusted Cost PSF:	\$260.31		
Estimated Insurable			
Replacement Cost:	\$5,204,698		
TOTAL: (Rounded)	\$5,200,000		

Insurable Replacement Costs (IRC) are the current replacement cost of EACH INDIVIDUAL structure, either as proposed in plans and specifications or as existing when physically inspected. Only PERSONAL PROPERTY necessary to the operation, management or marketing of the property is included.

IRCs INCLUDE: repair engineering and design fees; permit fees; and contractor's overhead and profit.

IRCs EXCLUDE: costs associated with land acquisition and development; professional fees not directly related to repairs; taxes, financing costs, owner's overhead and profit; loss of income during repairs, chattels not included above; and , all other costs not relevant to the repair of insured damages.

DIRECTIONS:

1. Each individual, unattached structure being appraised requires a separate IRC estimate.
2. Shaded areas of the IRC document automatically calculate.
3. Use additional IRC forms should the number of buildings exceed the columns available.

ADDENDA

Assumptions and Limiting Conditions
Professional Qualifications
Property Profile
Floor Plan
Title Report
Client's Engagement Letter

ASSUMPTIONS AND LIMITING CONDITIONS

ASSUMPTIONS AND LIMITING CONDITIONS

BY THIS NOTICE, ALL PERSONS AND FIRMS REVIEWING, UTILIZING OR RELYING UPON THIS REPORT IN ANY MANNER, BIND THEMSELVES TO ACCEPT THESE ASSUMPTIONS AND LIMITING CONDITIONS. Do not use this report if you do not so accept. These conditions are a part of the appraisal report; they are a preface to any value conclusion, certification, definition, fact or analysis. This appraisal report is an economic study to estimate value as defined herein. It is not a geotechnical, engineering, construction, legal or architectural study nor survey, and expertise in these areas, among others, is not implied.

1. LIMIT OF LIABILITY:

The liability of the Appraisers, The Property Sciences Group Inc. and employees and affiliated independent contractors is limited to the client only (client indicated on cover page of report) and to the fee actually received by the Appraisers (total per appraisal). Further, there is no accountability, obligation, nor liability to any third party. A third party is defined as anyone other than the client indicated on the cover page. If, however, this report is placed in the hands of anyone other than client, the client shall make such party aware of all assumptions and limiting conditions of the assignment and related discussions. The Appraisers are in no way to be responsible for any costs incurred to discover or correct deficiencies of any type present in the property; physically, financially, and/or legally. In the case of limited partnerships or syndication offerings or stock offerings in real estate, client agrees that in case of lawsuit (brought by lender, partner or part owner in any form of ownership, tenant, or any other party), any and all awards, settlements of any type in such suit, regardless of outcome, client will hold Appraisers completely harmless in any such action.

2. COPYRIGHT, PUBLICATION, DISTRIBUTION, USE OF REPORT:

This report is Copyrighted© and reproduction of this document (any part thereof or in its entirety) without the authorization from The Property Sciences Group Inc. is expressly prohibited.

Possession of this report or any copy thereof does not carry with it the right of publication, nor may it be used for other than its intended use; the physical report(s) remain the property of the Appraisers for the use of the client, the fee being for the analytical services only.

The Bylaws and Regulations of the Appraisal Institute require each Member and Candidate to control the use and distribution of each appraisal report signed by such Member or Candidate; except as hereinafter provided, the client may not distribute copies of this appraisal to any third party. This report may not be released to any third party without the authorization of The Property Sciences Group Inc. Any unauthorized release will render the appraisal to be invalid. Neither all nor any part of this appraisal report shall be disseminated to the general public by the use of advertising media, public relations, news, sales or other media for public communication without the prior written consent of the Appraisers. (See last item in following list for client agreement/consent.)

3. CONFIDENTIALITY:

This appraisal is to be used only in its entirety and no part is to be used without the whole report. All conclusions and opinions concerning the analysis set forth in the report were prepared by the Appraisers whose signatures appear on the appraisal report, unless indicated as "Review Appraiser." No change of any item in the report shall be made by anyone other than the Appraisers and/or officer of The Property Sciences Group Inc. The Appraisers and The Property Sciences Group Inc. shall have no responsibility if any such unauthorized change is made.

The Appraisers may not divulge the material (evaluation) contents of the report, analytical findings or conclusions, or give a copy of the report to anyone other than the client or his/her designee as specified in writing except as may be required by the Appraisal Institute for standards or ethics enforcement, or by a court of law or body with the power of subpoena.

4. TRADE SECRETS:

This appraisal was obtained from The Property Sciences Group Inc. or related companies and/or its individuals or related independent contractors and consists of "trade secrets and commercial or financial information" which is privileged and confidential and exempted from disclosure under 5 U.S.C. 552 (b) (4). Notify the Appraisers signing the report or officers of The Property Sciences Group Inc. of any request to reproduce this appraisal in whole or part.

5. INFORMATION USED:

No responsibility is assumed for accuracy of information furnished by work of or work by others, the client, his/her designee, or public records. This information includes, but is not limited to, numerical street address, lot and block numbers, Assessors Parcel Numbers, lot dimensions, lot sizes, dimensions of the improvements, gross building areas, net rentable areas, rent schedules or rent rolls, income data, operating expenses, operating budgets, property taxes, and related data. The Appraisers are not liable for such information or the work of possible subcontractors. The comparable data relied upon in this report has been confirmed with one or more parties familiar with the transaction or from affidavit or other source thought reasonable; all are considered appropriate for inclusion to the best of our factual judgment and knowledge. An impractical and uneconomic expenditure of time would be required in attempting to furnish unimpeachable verification in all instances, particularly as to engineering and market-related information. It is suggested that the client consider independent verification as a prerequisite to any transaction involving sale, lease, loan, or other significant commitment of funds on the subject property. Any material error in any of the above data could have a substantial impact on the value conclusions indicated in the appraisal. Therefore, the Appraisers reserve the right to amend the appraisal and value conclusions if made aware of any such error. Accordingly, the client should carefully review all assumptions, data, leases, rent rolls, relevant calculations, and value conclusions within 30 days after the delivery of this report (the delivery date being indicated on the transmittal letter) and notify the Appraisers of any errors/omissions.

6. TESTIMONY, CONSULTATION, COMPLETION OF CONTRACT FOR APPRAISAL SERVICES:

The contract for appraisal, consultation or analytical service, is fulfilled and the total fee payable upon completion of the report. The Appraisers or those assisting in preparation of the report will not be asked or required to give testimony in court or hearing because of having made the appraisal, in full or in part, nor engage in post-appraisal consultation with client or third parties except under separate and special arrangement and at additional fee. If testimony or deposition is required because of any subpoena, the client shall be responsible for any additional time, fees, and charges regardless of issuing party.

7. EXHIBITS:

The sketches and maps in this report are included to assist the reader in visualizing the property and are not necessarily to scale. Various photos, if any, are included for the same purpose as of the date of the photos. Site plans are not surveys unless shown from separate surveyor.

8. LEGAL, ENGINEERING, FINANCIAL, STRUCTURAL, OR MECHANICAL NATURE HIDDEN COMPONENTS, SOIL:

The Appraisers and/or The Property Sciences Group Inc. has no responsibility for matters legal in character or nature, nor of any architectural, structural, mechanical, or engineering nature. No opinion is rendered as to the title, which is presumed to be good and merchantable. The property is appraised as if free and clear, unless otherwise stated in particular parts of the report. No attempt has been made to render an opinion of or status of easements that may exist, unless stated otherwise (i.e. that the scope of the assignment does indeed include an analysis of easements).

The legal description is assumed to be correct as used in this report as furnished by the client, his/her designee, or other sources. However, the Appraisers and The Property Sciences Group Inc. can not guarantee the accuracy of the legal description. The client should verify the accuracy of the legal description before recordation with any deeds of trust. This responsibility remains with the client and is not maintained by the Appraisers nor The Property Sciences Group Inc.

Please note that no advice is given regarding mechanical equipment or structural integrity or adequacy, nor soils and potential for settlement, drainage, and such (seek assistance from qualified architect and/or engineer) nor matters concerning liens, title status, and legal marketability (seek legal assistance), and such. The lender and owner should inspect the property before any disbursement of funds. Further, it is likely that the lender or owner may wish to require mechanical or structural inspections by qualified and licensed contractor, civil or structural engineer, architect, or other expert.

The Appraisers have inspected as far as possible, by observation, the land and the improvements. However, it was not possible to personally observe conditions beneath the soil or hidden structural, or other components. We have not critically inspected mechanical components within the improvements and no representations are made herein as to these matters unless specifically stated and considered in the report. The value estimate considers there being no such conditions that would cause a loss of value. The land or the soil of the area being appraised appears firm, unless otherwise stated in the report.

However, subsidence in the area is unknown. The Appraisers do not warrant against this condition or occurrence of problems arising from soil conditions.

The appraisal is based on there being no hidden, unapparent, or apparent conditions of the property site, subsoil, or structures or toxic materials which would render it more or less valuable. The Appraisers and/or The Property Sciences Group Inc. have no responsibility for any such conditions or for any expertise or engineering to discover them. All mechanical components are assumed to be in operable condition and status standard for properties of the subject type. Conditions of heating, cooling, ventilating, electrical and plumbing equipment are considered to be commensurate with the condition of the balance of the improvements unless otherwise stated. No judgment may be made by us as to adequacy of insulation, type of insulation, or energy efficiency of the improvements or equipment which is assumed standard for subject age and type.

If the Appraisers have not been supplied with a termite inspection, survey or occupancy permit, no responsibility or representation is assumed or made for any costs associated with obtaining same or for any deficiencies discovered before or after they are obtained. No representation or warranties are made concerning obtaining the above mentioned items.

The Appraisers have no responsibility for any costs or consequences arising due to the need, or the lack of need for flood hazard insurance. An agent for the National Flood Insurance Program should be contacted to determine the actual need for flood hazard insurance.

9. LEGALITY OF USE:

The appraisal is based on the premise that, there is full compliance with all applicable federal, state and local environmental regulations and laws, unless otherwise stated in the report, and also that all applicable zoning, building and use regulations and restrictions of all types have been complied with unless otherwise stated in the report. Further, it is assumed that all required licenses, consents, permits, or other legislative or administrative authority, local, state, federal and/or private entity or organization have been or can be obtained or renewed for any use considered in the value estimate.

10. COMPONENT VALUES:

The distribution of the total valuation in this report between land and improvements applies only under the existing program of utilization. The separate valuations for land and building must not be used independently, or in conjunction with any other appraisal and are invalid if so used.

11. AUXILIARY AND RELATED STUDIES:

No environmental or impact studies, special market study or analysis, highest and best use analysis study or feasibility study have been requested or made unless otherwise specified in an agreement for services or in the report.

12. DOLLAR VALUES, PURCHASING POWER:

The market value estimated, and the costs used, are as of the date of the estimate of value. All dollar amounts are based on the purchasing power and price of the dollar as of the date of the value estimate.

13. INCLUSIONS:

Furnishings and equipment or personal property or business operations, except as specifically indicated and typically considered as a part of real estate, have been disregarded with only the real estate being considered in the value estimate unless otherwise stated. In some property types, business and real estate interests and values are combined.

14. PROPOSED IMPROVEMENTS, CONDITIONED VALUE:

Improvements proposed, if any, on or off-site, as well as any repairs required are considered, for purposes of this appraisal to be completed in good and workmanlike manner according to information submitted and/or considered by the Appraisers. In cases of proposed construction, the appraisal is subject to change upon inspection of property after construction is completed. This estimate of market value is as of the date shown, as proposed, as if completed and operating at levels shown and forecasted.

15. VALUE CHANGE, DYNAMIC MARKET, INFLUENCES, ALTERATION OF ESTIMATE BY APPRAISERS:

The estimated market value, which is defined in the report, is subject to change with market changes over time; value is highly related to exposure, time, promotional effort, terms, motivation and conditions surrounding the offering. The value estimate considers the productivity and relative attractiveness of the property physically and economically in the marketplace. The appraisal report and value estimate are subject to change if physical or legal entity or financing are different than that envisioned in this report.

16. MANAGEMENT OF THE PROPERTY:

It is assumed that the property which is the subject of this report will be under prudent and competent ownership and management; neither inefficient nor superefficient.

17. FEE:

The fee for this appraisal or study is for the service rendered and not for the time spent on the physical report or the physical report itself. Amount or payment of fee for services is not contingent on any result, approval amount or other estimates or statements.

18. AUTHENTIC COPIES:

The authentic copies of this report are signed in blue ink. Any copy that does not have the above is unauthorized and may have been altered.

19. INSULATION AND TOXIC MATERIALS:

In this appraisal assignment, the existence of potentially hazardous material used in the construction or maintenance of the building, such as the presence of urea-formaldehyde foam insulation, and/or the

presence of asbestos containing building materials (ACBM), and/or the existence of toxic waste, which may or may not be present on the property, was not observed, unless stated in the report; nor do the Appraisers have any knowledge of the existence of such materials on or in the property. The Appraisers, however, are not qualified to detect such substances. The existence of urea-formaldehyde insulation, or ACBM, or other potentially hazardous waste material may have an effect on the value of the property. It is recommended that the client retain an expert in this field, if desired. If such substances are present, the value of the property may be adversely affected and re-appraisal at additional cost will be necessary to estimate the effects of such.

20. REVIEW:

Unless otherwise noted herein, named Review Appraiser of/from The Property Sciences Group Inc. has reviewed the report only as to general appropriateness of technique and format, and has not necessarily inspected the subject or market comparable properties.

21. CHANGES, MODIFICATIONS:

The Appraisers and/or officers of The Property Sciences Group Inc. reserve the right to alter statements, analysis, conclusions or any value estimates in the appraisal if there becomes known to us facts pertinent to the appraisal process which were unknown to us when the report was finished.

22. AFTER TAX ANALYSIS AND/OR VALUATION:

Any "after" tax income or investment analysis and resultant measures of return on investment are intended to reflect only possible and general market considerations, whether as part of estimating value or estimating possible returns on investment at an assumed value or price paid. Note that the Appraisers do not claim expertise in tax matters and advises client and any others using the appraisal to seek competent tax advice. The Appraisers are in no way to be considered as tax advisors or investment advisors.

23. INCOME PROJECTIONS:

Any cash flows indicated in the appraisal are forecasts of estimated future operating characteristics, and are predicated on the information and assumptions contained within the appraisal. Any projections of income, expenses, and/or economic conditions utilized in the appraisal are not predictions of the future. Rather, they are estimates of current market expectations of future income, expenses, and/or economic conditions. The achievement of these financial projections will be affected by fluctuating economic conditions and is dependent upon other future occurrences that can not be assured. Actual income and expenses may vary from the projections contained in the appraisal. The Appraisers and/or The Property Sciences Group Inc. does not warrant that these income and expenses will occur. Projections may be affected by circumstances beyond the current realm of knowledge or control of the Appraisers and/or The Property Sciences Group Inc.

24. RECOMMENDATIONS (IMPLIED AND/OR EXPLICIT):

Unless specifically set forth in the body of the appraisal, nothing contained in said shall be construed to represent any direct or indirect recommendation of the Appraisers and/or The Property Sciences Group

Inc. to buy, sell, or hold the properties at the values stated. Such decisions involve substantial investment strategy questions and must be specifically addressed in consultation form. Such decisions are beyond the scope of the appraisal analysis, unless stated otherwise (i.e. that the scope of the appraisal does indeed include a recommendation to buy, sell, or hold the subject property).

25. CLEAR AND MARKETABLE TITLE:

Unless specifically noted in the body of the appraisal, it is assumed that title to the subject property (or properties) are clear and marketable, and that there are no recorded or unrecorded liens, leases, matters, or exceptions to title that would adversely affect the subject's marketability or market value. The Appraisers and/or The Property Sciences Group Inc. are not aware of any title defects nor have been advised of any title defects, unless such as specifically noted in the report. However, the Appraisers and/or The Property Sciences Group Inc. have not examined title and makes no representations relative to the condition thereof. Unless stated otherwise, the Appraisers have not been provided with (nor reviewed) a preliminary title report. The Appraisers are not qualified experts in title matters.

26. AMERICANS WITH DISABILITIES ACT (ADA):

The Americans with Disabilities Act (ADA) became effective January 26, 1992. Unless otherwise noted in the report, the Appraisers have not made a specific compliance survey and analysis of the property to determine whether or not it is in conformity with the various detailed requirements of the ADA. It is possible that a compliance survey of the property, together with a detailed analysis of the requirements of the ADA, could reveal that the property is not in compliance with one or more of the requirements of the Act. If so, this fact could have a negative effect upon the value and marketability of the property. Unless otherwise noted in the report, the Appraisers have no direct evidence relating to this issue and have not considered possible noncompliance with the requirements of the ADA in estimating the value of the property.

27. CONDITIONS OF ACCEPTANCE:

Acceptance of, and/or use of this appraisal report by client constitutes acceptance of the above conditions. Appraisers' liability extends only to stated client, not subsequent third parties nor users of any type, and the total liability of Appraisers and The Property Sciences Group Inc. is limited to the amount of the appraisal fee received.

PROFESSIONAL QUALIFICATIONS

ROBERT BARNES



PROFESSIONAL EXPERIENCE

Mr. Barnes has been involved in the appraisal and consultation of real estate since 2003. Prior to becoming associated with The Property Sciences Group, Inc. in 2012 he was an independent fee appraiser with Niaz Associates Inc., Arpeggio Appraisals, and United Appraisal Group.

Valuation and consulting assignments have pertained to a wide variety of purposes; i.e., sale, loan, arbitration, tax, leased fee and leasehold interest, partial interests, and current value portfolio appraisals. Clients served include developers and investors, banks, attorneys, accountants, and private parties. Experience includes general and special purpose real estate appraisals, litigation support, portfolio valuations, investment analysis, due diligence investigation, lease-by-lease analysis, highest and best use studies, market studies, and feasibility analysis.

STATE & REGULATORY LICENSURE

California: State Certified General Real Estate Appraiser License No. AG041310

Nevada: State Certified General Real Estate Appraiser License No. A.0207192-CG

EDUCATION

Mr. Barnes is a graduate of California State University at Northridge, where he received a Bachelor of Science Degree in Business Administration with an Option in Finance and Real Estate.

Robert Barnes | Senior Appraiser, Commercial Division, Los Angeles Office

The Property Sciences Group, Inc.

130 N. Brand Boulevard

Glendale, CA 91203

Direct 213.443.4540

Fax 213.443.4632

Email: Robert.Barnes@propsci.com

Web: www.PropSci.com



Business, Consumer Services & Housing Agency
BUREAU OF REAL ESTATE APPRAISERS
REAL ESTATE APPRAISER LICENSE

Robert E. Barnes

has successfully met the requirements for a license as a residential and commercial real estate appraiser in the State of California and is, therefore, entitled to use the title:

“Certified General Real Estate Appraiser”

This license has been issued in accordance with the provisions of the Real Estate Appraisers' Licensing and Certification Law.

BREA APPRAISER IDENTIFICATION NUMBER: AG 041310

Effective Date: November 17, 2020

Date Expires: November 16, 2022

Loretta Dillon, Deputy Bureau Chief, BREA

3054070

PROFESSIONAL QUALIFICATIONS OF
Brant A. Sheaffer, MAI

Brant.sheaffer@propsci.com - direct: 206-319-5215

Brant Sheaffer is the Senior Vice President – Managing Director of the Commercial Division for Property Sciences. Mr. Sheaffer has returned to the firm, having started his appraisal career with Property Sciences in Northern California in 2002. Prior to rejoining the company Mr. Sheaffer worked for Colliers International and previously worked for CBRE. Mr. Sheaffer has valued a multitude of property types including, retail, office, multi-family, industrial, residential subdivisions and land. Areas of expertise include valuation of multifamily properties for agency lenders (Fannie Mae, Freddie Mac), retail properties ranging from net leased assets to regional shopping malls, hospitality and lodging properties and retail fuel stations. Mr. Sheaffer is an experienced ARGUS user.

PROFESSIONAL EXPERIENCE

THE PROPERTY SCIENCES GROUP INC., Seattle, WA

An appraisal, research, and consulting services firm focusing on every major category of real estate and most special purpose type properties throughout the United States.

SVP, Managing Director -Commercial Division

5/2020 - Present

Vice President –Regional Manager, Pacific Northwest

10/2016 – 5/2020

COLLIERS INTERNATIONAL, Seattle, WA

Worked on a team focused on valuation of multifamily properties. Assignments included large investment grade properties for agency lending (Fannie Mae, Freddie Mac), student housing, micro-apartments, congregate housing, LIHTC transaction and HUD Rent Comparability Studies.

Senior Valuation Specialist

6/2011-10/2016

CBRE, Seattle, WA & Portland, OR

Worked as a Senior Appraiser for a global real estate services firm, and supervised two trainee appraisers. Assignments were primarily for institutional clients (CMBS market, life insurance & pension companies, and national lenders). Worked on a variety of property types, but with a primary focus on retail properties ranging from single tenant net lease up to regional shopping malls.

Senior Appraiser

7/2006-6/2011

THE PROPERTY SCIENCES GROUP INC., Concord, CA

Started as a trainee working on commercial assignments Upon being licensed, was promoted to supervising, training and reviewing trainee appraisers.

Senior Staff Appraiser (Trainer/Reviewer)

1/2005-6/2006

Associate

9/2002-1/2005

EDUCATION

BS, Bachelor of Science, Business Administration - Emphasis in Marketing Management
California State University, Hayward - College of Business & Economics

2001

PROFESSIONAL LICENSES/AFFILIATIONS

State of Washington – Certified General Appraiser, 1101767 Exp. 6/2022

State of Oregon – Certified General Appraiser, C001276 Exp. 6/2022

State of Idaho - Certified General Appraiser, CGA-3333 Exp. 6/2021

State of California - Certified General Appraiser, AG033878 Exp. 2/2023

Appraisal Institute – MAI Designated Member # 474916



Business, Consumer Services & Housing Agency
BUREAU OF REAL ESTATE APPRAISERS
REAL ESTATE APPRAISER LICENSE

Brant A. Sheaffer

has successfully met the requirements for a license as a residential and commercial real estate appraiser in the State of California and is, therefore, entitled to use the title:

“Certified General Real Estate Appraiser”

This license has been issued in accordance with the provisions of the Real Estate Appraisers' Licensing and Certification Law.

BREA APPRAISER IDENTIFICATION NUMBER: AG 033878

Effective Date: February 15, 2021

Date Expires: February 14, 2023

Loretta Dillon, Deputy Bureau Chief, BREA

3056730

FARES PROFILE

Property Report:

605 W El Camino Real, Sunnyvale, CA 94087

Owner Information

Owner Name: **Judicial Council Of California / Managing Attorney Melvin Kenne**
 Mailing Address: **455 Golden Gate Ave, San Francisco Ca, 94102**
 Phone Number:

Location Information

APN **165-02-004**
 County **Santa Clara**
 Zoning **SU**
 School District **Fremont Un**
 Census Tract **5086.01**
 Tract Number
 Map Page/Grid
 Flood Zone Panel
 Panel Date

Tax Info

Tax Year
 Annual Property Taxes
 Tax Area **09002**
 Total Value
 Land Value
 Improvement Value
 Delinquent Taxes **None**
 % Improved **0 %**
 Legal Description

Property Characteristics

Land Use **COMMERCIAL (NEC)**
 Lot Acres **2.0029**
 Lot SF **87,247**
 Building SF
 Ground Floor Area
 Stories
 Year Built
 Effective Year Built
 Total Rooms
 Bedrooms
 Total Baths

Full Baths
 Half Baths
 Fireplaces
 Cooling Type **Central**
 Heat Type
 Garage Type
 Pool
 Other Rooms

Last Market Sale Information

Recording/Sale Date **07/12/1966 /**
 Sale Price
 Sale Type
 Document # **3086667**
 Deed Type **Deed (Reg)**
 Title Company
 Lender
 Seller Name **Owner Record**

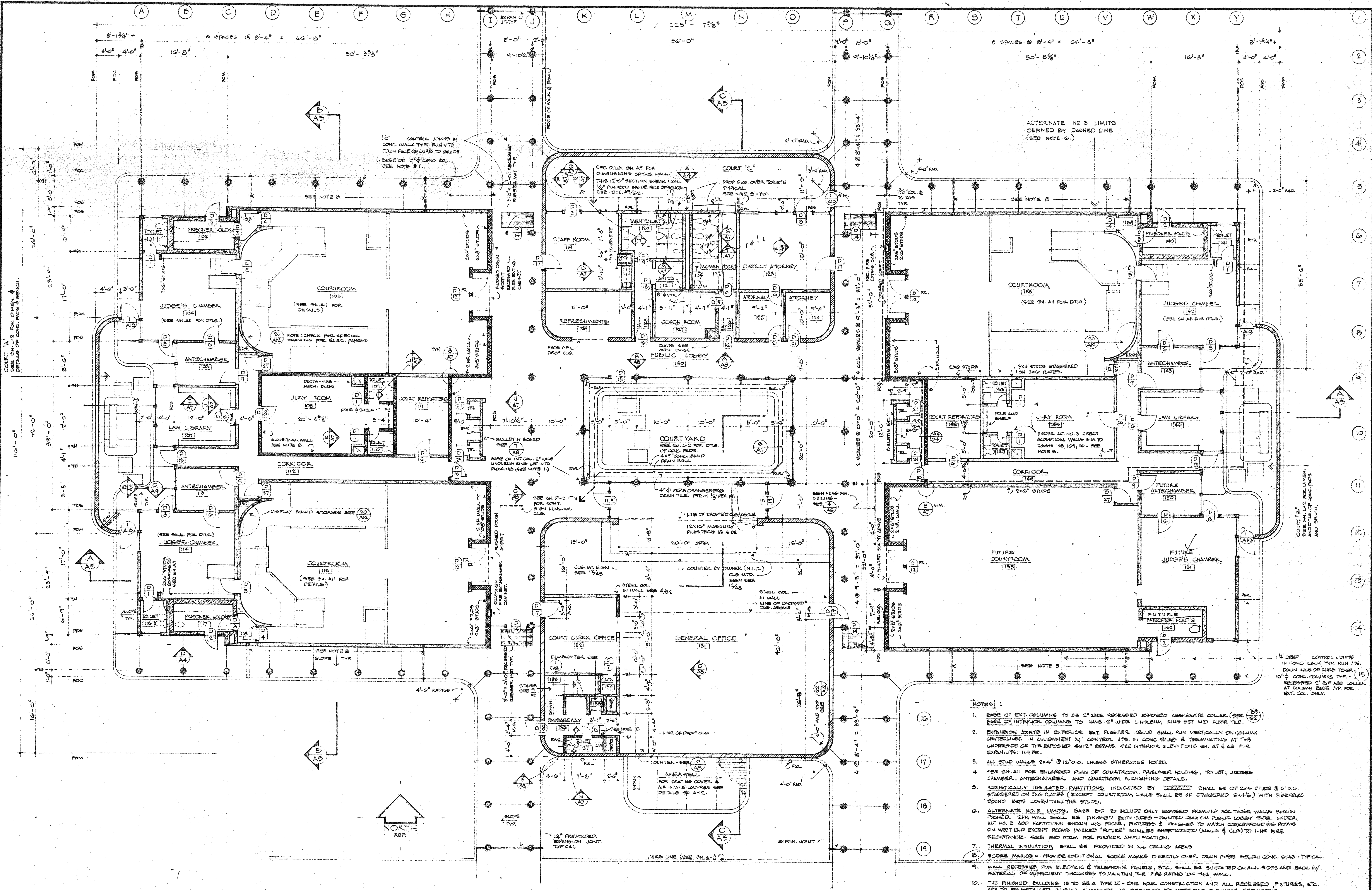
1st Mtg Amount/Type
 1st Mtg In. Rate/Type
 1st Mtg Document #
 2nd Mtg Amount/Type
 2nd Mtg Int. Rate/Type

Prior Sale Information

Recording/Sale Date
 Sale Price
 Prior Document #
 Prior Deed Type

Prior Lender
 1st Mtg. Amount/Type
 1st Mtg. Rate/Type

FLOOR/SITE PLAN



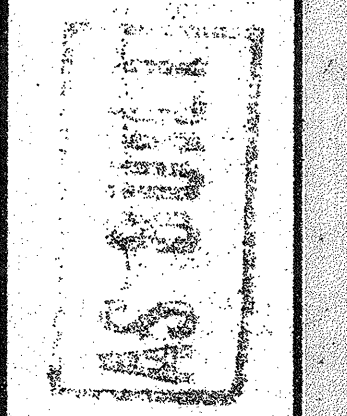
- NOTES:**
1. BASE OF EXT. COLUMNS TO BE 2" WIDE RECESSED EXPOSED AGGREGATE COLLAR (SEE DETAIL 102) BASE OF INTERIOR COLUMNS TO HAVE 2" WIDE LINOLEUM RING SET INTO FLOOR TILE.
 2. EXPANSION JOINTS IN EXTERIOR EXT. PLASTER WALLS SHALL RUN VERTICALLY ON COLUMN CENTERLINES IN ALIGNMENT 'A'. CONTROL JTS. IN CONC. SLAB & TERMINATING AT THIS UNDERSIDE OF THE EXPOSED 4x12" BEAMS. SEE INTERIOR ELEVATIONS SH. AT 64B FOR EXPLAN. JTS. INSIDE.
 3. ALL STUD WALLS 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED.
 4. SEE SH. A11 FOR ENLARGED PLAN OF COURTROOM, PRISONER HOLDING, TOILET, JUDGE'S CHAMBER, ANTECHAMBER, AND COURTROOM FINISHING DETAILS.
 5. ACOUSTICALLY INSULATED PARTITIONS INDICATED BY [HATCH] SHALL BE OF 2x4 STUDS 3/16" O.C. STAGGERED ON 2x6 PLATES (EXCEPT COURTROOM WALLS SHALL BE OF STAGGERED 2x4'S) WITH PARALLEL SOUND BATT WOVEN THRU THE STUDS.
 6. ALTERNATE NO. 3 LIMITS: BASE END TO INCLUDE ONLY EXPOSED FRAMING FOR THOSE WALLS SHOWN RECESSED. 2HR. WALL SHALL BE FINISHED BOTH SIDES - FINISHED ONLY ON PUBLIC LOBBY SIDE. UNDER ALT. NO. 3 ADD PARTITIONS SHOWN W/O RECESSED, FINISHED & FINISHED TO MATCH COORDINATING ROOMS ON WEST END EXCEPT ROOMS MARKED "FUTURE" SHALL BE SHEETROCK (WALLS & CEIL) TO 1-HR. FIRE RESISTANCE. SEE END ROOM FOR FURTHER AMPLIFICATION.
 7. THERMAL INSULATION SHALL BE PROVIDED IN ALL CEILING AREAS.
 8. SCORE MARKS - PROVIDE ADDITIONAL SCORE MARKS DIRECTLY OVER DRAIN PIPES BELOW CONC. SLAB - TYPICAL.
 9. WALL RECESSED FOR ELECTRIC & TELEPHONE PANELS, ETC. SHALL BE SURFACED ON ALL SIDS AND BACK W/ MATERIAL OF SUFFICIENT THICKNESS TO MAINTAIN THE FIRE RATING OF THE WALL.
 10. THE FINISHED BUILDING IS TO BE A TYPE II - ONE HOUR CONSTRUCTION AND ALL RECESSED, FINISHES, ETC. ARE TO BE INSTALLED IN SUCH A MANNER AS REQUIRED TO MEET THIS ONE-HOUR REQUIREMENT.

FLOOR PLAN 1/8" = 1'-0"

FOR BASEMENT FLOOR PLAN AND ADDITIONAL MASONRY DIMENSIONS SEE SHEET 5-2.



JOB NO. 64-132
DATE 3-10-66
DRAWN BY: JMB
CHECKED: AD
APPROVED: WR



WILLIAM W. HEDLEY JR.,
Architect
2113
San Jose, California

SUNNYVALE MUNICIPAL COURT
FOR THE COUNTY OF SANTA CLARA
CIVIC CENTER WAY
SUNNYVALE, CALIFORNIA

PRELIMINARY REPORT



Chicago Title Insurance Company

POLICY NO.: CACTI7743-7743-2980-0098005427-CTIC-2009-05

CLTA STANDARD COVERAGE POLICY OF TITLE INSURANCE

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B AND THE CONDITIONS AND STIPULATIONS, CHICAGO TITLE INSURANCE COMPANY, a Nebraska corporation, herein called the Company, insures, as of Date of Policy shown in Schedule A, against loss or damage, not exceeding the Amount of Insurance stated in Schedule A, sustained or incurred by the insured by reason of:

1. *Title to the estate or interest described in Schedule A being vested other than as stated therein;*
2. *Any defect in or lien or encumbrance on the title;*
3. *Unmarketability of the title;*
4. *Lack of a right of access to and from the land;*

and, in addition, as to an insured lender only:

5. *The invalidity or unenforceability of the lien of the insured mortgage upon the title;*
6. *The priority of any lien or encumbrance over the lien of the insured mortgage, said mortgage being shown in Schedule B in the order of its priority;*
7. *The invalidity or unenforceability of any assignment of the insured mortgage, provided the assignment is shown in Schedule B, or the failure of the assignment shown in Schedule B to vest title to the insured mortgage in the named insured assignee free and clear of all liens.*

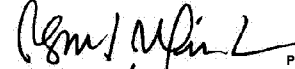
The Company will also pay the costs, attorneys' fees and expenses incurred in defense of the title or the lien of the insured mortgage, as insured, but only to the extent provided in the Conditions and Stipulations.

IN WITNESS WHEREOF, CHICAGO TITLE INSURANCE COMPANY has caused this policy to be signed and sealed by its duly authorized officers.


Countersigned



Chicago Title Insurance Company

BY  President

ATTEST  Secretary

SCHEDULE A

Policy No.: CACTI7743-7743-2980-0098005427-CTIC-2009-05

Amount of Insurance:	\$ 6,400,000.00
Premium:	\$ 5,760.00

Date of Policy: April 6, 2009 at 08:00 AM

1. Name of Insured:

The State of California, on behalf of the Judicial Council of California, Administrative Office of the Courts

2. The estate or interest in the land which is covered by this policy is:

A Fee

3. Title to the estate or interest in the land is vested in:

The State of California, on behalf of the Judicial Council of California, Administrative Office of the Courts

4. The land referred to in this policy is described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

THIS POLICY VALID ONLY IF SCHEDULE B IS ATTACHED

LEGAL DESCRIPTION

EXHIBIT "A"

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SUNNYVALE, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL ONE:

Beginning at the intersection of the Westerly line of Lot D with the Southwesterly line of Civic Center Way (60 feet wide), as said Lot and Way are shown upon that certain Map entitled "Record of Survey" recorded in Book 109 of Maps, at Page 19, in the Office of the Recorder of said County; thence South $14^{\circ} 51' 33''$ West along said Westerly line and its Southerly prolongation, 320.13 feet to a line parallel with and distant 10.00 feet Northerly measured at right angles from the Northerly line of El Camino Real (100 feet wide); thence South $72^{\circ} 04' 15''$ East along said parallel line, 321.78 feet; thence North $14^{\circ} 51' 33''$ East, parallel with said Westerly line of Lot D, 268.80 feet to a line parallel with and distant 22.00 feet Southerly measured at right angles from the Southerly line of said Civic Center Way; thence North $75^{\circ} 08' 47''$ West along last said parallel line, 196.485 feet to the beginning of a tangent curve to the right; thence Northwesterly along said curve having a radius of 212.50 feet, a central angle of $12^{\circ} 56' 19''$ an arc length of 47.99 feet; thence North $14^{\circ} 51' 13''$ East, parallel with said Westerly line of Lot D, 22.64 feet to said Southwesterly line of Civic Center Way; thence Northwesterly along a curve to the right from a tangent bearing of North $60^{\circ} 40' 58''$ West, having a radius of 190.50 feet, a central angle of $26^{\circ} 28' 34''$, an arc length of 88.03 feet to the Point of Beginning.

Excepting therefrom that portion thereof as conveyed to the City of Sunnyvale, A Municipal Corporation by Deed recorded June 21, 1984 in Book I649 at Page 348, Official Records and being more particularly described as follows:

Beginning at the intersection of the Westerly line of Lot D with the Southwesterly line of Civic Center Way, now called All America Way, (60 feet wide), as said Lot and Way are shown on that certain Map entitled "Record of Survey" recorded in Book 109 of Maps, at Page 19, in the Office of the Recorder of Santa Clara County;

thence South $14^{\circ} 51' 33''$ West along said Westerly line and its Southerly prolongation, 320.13 feet to the Northerly line of El Camino Real (120 feet wide);

thence South $72^{\circ} 04' 15''$ East along said Northerly line 69.57 feet;

thence North $14^{\circ} 47' 21''$ East, 285.60 feet to a point on said Southwesterly line of Civic Center Way;

thence from a tangent bearing of North $58^{\circ} 08' 32''$ West along said Southwesterly line through the arc of a curve concave to the northeast having a radius of 190.50 feet, a central angle of $23^{\circ} 56' 08''$ and an arc length of 79.58 feet to the Point of Beginning.

PARCEL TWO:

Beginning at the intersection of the Westerly line of Lot D with the Southwesterly line of Civic Center Way, now called All America Way (60 feet wide), as said Lot and Way are shown on that certain Map entitled "Record of Survey" recorded in Book 109 of Maps, at Page 19, in the Office of the Recorder of Santa Clara County;

thence South $14^{\circ} 51' 33''$ West along said Westerly line and its Southerly prolongation, 320.13 feet to the Northerly line of El Camino Real (120 feet wide);

thence South 72°04'15" East along said Northerly line 321.78 feet to the True Point of Beginning;

thence North 14° 51'33" East 183.20 feet along the Easterly line of that certain real property described in the Deed from the City of Sunnyvale, A Municipal Corporation, to the County of Santa Clara a political subdivision, recorded on July 12, 1966, in Book 7439 of Official Records at Page 620;

thence South 72°04'15" East 118.70 feet along a line parallel to and distant Northerly at right angles 182.94 feet from the Northerly line of El Camino Real (120 feet wide);

thence South 14°51'33" West 183.20 feet to said Northerly line of El Camino Real;

thence North 72°04'15" West along said Northerly line 118.70 feet to the True Point of Beginning.

APN: 165-02-004

SCHEDULE B

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

PART I

All matters set forth in paragraphs 1 through 5 inclusive on the cover of this policy under the caption Part I of Schedule B.

PART II

1. 2009-2010 Taxes not due by the fact that the vestee herein is a Governmental Agency.
2. **The lien of supplemental taxes**, if any, assessed pursuant to the provisions of Chapter 3.5 (Commencing with Section 75) of the Revenue and Taxation code of the State of California.
3. **Easement(s)** for the purpose(s) shown below and rights incidental thereto as reserved in a document;

Reserved by: City of Sunnyvale
Purpose: Ingress and Egress
Recorded: June 21, 1984, Book I649, Page 391, of Official Records
Affects: as follows:

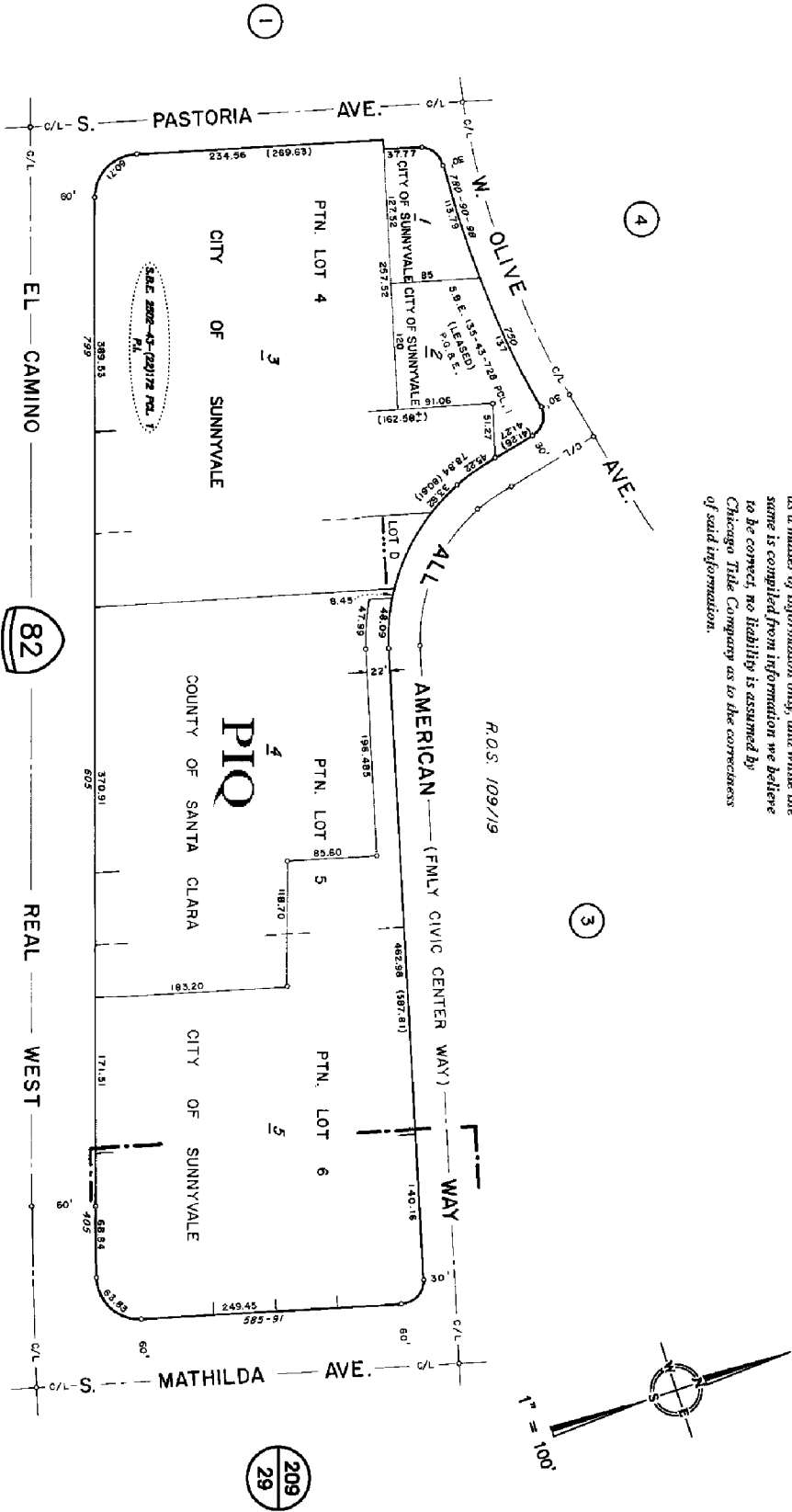
Strip No. 1: The Easterly 22.00 feet of the Westerly 25.00 feet.

Strip No. 2: The Northerly 24.00 feet of the Southerly 76.00 feet, excepting therefrom the Westerly 3.00 feet.

Strip No. 3: The Southerly 24.00 feet of the Northerly 46.00 feet, excepting therefrom the Westerly 3.00 feet

END OF SCHEDULE B

This is not a survey of the land and is inserted as a matter of information only, and while the same is compiled from information we believe to be correct, no liability is assumed by Chicago Title Company as to the correctness of said information.



R.O.S. 524/21
 JAMES T. MURPHY SUBD. N° 1

BK 201

LAWRENCE E. STONE - ASSESSOR
 Certified map for assessment purposes only.
 Compiled under R. & T. Code, Sec. 327
 Effective Roll Year 2008-2007

ENDORSEMENT
Attached to Policy No. CACTI7743-7743-2980-0098005427-CTIC-2009-05
Issued by
Chicago Title Insurance Company

100 Modified

Dated as of the date of the policy to which this endorsement is attached.

The Company hereby insures against loss which the Insured shall sustain by reason of any incorrectness in the following assurances:

- (1) That there are no covenants, conditions or restrictions containing express provisions which will cause a forfeiture or reversion of title, unless same also provide that a violation thereof shall not defeat the lien of a mortgage or deed of trust made in good faith and for value;
- (2) That there are no present violations on said land of any enforceable covenants, conditions or restrictions;
- (3) That, except as shown in Schedule B, there are no encroachments onto said land of buildings, structures or improvements located on adjoining land; and
- (4) That there is no right to use the surface of the land for the extraction or development of the minerals excepted from the description of said land or shown as a reservation in Schedule B.

Wherever in this endorsement any or all of the words "covenants, conditions or restrictions" appear, they shall not be deemed to refer to or include the terms, covenants and conditions contained in any lease.

As used in this endorsement, the words "covenants, conditions or restrictions" do not refer to or include any covenant, condition or restriction (a) relating to obligations of any type to perform maintenance, repair or remediation on the land, or (b) pertaining to environmental protection of any kind or nature, including hazardous or toxic matters, conditions or substances except to the extent that a notice of a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy and is not excepted in Schedule B.

This endorsement is made a part of the policy and is subject to all of the terms and provisions thereof and of any prior endorsements thereto. Except to the extent expressly stated it neither modifies any of the terms and provisions of the policy and any prior endorsements, nor does it extend the effective date of the policy and any prior endorsements, nor does it increase the face amount thereof.

Dated: April 6, 2009



Chicago Title Insurance
Company

Sam T. Merani
Countersigned

ENDORSEMENT
Attached to Policy No. CACTI7743-7743-2980-0098005427-CTIC-2009-05
Issued by
Chicago Title Insurance Company

103.1A Modified

Dated as of the date of the policy to which this endorsement is attached.

The Company hereby insures the Insured against loss resulting from the following:

1. Damage to the existing improvements, including lawns, shrubbery and trees, on the land;
2. Interference with the continuing use, as presently utilized, of the existing improvements on the land, occasioned by the exercise of the right to use or maintain the easement referred to in paragraph 3 of Schedule B.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

Dated: April 6, 2009



Chicago Title Insurance
Company

Anthony T. Meroni
Countersigned

ENDORSEMENT

Attached to Policy No. CACTI7743-7743-2980-0098005427-CTIC-2009-05

Issued by

Chicago Title Insurance Company

The Company hereby insures the insured against loss or damage which the insured shall sustain by reason of the failure of the land to abut upon a physically open street known as El Camino Real West aka West El Camino Real.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

Dated: April 6, 2009



Chicago Title Insurance
Company

Sam T. Merri
Countersigned

ENDORSEMENT

Attached to Policy No. CACTI7743-7743-2980-0098005427-CTIC-2009-05

Issued by

Chicago Title Insurance Company

116 - Modified for Owner's Policy

The Company hereby insures the insured against loss or damage which the insured shall sustain by reason of the failure of (i) a commercial building known as 605 West El Camino Real, aka El Camino Real West, Sunnyvale, CA, to be located on the land at Date of Policy, or (ii) the map attached to correctly show the location and dimensions of the land according to the public records.

This endorsement is made a part of the policy and is subject to all of the terms and provisions thereof and of any prior endorsements thereto. Except to the extent expressly stated, it neither modifies any of the terms and provisions of the policy and any prior endorsements, nor does it extend the effective date of the policy and any prior endorsements, nor does it increase the face amount thereof.

Dated: April 6, 2009



Chicago Title Insurance
Company

Sam T. Merri
Countersigned

ENDORSEMENT

Attached to Policy No. CACTI7743-7743-2980-0098005427-CTIC-2009-05

Issued by

Chicago Title Insurance Company

Contiguity

The Company insures against loss or damage sustained by the insured by reason of:

(1) the failure of the lots described in Schedule A to be contiguous as follows:

A portion of the Easterly line of Parcel One is contiguous to the Westerly line of Parcel Two; or

(2) the presence of any gaps, strips or gores separating the contiguous Parcel described above.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and any prior endorsements.

Dated: April 6, 2009



Chicago Title Insurance
Company

Anthony J. Marini
Countersigned

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

1. (a) Any law, ordinance or governmental regulation (including but not limited to building or zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating to (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land, (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
- (b) Any governmental police power not excluded by (a) above, except to the extent that notice of the exercise thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
3. Defects, liens, encumbrances, adverse claims, or other matters:
 - (a) whether or not recorded in the public records at Date of Policy, but created, suffered, assumed or agreed to by the insured claimant;
 - (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy;
 - (c) resulting in no loss or damage to the insured claimant;
 - (d) attaching or created subsequent to Date of Policy; or
 - (e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the insured mortgage or for the estate or interest insured by this policy.
4. Unenforceability of the lien of the insured mortgage because of the inability or failure of the insured at Date of Policy, or the inability or failure of any subsequent owner of the indebtedness, to comply with applicable doing business laws of the state in which the land is situated.
5. Invalidity or unenforceability of the lien of the insured mortgage, or claim thereof, which arises out of the transaction evidenced by the insured mortgage and is based upon usury or any consumer credit protection or truth in lending law.
6. Any claim, which arises out of the transaction vesting in the insured the estate or interest insured by this policy or the transaction creating the interest of the insured lender, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws.

CONDITIONS AND STIPULATIONS

1. DEFINITION OF TERMS

The following terms when used in this policy mean:

(a) "insured": the insured named in Schedule A, and, subject to any rights or defenses the Company would have had against the named insured, those who succeed to the interest of the named insured by operation of law as distinguished from purchase including, but not limited to, heirs, distributees, devisees, survivors, personal representatives, next of kin, or corporate or fiduciary successors. The term "insured" also includes

(i) the owner of the indebtedness secured by the insured mortgage and each successor in ownership of the indebtedness except a successor who is an obligor under the provisions of Section 12(c) of these Conditions and Stipulations (reserving, however, all rights and defenses as to any successor that the Company would have had against any predecessor insured, unless the successor acquired the indebtedness as a purchaser for value without knowledge of the asserted defect, lien, encumbrance, adverse claim or other matter insured against by this policy as affecting title to the estate or interest in the land);

(ii) any governmental agency or governmental instrumentality which is an insurer or guarantor under an insurance contract or guaranty insuring or guaranteeing the indebtedness secured by the insured mortgage, or any part thereof, whether named as an insured herein or not;

(iii) the parties designated in Section 2(a) of these Conditions and Stipulations.

(b) "insured claimant": an insured claiming loss or damage.

(c) "insured lender": the owner of an insured mortgage.

(d) "insured mortgage": a mortgage shown in Schedule B, the owner of which is named as an insured in Schedule A.

(e) "knowledge" or "known": actual knowledge, not constructive knowledge or notice which may be imputed to an insured by reason of the public records as defined in this policy or any other records which impart constructive notice of matters affecting the land.

(f) "land": the land described, or referred to in Schedule A, and improvements affixed thereto which by law constitute real property. The term "land" does not include any property beyond the lines of the area described or referred to in Schedule A, nor any right, title, interest, estate or easement in abutting streets, roads, avenues, alleys, lanes, ways or waterways, but nothing herein shall modify or limit the extent to which a right of access to and from the land is insured by this policy.

(g) "mortgage": mortgage, deed of trust, trust deed, or other security instrument.

(h) "public records": records established under state statutes at Date of Policy for the purpose of imparting constructive

notice of matters relating to real property to purchasers for value and without knowledge.

(i) "unmarketability of the title": an alleged or apparent matter affecting the title to the land, not excluded or excepted from coverage, which would entitle a purchaser of the estate or interest described in Schedule A or the insured mortgage to be released from the obligation to purchase by virtue of a contractual condition requiring the delivery of marketable title.

2. CONTINUATION OF INSURANCE

(a) **After Acquisition of Title by Insured Lender.** If this policy insures the owner of the indebtedness secured by the insured mortgage, the coverage of this policy shall continue in force as of Date of Policy in favor of (i) such insured lender who acquires all of any part of the estate or interest in the land by foreclosure, trustee's sale, conveyance in lieu of foreclosure, or other legal manner which discharges the lien of the insured mortgage; (ii) a transferee of the estate or interest so acquired from an insured corporation, provided the transferee is the parent or wholly-owned subsidiary of the insured corporation, and their corporate successors by operation of law and not by purchase, subject to any rights or defenses the Company may have against any predecessor insureds; and (iii) any governmental agency or governmental instrumentality which acquires all or any part of the estate or interest pursuant to a contract of insurance or guaranty insuring or guaranteeing the indebtedness secured by the insured mortgage.

(b) **After Conveyance of Title by an Insured.** The coverage of this policy shall continue in force as of Date of Policy in favor of an insured only so long as the insured retains an estate or interest in the land, or holds an indebtedness secured by a purchase money mortgage given by a purchaser from the insured, or only so long as the insured shall have liability by reason of covenants or warranty made by the insured in any transfer or conveyance of the estate or interest. This policy shall not continue in force in favor of any purchaser from an insured of either (i) an estate or interest in the land, or (ii) an indebtedness secured by a purchase money mortgage given to an insured.

(c) **Amount of Insurance.** The amount of insurance after the acquisition or after the conveyance by an insured lender shall in neither event exceed the least of:

(i) the amount of insurance stated in Schedule A;

(ii) the amount of the principal of the indebtedness secured by the insured mortgage as of Date of Policy, interest thereon, expenses of foreclosure, amounts advanced pursuant to the insured mortgage to assure compliance with laws or to protect the lien of the insured mortgage prior to the time of acquisition of the estate or interest in the land and secured thereby and reasonable amounts expended to prevent deterioration of

improvements, but reduced by the amount of all payments made; or

(iii) the amount paid by any governmental agency or governmental instrumentality, if the agency or instrumentality is the insured claimant, in the acquisition of the estate or interest in satisfaction of its insurance contract or guaranty.

3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT

An insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in 4(a) below, (ii) in case knowledge shall come to an insured hereunder of any claim of title or interest which is adverse to the title to the estate or interest or the lien of the insured mortgage, as insured, and which might cause loss or damage for which the Company may be liable by virtue of this policy, or (iii) if title to the estate or interest or the lien of the insured mortgage, as insured, is rejected as unmarketable. If prompt notice shall not be given to the Company, then as to that insured all liability of the Company shall terminate with regard to the matter or matters for which prompt notice is required; provided, however, that failure to notify the Company shall in no case prejudice the rights of any insured under this policy unless the Company shall be prejudiced by the failure and then only to the extent of the prejudice.

4. DEFENSE AND PROSECUTION OF ACTIONS; DUTY OF INSURED CLAIMANT TO COOPERATE

(a) Upon written request by an insured and subject to the options contained in Section 6 of these Conditions and Stipulations, the Company, at its own cost and without unreasonable delay, shall provide for the defense of such insured in litigation in which any third party asserts a claim adverse to the title or interest as insured, but only as to those stated causes of action alleging a defect, lien or encumbrance or other matter insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of such insured to object for reasonable cause) to represent the insured as to those stated causes of action and shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs or expenses incurred by an insured in the defense of those causes of action which allege matters not insured against by this policy.

(b) The Company shall have the right, at its own cost, to institute and prosecute any action or proceeding or to do any other act which in its opinion may be necessary or desirable to establish the title to the estate or interest or the lien of the insured mortgage, as insured, or to prevent or reduce loss or damage to an insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable hereunder, and shall not thereby concede liability or waive any provision of

this policy. If the Company shall exercise its rights under this paragraph, it shall do so diligently.

(c) Whenever the Company shall have brought an action or interposed a defense as required or permitted by the provisions of this policy, the Company may pursue any litigation to final determination by a court of competent jurisdiction and expressly reserves the right, in its sole discretion, to appeal from any adverse judgment or order.

(d) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding, an insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, and all appeals therein, and permit the Company to use, at its option, the name of such insured for this purpose. Whenever requested by the Company, an insured, at the Company's expense, shall give the Company all reasonable aid (i) in any action or proceeding, securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and (ii) in any other lawful act which in the opinion of the Company may be necessary or desirable to establish the title to the estate or interest or the lien of the insured mortgage, as insured. If the Company is prejudiced by the failure of an insured to furnish the required cooperation, the Company's obligations to such insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.

5. PROOF OF LOSS OR DAMAGE

In addition to and after the notices required under Section 3 of these Conditions and Stipulations have been provided the Company, a proof of loss or damage signed and sworn to by each insured claimant shall be furnished to the Company within 90 days after the insured claimant shall ascertain the facts giving rise to the loss or damage. The proof of loss or damage shall describe the defect in, or lien or encumbrance on the title, or other matter insured against by this policy which constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage. If the Company is prejudiced by the failure of an insured claimant to provide the required proof of loss or damage, the Company's obligations to such insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such proof of loss or damage.

In addition, an insured claimant may reasonably be required to submit to examination under oath by any authorized representative of the Company and shall produce for examination, inspection and copying, at such reasonable times and places as may be designated by any authorized representative of the Company, all records, books, ledgers, checks, correspondence and memoranda, whether bearing a date before or after Date of Policy, which reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the insured claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect and copy all records, books, ledgers, checks, correspondence and memoranda in the custody or control of a third party, which reasonably pertain to the loss or damage. All information designated as confidential by an insured claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of an insured claimant to submit for examination under oath, produce other reasonably requested information or grant permission to secure reasonably necessary information from third parties as required in this paragraph, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this policy as to that insured for that claim.

6. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY

In case of a claim under this policy, the Company shall have the following additional options:

(a) To Pay or Tender Payment of the Amount of Insurance or to Purchase the Indebtedness.

(i) to pay or tender payment of the amount of insurance under this policy together with any costs, attorneys' fees and expenses incurred by the insured claimant, which were authorized by the Company, up to the time of payment or tender of payment and which the Company is obligated to pay; or

(ii) in case loss or damage is claimed under this policy by the owner of the indebtedness secured by the insured mortgage, to purchase the indebtedness secured by the insured mortgage for the amount owing thereon together with any costs, attorneys' fees and expenses incurred by the insured claimant which were authorized by the Company up to the time of purchase and which the Company is obligated to pay.

If the Company offers to purchase the indebtedness as herein provided, the owner of the indebtedness shall transfer, assign, and

convey the indebtedness and the insured mortgage, together with any collateral security, to the Company upon payment therefore.

Upon the exercise by the Company of the option provided for in paragraph a(i), all liability and obligations to the insured under this policy, other than to make the payment required in that paragraph, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, and the policy shall be surrendered to the Company for cancellation.

Upon the exercise by the Company of the option provided for in paragraph a(ii) the Company's obligation to an insured Lender under this policy for the claimed loss or damage, other than the payment required to be made, shall terminate, including any liability or obligation to defend, prosecute or continue any litigation.

(b) To Pay or Otherwise Settle With Parties Other than the Insured or With the Insured Claimant.

(i) to pay or otherwise settle with other parties for or in the name of an insured claimant any claim insured against under this policy, together with any costs, attorneys' fees and expenses incurred by the insured claimant which were authorized by the Company up to the time of payment and which the Company is obligated to pay; or

(ii) to pay or otherwise settle with the insured claimant the loss or damage provided for under this policy, together with any costs, attorneys' fees and expenses incurred by the insured claimant which were authorized by the Company up to the time of payment and which the Company is obligated to pay.

Upon the exercise by the Company of either of the options provided for in paragraphs b(i) or b(ii), the Company's obligations to the insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute or continue any litigation.

7. DETERMINATION AND EXTENT OF LIABILITY

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the insured claimant who has suffered loss or damage by reason of matters insured against by this policy and only to the extent herein described.

(a) The liability of the Company under this policy to an insured lender shall not exceed the least of:

(i) the Amount of Insurance stated in Schedule A, or, if applicable, the amount of insurance as defined in Section 2(c) of these Conditions and Stipulations;

(ii) the amount of the unpaid principal indebtedness secured by the insured mortgage as limited or provided under Section 8 of these Conditions and Stipulations or as reduced under Section 9 of these Conditions and Stipulations, at the time the loss or damage insured against by this policy occurs, together with interest thereon; or

(iii) the difference between the value of the insured estate or interest as insured and the value of the insured estate or interest subject to the defect, lien or encumbrance insured against by this policy.

(b) In the event the insured lender has acquired the estate or interest in the manner described in Section 2(a) of these Conditions and Stipulations or has conveyed the title, then the liability of the Company shall continue as set forth in Section 7(a) of these Conditions and Stipulations.

(c) The liability of the Company under this policy to an insured owner of the estate or interest in the land described in Schedule A shall not exceed the least of:

(i) the Amount of the Insurance stated in Schedule A; or,

(ii) the difference between the value of the insured estate or interest as insured and the value of the insured estate or interest subject to the defect, lien or encumbrance insured against by this policy.

(d) The Company will pay only those costs, attorneys' fees and expenses incurred in accordance with Section 4 of these Conditions and Stipulations.

8. LIMITATION OF LIABILITY

(a) If the Company establishes the title, or removes the alleged defect, lien or encumbrance, or cures the lack of a right of access to or from the land, or cures the claim of unmarketability of title, or otherwise establishes the lien of the insured mortgage, all as insured, in a reasonably diligent manner by any method, including litigation and the completion of any appeals therefrom, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused thereby.

(b) In the event of any litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals therefrom, adverse to the title, or, if applicable, to the lien of the insured mortgage, as insured.

(c) The Company shall not be liable for loss or damage to any insured for liability voluntarily assumed by the insured in

settling any claim or suit without the prior written consent of the Company.

(d) The Company shall not be liable to an insured lender for: (i) any indebtedness created subsequent to Date of Policy except for advances made to protect the lien of the insured mortgage and secured thereby and reasonable amounts expended to prevent deterioration of improvements; or (ii) construction loan advances made subsequent to Date of Policy, except construction loan advances made subsequent to Date of Policy for the purpose of financing in whole or in part the construction of an improvement to the land which at Date of Policy were secured by the insured mortgage and which the insured was and continued to be obligated to advance at and after Date of Policy.

9. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY

(a) All payments under this policy, except payments made for costs, attorneys' fees and expenses, shall reduce the amount of insurance pro tanto. However, as to an insured lender, any payments made prior to the acquisition of title to the estate or interest as provided in Section 2(a) of these Conditions and Stipulations shall not reduce pro tanto the amount of insurance afforded under this policy as to any such insured, except to the extent that the payments reduce the amount of the indebtedness secured by the insured mortgage.

(b) Payment in part by any person of the principal of the indebtedness, or any other obligation secured by the insured mortgage, or any voluntary partial satisfaction or release of the insured mortgage, to the extent of the payment, satisfaction or release, shall reduce the amount of insurance pro tanto. The amount of insurance may thereafter be increased by accruing interest and advances made to protect the lien of the insured mortgage and secured thereby, with interest thereon, provided in no event shall the amount of insurance be greater than the Amount of Insurance stated in Schedule A.

(c) Payment in full by any person or the voluntary satisfaction or release of the insured mortgage shall terminate all liability of the Company to an insured lender except as provided in Section 2(a) of these Conditions and Stipulations.

10. LIABILITY NONCUMULATIVE

It is expressly understood that the amount of insurance under this policy shall be reduced by any amount the Company may pay under any policy insuring a mortgage to which exception is taken in Schedule B or to which the insured has agreed, assumed, or taken subject, or which is hereafter executed by an insured and which is a charge or lien on the estate or interest described or referred to in Schedule A, and the amount so paid shall be deemed a payment under this policy to the insured owner.

The provisions of this Section shall not apply to an insured lender, unless such insured acquires title to said estate or interest in satisfaction of the indebtedness secured by an insured mortgage.

11. PAYMENT OF LOSS

(a) No payment shall be made without producing this policy for endorsement of the payment unless the policy has been lost or destroyed, in which case proof of loss or destruction shall be furnished to the satisfaction of the Company.

(b) When liability and the extent of loss or damage has been definitely fixed in accordance with these Conditions and Stipulations, the loss or damage shall be payable within 30 days thereafter.

12. SUBROGATION UPON PAYMENT OR SETTLEMENT

(a) The Company's Right of Subrogation.

Whenever the Company shall have settled and paid a claim under this policy, all right of subrogation shall vest in the Company unaffected by any act of the insured claimant.

The Company shall be subrogated to and be entitled to all rights and remedies which the insured claimant would have had against any person or property in respect to the claim had this policy not been issued. If requested by the Company, the insured claimant shall transfer to the Company all rights and remedies against any person or property necessary in order to perfect this right of subrogation. The insured claimant shall permit the Company to sue, compromise or settle in the name of the insured claimant and to use the name of the insured claimant in any transaction or litigation involving these rights or remedies.

If a payment on account of a claim does not fully cover the loss of the insured claimant, the Company shall be subrogated (i) as to an insured owner, to all rights and remedies in the proportion which the Company's payment bears to the whole amount of the loss; and (ii) as to an insured lender, to all rights and remedies of the insured claimant after the insured claimant shall have recovered its principal, interest, and costs of collection.

If loss should result from any act of the insured claimant, as stated above, that act shall not void this policy, but the Company, in that event, shall be required to pay only that part of any losses insured against by this policy which shall exceed the amount, if

any, lost to the Company by reason of the impairment by the insured claimant of the Company's right of subrogation.

(b) The Insured's Rights and Limitations.

Notwithstanding the foregoing, the owner of the indebtedness secured by an insured mortgage, provided the priority of the lien of the insured mortgage or its enforceability is not affected, may release or substitute the personal liability of any debtor or guarantor, or extend or otherwise modify the terms of payment, or release a portion of the estate or interest from the lien of the insured mortgage, or release any collateral security for the indebtedness.

When the permitted acts of the insured claimant occur and the insured has knowledge of any claim of title or interest adverse to the title to the estate or interest or the priority or enforceability of the lien of an insured mortgage, as insured, the Company shall be required to pay only that part of any losses insured against by this policy which shall exceed the amount, if any, lost to the Company by reason of the impairment by the insured claimant of the Company's right of subrogation.

(c) The Company's Rights Against Non-insured Obligors.

The Company's right of subrogation against non-insured obligors shall exist and shall include, without limitation, the rights of the insured to indemnities, guaranties, other policies of insurance or bonds, notwithstanding any terms or conditions contained in those instruments which provide for subrogation rights by reason of this policy.

The Company's right of subrogation shall not be avoided by acquisition of an insured mortgage by an obligor (except an obligor described in Section 1(a)(ii) of these Conditions and

Stipulations) who acquires the insured mortgage as a result of an indemnity, guarantee, other policy of insurance, or bond and the obligor will not be insured under this policy, notwithstanding Section 1(a)(i) of these Conditions and Stipulations.

13. ARBITRATION

Unless prohibited by applicable law, either the Company or the insured may demand arbitration pursuant to the Title Insurance Arbitration Rules of the American Arbitration Association. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the insured arising out of or relating to this policy, any service of the Company in connection with its issuance or the breach of a policy provision or other obligation. All arbitrable matters when the Amount of Insurance is \$1,000,000 or less shall be arbitrated at the option of either the Company or the insured. All arbitrable matters when the Amount of Insurance is in excess of \$1,000,000 shall be arbitrated only when agreed to by both the Company and the insured. Arbitration pursuant to this policy and under the Rules in effect on the date the demand for arbitration is made or, at the option of the insured, the Rules in effect at Date of Policy shall be binding upon the parties. The award may include attorneys' fees only if the laws of the state in which the land is located permit a court to award attorneys' fees to a prevailing party. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court having jurisdiction thereof.

The law of the situs of the land shall apply to an arbitration under the Title Insurance Arbitration Rules.

A copy of the Rules may be obtained from the Company upon request.

14. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT

(a) This policy together with all endorsements, if any, attached hereto by the Company is the entire policy and contract between the insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.

(b) Any claim of loss or damage, whether or not based on negligence, and which arises out of the status of the lien of the insured mortgage or of the title to the estate or interest covered hereby or by any action asserting such claim, shall be restricted to this policy.

(c) No amendment of or endorsement to this policy can be made except by a writing endorsed hereon or attached hereto signed by either the President, a Vice President, the Secretary, and Assistant Secretary, or validating officer or authorized signatory of the Company.

15. SEVERABILITY

In the event any provision of the policy is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision and all other provisions shall remain in full force and effect.

16. NOTICES, WHERE SENT

All notices required to be given the Company and any statement in writing required to be furnished the Company shall include the number of this policy and shall be addressed to the Company at:

Chicago Title Insurance Company
P.O. Box 45023
Jacksonville, FL 32232-5023
Attn: Claims Department

**SCHEDULE B
EXCEPTIONS FROM COVERAGE**

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

PART I

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records. Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
2. Any facts, rights, interests or claims which are not shown by the public records but which could be ascertained by an inspection of the land or which may be asserted by persons in possession thereof.
3. Easements, liens or encumbrances, or claims thereof, which are not shown by the public records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.

An aerial photograph of a large, modern courthouse complex. The building is a long, multi-story structure with a flat roof, surrounded by numerous trees and landscaped areas. A road with multiple lanes runs along the left side of the building. The entire image is overlaid with a semi-transparent blue filter.

APPENDIX

A.2 Option 1 – 3-Page Estimate,
New Sixth Appellate District Courthouse

**JUDICIAL COUNCIL OF CALIFORNIA
PROJECT COST SUMMARY**

PROJECT:	NEW SIXTH APPELLATE DISTRICT COURTHOUSE		
COURT:	Sixth Appellate District	EST. / PROJ. CCCI:	8903 / 8903
DESIGN BY:		DATE ESTIMATED:	5/05/2022
PROJECT MGR:	Kim Bobic	PREPARED BY:	JS/KB
TEMPLATE:	Design Build	DOF PROJ. I.D. NO.:	

DESCRIPTION

The project will provide construction of a new two-story appellate courthouse of approximately 50,000 square feet on an existing 2.03-acre, state-owned property in the city of Sunnyvale. The project will demolish the existing one-story facility (including basement) and construct the new courthouse in the same general building footprint. The project includes 17 secured parking spaces for justices with solar power generation capability and approximately 60 surface parking spaces for public and staff. The project will replace the Sixth Appellate District's current leased facility.

ESTIMATE SUMMARY

DIRECT COST

Demolition of existing facility	\$1,826,000
New facility construction	\$47,723,000

ESTIMATED TOTAL CURRENT COSTS:

\$49,549,000

Adjust CCCI From 8903 to 8903	\$0
Escalation to Start of Construction 46 Months @ 0.42% / Mo.:	\$9,572,900
Escalation to Mid Point 16.0 Months @ 0.42% / Mo.:	\$3,329,700

ESTIMATED TOTAL CONSTRUCTION COSTS:

\$62,451,600

INDIRECT COSTS

Architectural & Engineering Fees @ 7%	\$4,372,000
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ESTIMATED TOTAL INDIRECT COSTS:

\$4,372,000

ESTIMATED TOTAL CONTRACTS:

\$66,823,600

Judicial Council Contingency @ 3%	\$2,004,700
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ESTIMATED TOTAL CONSTRUCTION COST AND CONTINGENCY:

\$68,828,300

**SUMMARY OF COSTS
BY PHASE**

PROJECT:	NEW SIXTH APPELLATE DISTRICT COURTHOUSE	CONSTRUCTION DURATION:	32 Months
COURT:	Sixth Appellate District	ESTIMATED CONTRACT:	\$66,823,600
DATE ESTIMATED:	5/05/2022	JUDICIAL COUNCIL CONTINGENCY:	\$2,004,700
PREPARED BY:	JS/KB	TOTAL:	\$68,828,300

CATEGORY	ACQUISITION STUDY	PERFORMANCE CRITERIA	DESIGN / BUILD	TOTAL
SITE ACQUISITION COSTS				
Purchase Price (land)				
Property/Title/Escrow/Appraisals		\$66,800		\$66,800
Site Acquisition Relocate Benefits				
Prop Maintenance (Pre-Construction)				
Real Estate Broker		\$66,800		\$66,800
Environmental Phase I & II				
Site Readiness Demolition				
Site Readiness A/E Services		\$233,900		\$233,900
Site Readiness Hazmat Survey & Mitigation		\$167,100		\$167,100
SUBTOTAL SITE ACQUISITION COSTS		\$534,600		\$534,600
A/E SERVICES				
Criteria Architect/Engineer		\$751,800	\$250,600	\$1,002,400
Pre-GMP Services (DBE)			\$2,338,800	\$2,338,800
Project Inspection (IOR)			\$835,300	\$835,300
SUBTOTAL A&E SERVICES		\$751,800	\$3,424,700	\$4,176,500
OTHER PROJECT COSTS				
Special Consultants		\$26,700	\$106,900	\$133,600
Materials Testing & Special Inspection			\$400,900	\$400,900
Prog & Project Management		\$451,100	\$1,052,500	\$1,503,600
Construction Management		\$534,600	\$2,138,400	\$2,673,000
Constructability/Value Review			\$66,800	\$66,800
Commissioning			\$267,300	\$267,300
CEQA/Due Diligence/Mitigation/Doc/Invest		\$233,900	\$100,200	\$334,100
Geo Services and Land Surveying		\$167,100		\$167,100
Bd of State & Comm Correct (BSCC)				
Division of State Arch (DSA)			\$66,800	\$66,800
State Fire Marshal (SFM)			\$267,300	\$267,300
Peer Review			\$133,600	\$133,600
Plan Checking			\$167,100	\$167,100
Legal Services			\$167,100	\$167,100
OCIP Insurance			\$1,837,600	\$1,837,600
Integrated Network			\$1,670,600	\$1,670,600
Furniture Fixture & Equip (FFE)			\$2,004,700	\$2,004,700
Utility Connect/Fees/Other			\$267,300	\$267,300
Moving & Relocation Expenses				
Post-Occupancy Eval			\$100,200	\$100,200
SUBTOTAL OTHER PROJECT COSTS		\$1,413,400	\$10,815,300	\$12,228,700
TOTAL ESTIMATED PROJECT COST	\$0	\$2,699,800	\$83,068,300	\$85,768,100
LESS FUNDS TRANSFERRED	\$0	\$0	\$0	\$0
LESS FUNDS AVAILABLE NOT TRANSFERRED	\$0	\$0	\$0	\$0
CARRY OVER	\$0	\$0	\$2,699,800	
BALANCE OF FUNDS REQUIRED	\$0	\$2,699,800	\$85,768,100	\$85,768,100
BALANCE OF FUNDS REQUIRED (ROUNDED)	\$0	\$2,700,000	\$85,768,000	\$85,768,000

FUNDING DATA & ESTIMATE NOTES

PROJECT: NEW SIXTH APPELLATE DISTRICT COURTHOUSE DATE ESTIMATED: 5/05/2022
 LOCATION: Sixth Appellate District PREPARED BY: JS/KB

FUNDING DATA

	<u>Chapter / Item</u>	<u>Phase</u>	<u>Amount</u>	<u>Totals</u>
Funds Transferred				
Total Funds Transferred				_____
Funds Available Not Transferred				
Total Funds Available Not Transferred				_____
Total Funds Available and Transferred				_____ \$0

ESTIMATE NOTES

- The construction costs in this estimate are indexed from the CCCI Index as of the date of estimate preparation to the CCCI index that is current as of MAY, 2022. Additionally, the project was escalated from the current CCCI of 8903 to an estimated construction start date 46 months in the future. The project estimate is then escalated for 16.0 months to an assumed midpoint of construction.

An aerial photograph of a large, modern courthouse complex. The building is a long, multi-story structure with a flat roof, surrounded by numerous trees and landscaped areas. A road with multiple lanes is visible on the left side of the image. The entire scene is overlaid with a semi-transparent blue filter.

APPENDIX

A.3

Option 1 – Cost Estimate Detail,
New Sixth Appellate District Courthouse

Court of Appeal Sixth Appellate District

Sunnyvale Courthouse Site Feasibility Study Cost Plan

PROJECT NO. E6429.110

MOORE RUBLE YUDELL
933 Pico Blvd.
Santa Monica, California 90405



NEW COURTHOUSE FEASIBILITY STUDY COST PLAN

Court of Appeal, Sixth Appellate District
Sunnyvale Courthouse Site

moore ruble yudell 933 pico blvd., santa monica , ca 90405

May 5, 2022

Project No:E6429.110

Report by **MGAC**

Analyn Apan | 213-417-7534 | aapan@mgac.com



New Courthouse Feasibility Study Cost Plan

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Basis of Cost Plan	2
Project Budget Allocation	3
Overall Summary	8
Detailed Cost Summary	9
Core & Shell	12
Interior Construction	22
Demolition	31
Sitework	34
Perimeter Street Improvements	39



New Courthouse Feasibility Study Cost Plan

Project Key Data

Description	Data	Factors / Comments .
Construction Budget Target		
Project Budget Target		
Funding Source		
Soft Cost Allowances		<i>(% of Construction Costs) For Owner Verification</i>
Program Size	35,255 ASF	
Gross Floor Area	50,000 GSF	
Project Location	Sunnyvale, CA	
Project Nature	Greenfield .	
Project Classification	New Construction .	
Demolition	Included .	
Phasing Issues	No.	
Construction Start		
Phase 1	February-26	
Phase 2	February-27	
Construction Duration	32 Months	
Procurement	Design and Build	<i>Includes Pre-Qualification Process</i>
General Conditions	7%	<i>% of Direct Cost of Work</i>
General Requirements	4%	<i>% of Trade Costs</i>
Contingency Management		
Design / Estimate	12.00%	<i>Included in Construction Cost- to be managed by Owner (up to Bridging Phase only)</i>
Construction	3%	<i>Included in Construction Cost- to be managed by Construction team</i>
Owner		<i>Included in Project Costs</i>

Documents / Drawings

Space Program Matrix dated April 15, 2022
Existing Santa Clara Courthouse Site Plan
4th Appellate District - Santa Ana 50% Construction Documents Drawings (Reference Only)

Schedule

The cost plan assumes a construction start date of February 2026 with a construction duration of 32 months.

Assumptions / Clarifications

The Cost Plan is based on the following assumptions:

- The contract will be competitively bid using Progressive Design and Build procurement method
- The contract will be competitively bid with qualified general and main subcontractors based on 2-phase
- The contractor will be required to pay the prevailing wage

The Cost Plan Excludes the following:

- Financing and legal fees
- MEP systems - including: -
 - Independent 3rd Party MEP commissioning
 - Water recycling systems
 - Utility connection charges & fees

Market Condition

All estimated construction costs are based on current unit rates and market conditions. MGAC is referencing the CCCI for the following annual rates of escalation to cover anticipated increases in the cost of labor and / or materials between now and at the time of bid:

- YR1 - 5.0% P.A.
- YR2 - 5.0% P.A.
- YR3 and beyond - 5.00% P.A.

The above rates do not account for current volatility in certain material and skilled labor prices due to supply chain issues. This volatility may be a short-term issue and may disappear as and when the supply chain improves. Given that this project is not scheduled to bid until 2026, MGAC is not including any cost premium for this in the cost report



New Courthouse Feasibility Study Cost Plan

Project Budget Allocation

The information below identifies the assumptions included in this cost report relative to allocation of costs. Items listed under construction costs are included in the cost estimate and are anticipated to be part of the construction contract. Items listed under project soft costs are not included in the cost estimate and are assumed to be provided under a separate budget. Items listed as "not applicable" are assumed not to be included in any budget as the item is not required.

	Item	Project Capital Costs			Notes.
		Construction Cost (Design and Build Costs).	Project Soft Cost.	Not Applicable.	
I.	PROPERTY ACQUISITION /				
	Environmental Remediation		√		
	Property Acquisition				
	Lot 6 - City of Sunnyvale (lease)		√		
	Lot 5 - State of California (Existing Courthouse)			√	Existing Santa Clara Courthouse
	Removal of existing buildings and structures	√			Existing Santa Clara Courthouse
	On-Site Utilities Relocation and/or Removal	√			
	Off-Site Utilities Improvements		√		
	Connection to Utilities (charges and fees)		√		
	Street/sidewalk improvements				
	El Camino Real	√			
	All American Way	√			
	Moving and Relocation Expenses				
	Sixth Appellate Court		√		
II.	HAZARDOUS MATERIAL ABATEMENT				
	Building	√			
	Site	√			
III.	PROFESSIONAL SERVICES (Bridging / Design Criteria)				
	Architecture and Engineering Design Fees		√		
	Project Management Fees		√		
	Geotechnical & Survey	√			
	LEED Consultant Fees	√			
	LEED Certification Fees	√			
III.	PROFESSIONAL SERVICES (Post-GMP Phase)				
	Architecture and Engineering Design Fees (D&B Contract)	√			
	Project Management Fees		√		
	Materials Testing & Inspection		√		
	Third Party Commissioning		√		
	LEED Consultant Fees	√			
	LEED Certification Fees	√			



New Courthouse Feasibility Study Cost Plan

Project Budget Allocation

The information below identifies the assumptions included in this cost report relative to allocation of costs. Items listed under construction costs are included in the cost estimate and are anticipated to be part of the construction contract. Items listed under project soft costs are not included in the cost estimate and are assumed to be provided under a separate budget. Items listed as "not applicable" are assumed not to be included in any budget as the item is not required.

	Item	Project Capital Costs			Notes.
		Construction Cost (Design and Build Costs).	Project Soft Cost.	Not Applicable.	
IV.	SYSTEMS, FURNISHINGS & EQUIPMENT				
	a. BUILDING SYSTEMS				
	Photovoltaic panels and support structure	√			
	Uninterruptible Power Supplies (UPS)	√			
	Pathways to Data / Voice/Audio-Video Communications System	√			
	Structured Cabling to Data / Voice/ Audio-Video Communications System	√			
	Data / communications hardware and peripherals - computers, laptops, tablets, telephone handsets, printers, scanners and other peripherals		√		
	Pathways to Distributed communication and monitoring	√			
	Structured cabling/ equipment to Distributed communication and monitoring	√			
	Pathways to Court communication and monitoring	√			
	Structured cabling and equipment to Courts communication and monitoring	√			
	Distributed antenna systems (pathways/ cabling / equipment)	√			
	Security equipment and cabling	√			
	Fire alarm system (equipment and cabling)	√			
	Audio-Visual Equipment and Cabling				
	Speakers	√			
	TV Monitors	√			
	Building Controls Systems	√			
	b. FURNITURE				
	Movable				
	Court Furniture (chairs, lectern)		√		
	Office Furniture (workstations)		√		
	Loose Furniture		√		



New Courthouse Feasibility Study Cost Plan

Project Budget Allocation

The information below identifies the assumptions included in this cost report relative to allocation of costs. Items listed under construction costs are included in the cost estimate and are anticipated to be part of the construction contract. Items listed under project soft costs are not included in the cost estimate and are assumed to be provided under a separate budget. Items listed as "not applicable" are assumed not to be included in any budget as the item is not required.

	Item	Project Capital Costs			Notes.
		Construction Cost (Design and Build Costs).	Project Soft Cost.	Not Applicable.	
	Fixed				
	Courtroom Millwork	√			
	Court Benches	√			
	Spectator low walls	√			
	Site Furniture - fixed	√			
	c. FURNISHINGS				
	Window Treatments	√			
	Markerboards and tackboards	√			
	Lockers and benches	√			
	Mobile storage shelving		√		
	d. EQUIPMENT				
	Building Maintenance / Window Washing Equipment	√			
	Parking Equipment	√			
	Magnetometer		√		
	Turnstiles	√			
	Other Equipment		√		
	e. SIGNAGE				
	Directional Signage	√			
	Informational and Identification Signage	√			
	Code Required Signage	√			
	f. SPECIAL CONSTRUCTION				
V.	PROCUREMENT				
	Bid Advertising, Printing and Mailing - For D&B Contract		√		
	Stipends - For D&B Contract Proposers		√		
	Bid Advertising, Printing and Mailing - For Trade Contract /Subcontractors	√			
	Plan Checking		√		
	GC's Bonds	√			
	Sub-contractor bonds	√			
	Insurance	√			Professional liability insurance by Contractor
	OCIP		√		



New Courthouse Feasibility Study Cost Plan

Project Budget Allocation

The information below identifies the assumptions included in this cost report relative to allocation of costs. Items listed under construction costs are included in the cost estimate and are anticipated to be part of the construction contract. Items listed under project soft costs are not included in the cost estimate and are assumed to be provided under a separate budget. Items listed as "not applicable" are assumed not to be included in any budget as the item is not required.

	Item	Project Capital Costs			Notes.
		Construction Cost (Design and Build Costs).	Project Soft Cost.	Not Applicable.	
	g. CONTINGENCIES				
	Design Contingency	√			
	Construction Contingency	√			
	Owner's Contingency		√		



New Courthouse Feasibility Study Cost Plan

Overall Summary

	SF	\$/SF	TOTAL \$ x 1,000	%
B1 Core & Shell	50,000	536.40	26,820	39%
B1 Interior Construction	35,255	455.03	16,042	24%
TOTAL BUILDING	50,000	857.24	42,862	63%
S1 Demolition	64,000	28.53	1,826	3%
S2 Sitework	85,000	41.85	3,557	5%
S3 Perimeter Street Improvements	38,200	34.14	1,304	2%
TOTAL SITEWORK	187,200	35.72	6,687	10%
TOTAL BUILDING AND SITEWORK	50,000	990.98	49,549	73% ¹

Note:

1 Represent Recommended Total Construction Costs current at the date of the Cost Estimate

New Courthouse Feasibility Study Cost Plan

Detailed Cost Summary

		1		2		3		9		10		11		12		13		
		TOTAL	TOTAL	Core & Shell	Interior Construction	Total Building		Demolition		Sitework		Perimeter Street Improvements		Sitework Total				
		\$/SF		\$/SF	\$/SF	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	
		%																
Gross Area:			50,000 SF	50,000 SF	35,255 SF	50,000 SF		64,000 SF	85,000 SF			38,200 SF	64,000 SF					
A10	Foundations	3%	30.75	1,538	30.75	1,538	0.00	0	30.75	1,538								
A20	Basement Construction	0%	0.00	0	0.00	0	0.00	0	0.00	0								
A	Substructure	3%	30.75	1,538	30.75	1,538	0.00	0	30.75	1,538								
B10	Superstructure	10%	96.14	4,807	96.14	4,807	0.00	0	96.14	4,807								
B20	Exterior Enclosure	8%	81.96	4,098	81.96	4,098	0.00	0	81.96	4,098								
B30	Roofing	2%	17.70	885	17.70	885	0.00	0	17.70	885								
B	Shell	20%	195.80	9,790	195.80	9,790	0.00	0	195.80	9,790								
C10	Interior Construction	7%	73.96	3,698	10.10	505	90.56	3,193	73.96	3,698								
C20	Stairways	0%	3.90	195	3.90	195	0.00	0	3.90	195								
C30	Interior Finishes	6%	58.18	2,909	5.01	251	75.41	2,658	58.18	2,909								
C	Interiors	14%	136.04	6,802	19.02	951	165.97	5,851	136.04	6,802								
D10	Conveying Systems	1%	8.70	435	8.70	435	0.00	0	8.70	435								
D20	Plumbing Systems	2%	20.50	1,025	20.50	1,025	0.00	0	20.50	1,025								
D30	Heating, Ventilation & Air Conditioning	8%	77.55	3,878	48.50	2,425	41.20	1,453	77.55	3,878								
D40	Fire Protection	1%	10.00	500	3.50	175	9.22	325	10.00	500								
D50	Electrical	9%	91.04	4,552	48.29	2,414	60.63	2,138	91.04	4,552								
D60	Communications	2%	20.50	1,025	7.00	350	19.15	675	20.50	1,025								
D70	Electronic Safety and Security	2%	15.50	775	8.75	438	9.57	338	15.50	775								
D80	Integrated Automation	1%	10.00	500	5.00	250	7.09	250	10.00	500								
D	Services	26%	253.79	12,689	150.24	7,512	146.86	5,178	253.79	12,689								
E10	Equipment	1%	5.27	264	0.00	0	7.47	264	5.27	264								
E20	Furnishings	1%	10.91	545	0.00	0	15.47	545	10.91	545								
E	Equipment & Furnishings	2%	16.18	809	0.00	0	22.94	809	16.18	809								
F10	Special Construction	0%	0.00	0	0.00	0	0.00	0	0.00	0								
F20	Facility Remediation	0%	0.00	0	0.00	0	0.00	0	0.00	0								
F30	Demolition	0%	0.00	0	0.00	0	0.00	0	0.00	0								
F	Special Construction & Demolition	0%	0.00	0	0.00	0	0.00	0	0.00	0								
G10	Site Preparation	3%	30.53	1,526							21.05	1,347	1.21	103	2.00	76	23.85	1,526
G20	Site Improvements	5%	49.40	2,470							0.00	0	18.63	1,584	23.20	886	38.59	2,470
G30	Liquid and Gas Site Utilities	1%	9.93	497							0.00	0	5.84	497	0.00	0	7.76	497
G40	Electrical Site Improvements	1%	8.84	442							0.00	0	5.20	442	0.00	0	6.91	442
G50	Site Communications	0%	0.00	0							0.00	0	0.00	0	0.00	0	0.00	0
G90	Miscellaneous Site Construction	0%	0.00	0							0.00	0	0.00	0	0.00	0	0.00	0
G	Building Sitework	10%	98.69	4,935							21.05	1,347	30.88	2,625	25.20	962	77.10	4,935
ELEMENTAL COST BEFORE CONTINGENCIES		74%	731.25	36,562	395.80	19,790	335.77	11,837	632.55	31,628	21.05	1,347	30.88	2,625	25.20	962	77.10	4,935
Z10	Design Contingency	12.00%	87.75	4,387	47.50	2,375	40.29	1,420	75.91	3,795	2.53	162	3.71	315	3.02	115	9.25	592
Z11	General Requirements	4.00%	32.76	1,638	17.73	887	15.04	530	28.34	1,417	0.94	60	1.38	118	1.13	43	3.45	221
Z12	Construction Contingency	3.00%	25.55	1,278	13.83	692	11.73	414	22.10	1,105	0.74	47	1.08	92	0.88	34	2.69	172
ELEMENTAL COST INCLUDING CONTINGENCIES		89%	877.31	43,865	474.86	23,743	402.83	14,202	758.90	37,945	25.26	1,617	37.05	3,149	30.23	1,155	92.50	5,920
Z21	General Conditions	7.00%	61.41	3,071	33.24	1,662	28.20	994	53.12	2,656	1.77	113	2.59	220	2.12	81	6.48	414
Z22	Bonds & Insurance	2.00%	18.77	939	10.16	508	8.62	304	16.24	812	0.54	35	0.79	67	0.65	25	1.98	127
Z23	Contractor's Overhead, Profit & Fee	3.50%	33.51	1,676	18.14	907	15.39	542	28.99	1,449	0.96	62	1.42	120	1.15	44	3.53	226
Z24	Architectural & Engineering Fees	0.00%	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0
CONSTRUCTION COST BEFORE ESCALATION		100%	990.98	49,549	536.40	26,820	455.03	16,042	857.24	42,862	28.53	1,826	41.85	3,557	34.14	1,304	104.48	6,687
Z30	Escalation From Overall Summary	0%	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0
RECOMMENDED BUDGET - May, 2022		100%	990.98	49,549	536.40	26,820	455.03	16,042	857.24	42,862	28.53	1,826	41.85	3,557	34.14	1,304	104.48	6,687



New Courthouse Feasibility Study Cost Plan

Core & Shell Areas

		GSF		DGSF	
Areas					
Enclosed Areas				Program Areas	
Level 1	17	25,000		Judiciary	
Level 2	14	25,000		Courtroom	3,439
<hr/>				Chambers	16,975
Subtotal of Enclosed Areas		50,000		Court Executive & Support	
Covered Areas				Court Admin	2,512
				Clerk	2,209
				Law Library	2,236
				Mediation	1,214
				Other Building Services	
				Lobby & Public Entry	2,018
				Building Support	4,652
	Sub-Total	<hr/>			
			-		
<hr/>					
Subtotal of Covered Areas at 50%		-			
<hr/>					
TOTAL GROSS FLOOR AREA		50,000		71%	35,255



New Courthouse Feasibility Study Cost Plan

Core & Shell Areas

	GSF	DGSF	Ratio to GFA
Control Quantities			
Functional Units	1	Court	0.000
Number of stories	2	EA	0.000
Program Area	35,255	SF	0.705
Gross Area	50,000	SF	1.000
Volume	775,000	CF	15.500
Enclosed Area	50,000	SF	1.000
Covered Area	3,000	SF	0.060
Footprint Area	25,000	SF	0.500
Basement Volume		CF	-
Retaining Wall Area		SF	-
Structural Framed Area	52,000	SF	1.040
Gross Wall Area	24,272	SF	0.485
Finished Wall Area	12,136	SF	0.243
Windows or Glazing	12,136	SF	0.243
Roof Area - Flat	27,000	SF	0.540
Roof Area - Sloping	0	SF	-
Roof Area - Total	27,000	SF	0.540
Roof Glazing Area		SF	-
Interior Partitions	5,750	LF	0.115
Interior Doors	192	EA	0.004
Staircase (floor to floor)	3	FLT	0.000
Shelled Area	0	SF	-
Finished Area	14,745	SF	0.295
Elevators (Ratio x 1,000)	5	EA	1.000
Plumbing Fixtures (Ratio x 1,000)	50	EA	1.000
HVAC	50,000	CFM	1.000
Sprinkler Systems	50,000	SF	1.000
Electrical Load (Ratio x 1,000)	1,250	KVA	25.000
Lighting Systems	50,000	SF	1.000

50%



New Courthouse Feasibility Study Cost Plan

Core & Shell Summary

Ref.	Description		%	\$/SF	TOTAL \$ x 1,000
		Gross Area:		50,000 SF	
A10	Foundations		6%	30.75	1,538
A20	Basement Construction		0%	0.00	0
A	Substructure		6%	30.75	1,538
B10	Superstructure		18%	96.14	4,807
B20	Exterior Enclosure		15%	81.96	4,098
B30	Roofing		3%	17.70	885
B	Shell		37%	195.80	9,790
C10	Interior Construction		2%	10.10	505
C20	Stairways		1%	3.90	195
C30	Interior Finishes		1%	5.01	251
C	Interiors		4%	19.02	951
D10	Conveying Systems		2%	8.70	435
D20	Plumbing Systems		4%	20.50	1,025
D30	Heating, Ventilation & Air Conditioning		9%	48.50	2,425
D40	Fire Protection		1%	3.50	175
D50	Electrical		9%	48.29	2,414
D60	Communications		1%	7.00	350
D70	Electronic Safety and Security		2%	8.75	438
D80	Integrated Automation		1%	5.00	250
D	Services		28%	150.24	7,512
E10	Equipment		0%	0.00	0
E20	Furnishings		0%	0.00	0
E	Equipment & Furnishings		0%	0.00	0
F10	Special Construction		0%	0.00	0
F20	Facility Remediation		0%	0.00	0
F30	Demolition		0%	0.00	0
F	Special Construction & Demolition		0%	0.00	0
BUILDING ELEMENTAL COST BEFORE CONTINGENCIES			74%	395.80	19,790
Z10	Design Contingency	12.00%	9%	47.50	2,375
Z11	General Requirements	4.00%	3%	17.73	887
Z12	Construction Contingency	3.00%	3%	13.83	692
BUILDING ELEMENTAL COST INCLUDING CONTINGENCIES			89%	474.86	23,743
Z21	General Conditions	7.00%	6%	33.24	1,662
Z22	Bonds & Insurance	2.00%	2%	10.16	508
Z23	Contractor's Overhead, Profit & Fee	3.50%	3%	18.14	907
Z24	Architectural & Engineering Fees	0.00%	0%	0.00	0
BUILDING CONSTRUCTION COST BEFORE ESCALATION			100%	536.40	26,820
Z30	See Overall Summary for Escalation	0.00%	0%	0.00	0
RECOMMENDED BUDGET - May, 2022			100%	536.40	26,820



New Courthouse Feasibility Study Cost Plan

Core & Shell

Item Description	Quantity	Unit	Rate	Total
A10 Foundations				
A1010 Standard Foundations				787,593
Reinforced concrete including excavation				
Overexcavate, backfill and recompact	1,852	CY	50.00	92,593
Reinforced concrete spread footing	25,000	SF	25.00	625,000
Elevator pit	2	EA	35,000.00	70,000
A1020 Special Foundations				
A1030 Slab On Grade				750,000
Reinforced concrete slab-on grade	25,000	SF	30.00	750,000
				1,537,593

A20 Basement Construction

A2010 Basement Excavation

A2020 Basement Walls

0

B10 Superstructure

B1010 Floor Construction				3,472,088
Lateral framing system				
Steel framing	52,000	SF	30.00	1,560,000
Gravity framing system				
Steel framing	25,000	SF	28.00	700,000
Metal deck with concrete fill	25,000	SF	25.00	625,000
Fireproofing				



New Courthouse Feasibility Study Cost Plan

Core & Shell

Item Description	Quantity	Unit	Rate	Total
Fireproofing steelworks	52,000	SF	5.00	260,000
Miscellaneous				
Secondary framing to façade	24,272	SF	4.00	97,088
MEP/ Penthouse and enclosure framing	1,500	SF	75.00	112,500
Elevator lateral bracing and connections	5	EA	3,500.00	17,500
Miscellaneous metals and rough carpentry	50,000	SF	2.00	100,000
B1020 Roof Construction				1,335,000
Gravity framing system				
Steel framing	27,000	SF	25.00	675,000
Metal deck with concrete fill	27,000	SF	20.00	540,000
Secondary roof				
Allow for secondary roof	3,000	SF	40.00	120,000
				4,807,088

B20 Exterior Enclosure

B2010 Exterior Walls				2,591,524
Wall framing, furring and insulation				
Studs framing, sheathing, insulation, vapor membrane	24,272	SF	34.00	825,248
Applied exterior finish				
Anti-graffiti coating	6,560	SF	2.50	16,400
Prefabricated cladding panels				
Cladding panels	12,136	SF	75.00	910,200
Interior finish to exterior walls				
Gypsum board lining, painted	12,136	SF	10.00	121,360
Fascias, bands, screen and trim				
Architectural detailings	24,272	SF	3.00	72,816
Mechanical screens	6,000	SF	80.00	480,000
Soffits				
Finish to soffits	2,000	SF	60.00	120,000
Balustrades, parapets and roofscreens				



New Courthouse Feasibility Study Cost Plan

Core & Shell

Item Description	Quantity	Unit	Rate	Total
Finish to back of parapet walls	1,300	SF	35.00	45,500
B2020 Exterior Windows				1,456,320
Glazed aluminum framed curtain walls / window walls	12,136	SF	120.00	1,456,320
B2030 Exterior Doors				50,000
Aluminum glazed entrances	2	EA	20,000.00	40,000
Hollow metal framed doors	1	LS	10,000.00	10,000
				4,097,844

B30 Roofing

B3010 Roof Coverings				885,000
Roofing				
Membrane roofing	27,000	SF	25.00	675,000
Roof upstands and sheetmetal	27,000	SF	5.00	135,000
Caulking and sealants				
Miscellaenous caulking and sealants	50,000	SF	1.00	50,000
Security caulking	50,000	SF	0.50	25,000
B3020 Roof Openings				
				885,000

C10 Interior Construction

C1010 Partitions				293,184
Partition framing and surfacing				
Staircase shaft walls	1,512	SF	32.00	48,384
Elevator shaft walls	3,600	SF	32.00	115,200
MEP room walls	4,320	SF	30.00	129,600



New Courthouse Feasibility Study Cost Plan

Core & Shell

Item Description	Quantity	Unit	Rate	Total
C1020 Interior Doors				112,500
Interior doors and frames				
Staircase doors	5	EA	5,500.00	27,500
MEP room doors	17	EA	5,000.00	85,000
C1030 Fittings				99,490
Amenities and convenience items				
Exterior signage	1	LS	20,000.00	20,000
Interior code required signage	50,000	SF	1.00	50,000
Miscellaneous fittings	14,745	SF	2.00	29,490
				505,174
C20 Stairways				
C2010 Stair Construction				195,000
Staircase flights, floor to floor				
Steel framed staircase, including railing and finish	3	EA	65,000.00	195,000
C2020 Stair Finishes				
				195,000
C30 Interior Finishes				
C3010 Wall Finishes				29,490
Wall finishes to building support area	14,745	SF	2.00	29,490
C3020 Floor Finishes				147,450
Floor finishes to building support area	14,745	SF	10.00	147,450
C3030 Ceiling Finishes				73,725
Ceiling finishes to building support area	14,745	SF	5.00	73,725



New Courthouse Feasibility Study Cost Plan

Core & Shell

Item Description	Quantity	Unit	Rate	Total
				250,665
D10 Conveying Systems				
D1010 Elevators & Lifts				435,000
Hydraulic passenger elevator	5	EA	75,000.00	375,000
Cab finishes (allowance)	2	EA	30,000.00	60,000
D1020 Escalators & Moving Walks				
D1090 Other Conveying Systems				
				435,000
D20 Plumbing Systems				
D2010 Plumbing Fixtures				150,000
Sanitary fixtures, local domestic service, waste/vent pipework systems, including hose bibs, water softening, hot water heating equipment - allow (1,000 SF/Fixture)	50	EA	3,000.00	150,000
D2011 Domestic Water Distribution				225,000
Domestic service pipework				
Domestic service pipework - hot & cold water	50	EA	4,500.00	225,000
D2020 Sanitary Drainage				350,000
Sanitary waste, vent and service pipework				
Waste, vent, fittings	50	EA	4,500.00	225,000
Floor/area drains and sinks, < = 6", complete with connection pipework, trap primers	50,000	SF	2.50	125,000
D2030 Building Support Plumbing System				200,000
Surface water drainage				
Roof & overflow drain pipe, < = 6"	50,000	SF	4.00	200,000
D2060 Process Support Building Systems				100,000
Natural gas	50,000	SF	2.00	100,000



New Courthouse Feasibility Study Cost Plan

Core & Shell

Item Description	Quantity	Unit	Rate	Total
				1,025,000
D30 Heating, Ventilation & Air Conditioning				
D3020 Heat Generating Systems				260,000
Heating hot water pipework, fittings				
Condensing heating hot water boiler, gas-fired, including flue, pipework connections, gas train (45 btuh per SF) - thermal expansion compensation, circulatory equipment	2,000	Mbth	30.00	60,000
Pipework, fittings - heating hot water, valves, equipment hook-up and insulation	50,000	SF	4.00	200,000
D3030 Cooling Generating Systems				775,000
Chilled water generation systems				
Heat recovery chiller (250 SF/ton) - thermal expansion compensation, circulatory equipment	200	Ton	2,000.00	400,000
Pipework, fittings - chilled water, valves, equipment hook-up and insulation	50,000	SF	7.50	375,000
D3050 Distribution Systems				1,352,500
Air distribution and return				
Galvanized sheet metal ductwork, dampers, insulation, diffusers, registers and grilles	50,000	SF	10.00	500,000
Air handling equipment				
Air handling units, custom modular type, OA economizer, (VAV), heating and cooling, filtration, sound attenuation, vibration isolation (1 cfm/SF)	50,000	CFM	13.50	675,000
CRAC units - MPOE (2 EA)	10	Ton	6,000.00	60,000
Fan-coil units, < = 2 ton (24/7 cooling) - allow 4 per level	8	EA	10,000.00	80,000
VAV boxes, reheat (1/700 SF)				T/
Test and balance air systems	50,000	SF	0.75	37,500
D3060 Ventilation				37,500
Unit ventilation/exhaust fans				
Restroom, plant rooms	1	LS	37,500.00	37,500
				2,425,000



New Courthouse Feasibility Study Cost Plan

Core & Shell

Item Description	Quantity	Unit	Rate	Total
D40 Fire Protection				
D4010 Fire Suppression				175,000
Fire protection				
Automatic wet fire sprinklers - complete	50,000	SF	3.50	175,000
D4030 Fire Protection Specialties				
Fire pump				<i>Not Required</i>
				175,000
D50 Electrical				
D5010 Power Generation				931,250
Emergency power				
Emergency power generator, load bank, sound attenuated, emissions control, belly tank, associated 480-120/208 distribution equipment & feeders - 25% normal power	250	kVA	1,750.00	437,500
UPS - rack-mounted < 5 KW	3	EA	18,750.00	56,250
Photovoltaics				
Photovoltaic panels, storage and distribution equipment/cabling 10% normal power (approximately 3,000 sf on site and 3000 sf above roof)	125	kVA	3,500.00	437,500
D5020 Electrical Service & Distribution				359,375
Mains power and distribution				
5 kV - 480/120 V distribution equipment and feeders (25 kVA/GFA)	1,250	kVA	287.50	359,375
D5030 General Purpose Electrical Power				337,500
Machine and equipment power				
Connections and switches, including conduit and cable				
Miscellaneous connections, < 100 AM - including courtrooms, mechanical, A/V equipment, food service, dampers, BMS power, fire, IT and security systems	1	LS	187,500.00	187,500
User convenience power				
Panel board breakers, 120 V circuits - feeder conduit and cable	50,000	SF	3.00	150,000



New Courthouse Feasibility Study Cost Plan

Core & Shell

Item Description	Quantity	Unit	Rate	Total
Receptacles, including conduit and cable, controlled				<i>TI</i>
D5040 Lighting				537,500
Lighting				
Panel board breakers, 277 V circuits - feeder conduit and cable	50,000	SF	2.00	100,000
Fixtures/switches, including conduit and cable - including dimmable systems/day lighting/LED	50,000	SF	8.75	437,500
D5080 Miscellaneous Electrical Systems				248,750
Lighting and power specialties				
Grounding IT/Electrical rooms	1	LS	48,750.00	48,750
Lighting control - LV panels, occupancy sensors, daylight dimming	50,000	SF	2.00	100,000
Cable tray/wire-way/j-hooks	50,000	SF	2.00	100,000
				2,414,375
D60 Communications				
D6020 Voice Communications				150,000
Telephone and communications				
Telephone/data/WAP - including conduit & cable	50,000	SF	3.00	150,000
D6010 Data Communications				100,000
Telephone and communications				
WAP	50,000	SF	2.00	100,000
D6030 Audio-Video Communications				
Audiovisual systems, rough-in				
Equipment				<i>TI</i>
Audiovisual conduit & cable				<i>TI</i>
D6060 Distributed Communications & Monitoring				100,000
Digital antenna systems				
Emergency radio response systems	50,000	SF	2.00	100,000
				350,000

D70 Electronic Safety and Security



New Courthouse Feasibility Study Cost Plan

Core & Shell

Item Description	Quantity	Unit	Rate	Total
D7010 Access Control and Intrusion Detection				300,000
Security systems				
Security	1	LS	300,000.00	300,000
D7050 Detection and Alarm				137,500
Fire alarm systems				
Fire alarm systems	50,000	SF	2.75	137,500
				437,500
D80 Integrated Automation				
D8010 Integrated Automation Facility Controls				250,000
Controls and instrumentation				
Direct digital energy management system - JCC BMS	50,000	SF	5.00	250,000
				250,000
E10 Equipment				
				0



New Courthouse Feasibility Study Cost Plan

Interior Construction Summary

Ref.	Description		%	\$/SF	TOTAL \$ x 1,000
		Gross Area:		35,255 SF	
A10	Foundations		0%	0.00	0
A20	Basement Construction		0%	0.00	0
A	Substructure		0%	0.00	0
B10	Superstructure		0%	0.00	0
B20	Exterior Enclosure		0%	0.00	0
B30	Roofing		0%	0.00	0
B	Shell		0%	0.00	0
C10	Interior Construction		20%	90.56	3,193
C20	Stairways		0%	0.00	0
C30	Interior Finishes		17%	75.41	2,658
C	Interiors		36%	165.97	5,851
D10	Conveying Systems		0%	0.00	0
D20	Plumbing Systems		0%	0.00	0
D30	Heating, Ventilation & Air Conditioning		9%	41.20	1,453
D40	Fire Protection		2%	9.22	325
D50	Electrical		13%	60.63	2,138
D60	Communications		4%	19.15	675
D70	Electronic Safety and Security		2%	9.57	338
D80	Integrated Automation		2%	7.09	250
D	Services		32%	146.86	5,178
E10	Equipment		2%	7.47	264
E20	Furnishings		3%	15.47	545
E	Equipment & Furnishings		5%	22.94	809
F10	Special Construction		0%	0.00	0
F20	Facility Remediation		0%	0.00	0
F30	Demolition		0%	0.00	0
F	Special Construction & Demolition		0%	0.00	0
BUILDING ELEMENTAL COST BEFORE CONTINGENCIES			74%	335.77	11,837
Z10	Design Contingency	12.00%	9%	40.29	1,420
Z11	General Requirements	4.00%	3%	15.04	530
Z12	Construction Contingency	3.00%	3%	11.73	414
BUILDING ELEMENTAL COST INCLUDING CONTINGENCIES			89%	402.83	14,202
Z21	General Conditions	7.00%	6%	28.20	994
Z22	Bonds & Insurance	2.00%	2%	8.62	304
Z23	Contractor's Overhead, Profit & Fee	3.50%	3%	15.39	542
BUILDING CONSTRUCTION COST BEFORE ESCALATION			100%	455.03	16,042
Z30	See Overall Summary for Escalation	0.00%	0%	0.00	0
RECOMMENDED BUDGET - May, 2022			100%	455.03	16,042



New Courthouse Feasibility Study Cost Plan

Interior Construction

Item Description	Quantity	Unit	Rate	Total
A10 Foundations				
				0
A20 Basement Construction				
				0
B10 Superstructure				
				0
B20 Exterior Enclosure				
				0
B30 Roofing				
				0
C10 Interior Construction				
C1010 Partitions				2,455,907
Wall framing and surfacing				
Metal studs framing, insulation and lining- painted both sides	62,842	SF	30.00	1,885,261
Premium for STC rating	4,054	LF	40.00	162,173
Interior glazing				
Glazed aluminum framed sidelights / partitions	3,142	SF	100.00	314,210
Premium for blast resistant glass	471	SF	200.00	94,263



New Courthouse Feasibility Study Cost Plan

Interior Construction

Item Description	Quantity	Unit	Rate	Total
C1020 Interior Doors				521,605
Interior doors, frames and hardware				
Courtroom entry doors	1	EA	15,000.00	15,000
Library entry doors	1	EA	15,000.00	15,000
Public toilets	4	EA	4,500.00	18,000
Justice chamber	8	EA	6,500.00	52,000
Chamber toilets	8	EA	3,200.00	25,600
Attorneys/ Staff / Meeting Room/ etc.	113	EA	3,500.00	396,005
C1030 Fittings				215,138
Prefabricated compartment and accessories				
Toilet partitions	18	EA	1,500.00	27,000
Toilet accessories	50	EA	2,000.00	100,000
Signage				
Room identification signage	35,255	SF	1.50	52,883
Miscellaneous				
Miscellaneous specialities	35,255	SF	1.00	35,255
				3,192,649
C20 Stairways				
C2010 Stair Construction				
C2020 Stair Finishes				
				0



New Courthouse Feasibility Study Cost Plan

Interior Construction

Item Description	Quantity	Unit	Rate	Total
C30 Interior Finishes				
C3010 Wall Finishes				975,910
Judiciary				
Courtroom	3,439	SF	80.00	275,120
Chambers	16,975	SF	20.00	339,500
Court Executive & Support				
Court Admin	2,512	SF	20.00	50,240
Clerk	2,209	SF	20.00	44,180
Law Library	2,236	SF	20.00	44,720
Mediation	1,214	SF	20.00	24,280
Other Building Services				
Lobby & Public Entry	2,018	SF	75.00	151,350
Building Support	4,652	SF	10.00	46,520
C3020 Floor Finishes				534,133
Judiciary				
Courtroom	3,439	SF	25.00	85,975
Chambers	16,975	SF	10.00	169,750
Court Executive & Support				
Court Admin	2,512	SF	8.00	20,096
Clerk	2,209	SF	8.00	17,672
Law Library	2,236	SF	20.00	44,720
Mediation	1,214	SF	8.00	9,712
Other Building Services				
Lobby & Public Entry	2,018	SF	60.00	121,080
Building Support	4,652	SF	14.00	65,128
C3030 Ceiling Finishes				1,148,435
Judiciary				
Courtroom	3,439	SF	80.00	275,120
Chambers	16,975	SF	30.00	509,250
Court Executive & Support				
Court Admin	2,512	SF	15.00	37,680
Clerk	2,209	SF	15.00	33,135
Law Library	2,236	SF	30.00	67,080
Mediation	1,214	SF	15.00	18,210
Other Building Services				
Lobby & Public Entry	2,018	SF	80.00	161,440
Building Support	4,652	SF	10.00	46,520



New Courthouse Feasibility Study Cost Plan

Interior Construction

Item Description	Quantity	Unit	Rate	Total
				2,658,478
D10 Conveying Systems				
				0
D20 Plumbing Systems				
				0
D30 Heating, Ventilation & Air Conditioning				
D3020 Heat Generating Systems				425,000
Heating hot water pipework, fittings				
Pipework, fittings - heating hot water, valves, equipment hook-up and insulation	50,000	SF	8.50	425,000
D3050 Distribution Systems				1,027,500
Air distribution and return				
Galvanized sheet metal ductwork, dampers, insulation, diffusers, registers and grilles	50,000	SF	17.00	850,000
Air handling equipment				
VAV boxes, reheat (1/700 SF)	70	EA	2,000.00	140,000
Test and balance air systems	50,000	SF	0.75	37,500
				1,452,500
D40 Fire Protection				
D4010 Fire Suppression				325,000
Fire protection				
Automatic wet fire sprinklers - complete	50,000	SF	6.50	325,000
				325,000



New Courthouse Feasibility Study Cost Plan

Interior Construction

Item Description	Quantity	Unit	Rate	Total
D50 Electrical				
D5010 Power Generation				
D5020 Electrical Service & Distribution				
D5030 General Purpose Electrical Power				612,500
Machine and equipment power				
Connections and switches, including conduit and cable				
Miscellaneous connections, < 100 AM - including courtrooms, mechanical, A/V equipment, food service, dampers, BMS power, fire, IT and security systems	1	LS	187,500.00	187,500
User convenience power				
Receptacles, including conduit and cable, controlled	50,000	SF	8.50	425,000
D5040 Lighting				1,250,000
Lighting				
Fixtures/switches, including conduit and cable - including dimmable systems/day lighting/LED	50,000	SF	25.00	1,250,000
D5080 Miscellaneous Electrical Systems				275,000
Lighting and power specialties				
Lighting control - LV panels, occupancy sensors, daylight dimming	50,000	SF	5.50	275,000
				2,137,500

D60 Communications

D6020 Voice Communications				275,000
Telephone and communications				
Telephone/data/WAP - including conduit & cable	50,000	SF	5.50	275,000
D6030 Audio-Video Communications				400,000
Audiovisual systems, rough-in				
Equipment	1	EA	250,000.00	250,000
Audiovisual conduit & cable	50,000	SF	3.00	150,000



New Courthouse Feasibility Study Cost Plan

Interior Construction

Item Description	Quantity	Unit	Rate	Total
				675,000
D70 Electronic Safety and Security				
D7010 Access Control and Intrusion Detection				200,000
Security systems				
Security	1	LS	200,000.00	200,000
D7050 Detection and Alarm				137,500
Fire alarm systems				
Fire alarm systems	50,000	SF	2.75	137,500
				337,500
D80 Integrated Automation				
D8010 Integrated Automation Facility Controls				250,000
Controls and instrumentation				
Direct digital energy management system - JCC BMS	50,000	SF	5.00	250,000
				250,000
E10 Equipment				
E1010 Vehicle and Pedestrian Equipment				10,000
Window washing equipment - davits only	1	LS	10,000.00	10,000
E1030 Commercial Equipment				
E1040 Institutional Equipment				253,520
Library shelving	125	LF	500.00	62,500
Audio-visual equipment	35,255	SF	4.00	141,020
Security screening	1	LS	50,000.00	50,000
E1090 Other Equipment				
				263,520



New Courthouse Feasibility Study Cost Plan

Interior Construction

Item Description	Quantity	Unit	Rate	Total
E20 Furnishings				
E2010 Fixed Furnishings				545,255
Fixed casework				
Reception casework	1	LS	30,000.00	30,000
Courtroom casework / millwork	1	LS	200,000.00	200,000
Chamber casework	8	EA	35,000.00	280,000
Lavatory counter	35,255	SF	1.00	35,255
E2050 Movable Furnishings				
				545,255



New Courthouse Feasibility Study Cost Plan

Demolition Areas

	SF	SF	SF
Areas			
Net Site Areas	45,400		
Net Site Area		45,400	
Building Footprint Areas			
Building Footprint Area	18,600		
Subtotal of Building Footprint Areas		18,600	
GROSS SITE AREA			64,000



New Courthouse Feasibility Study Cost Plan

Demolition Summary

Ref.	Description		%	\$/SF	TOTAL \$ x 1,000
			Gross Area:	64,000 SF	
G10	Site Preparation		74%	21.05	1,347
G20	Site Improvements		0%	0.00	0
G30	Liquid and Gas Site Utilities		0%	0.00	0
G40	Electrical Site Improvements		0%	0.00	0
G50	Site Communications		0%	0.00	0
G90	Miscellaneous Site Construction		0%	0.00	0
G	Building Sitework		74%	21.05	1,347
SITE ELEMENTAL COST BEFORE CONTINGENCIES			74%	21.05	1,347
Z10	Design Contingency	12.00%	9%	2.53	162
Z11	General Requirements	4.00%	3%	0.94	60
Z12	Construction Contingency	3.00%	3%	0.74	47
SITE ELEMENTAL COST INCLUDING CONTINGENCIES			89%	25.26	1,617
Z21	General Conditions	7.00%	6%	1.77	113
Z22	Bonds & Insurance	2.00%	2%	0.54	35
Z23	Contractor's Overhead, Profit & Fee	3.50%	3%	0.96	62
SITE CONSTRUCTION COST BEFORE ESCALATION			100%	28.53	1,826
Z30	See Overall Summary for Escalation	0.00%	0%	0.00	0
RECOMMENDED BUDGET - May, 2022			100%	28.53	1,826



New Courthouse Feasibility Study Cost Plan

Demolition

Item Description	Quantity	Unit	Rate	Total
G10 Site Preparation				
G1010 Site Clearing				20,000
Protection of existing				
Protect existing trees	1	LS	20,000.00	20,000
G1020 Site Demolition				1,031,912
Building demolition				
Demolish existing 1 story building including basement	18,600	SF	35.00	651,000
Shoring to existing basement - West Side only	2,072	SF	120.00	248,640
Slope cut to existing basement	1,604	CY	40.00	64,172
Site demolition				
Demolish existing paving and surfacing - JCC property	45,400	SF	1.50	68,100
G1030 Site Relocation				20,000
Site utilities relocation - allowance	1	LS	20,000.00	20,000
G1050 Hazardous Waste Remediation				275,556
G1070 Site Earthwork				275,556
Grading				
Backfill existing basement	6,889	CY	40.00	275,556
				1,347,467



New Courthouse Feasibility Study Cost Plan

Sitework Areas

	SF	SF	SF
Areas			
Net Site Areas	60,000		
Net Site Area		60,000	
Building Footprint Areas			
Building Footprint Area	25,000		
Subtotal of Building Footprint Areas		25,000	
GROSS SITE AREA			85,000

Control Quantities

Ratio to Total Site Area

Total Building Demolition	0 SF	-
Hardscaped Area	18,800 SF	0.22
Softscape Area	41,200 SF	0.48



New Courthouse Feasibility Study Cost Plan

Sitework Summary

Ref.	Description		%	\$/SF	TOTAL \$ x 1,000
			Gross Area:	85,000 SF	
G10	Site Preparation		3%	1.21	103
G20	Site Improvements		45%	18.63	1,584
G30	Liquid and Gas Site Utilities		14%	5.84	497
G40	Electrical Site Improvements		12%	5.20	442
G50	Site Communications		0%	0.00	0
G90	Miscellaneous Site Construction		0%	0.00	0
G	Building Sitework		74%	30.88	2,625
SITE ELEMENTAL COST BEFORE CONTINGENCIES			74%	30.88	2,625
Z10	Design Contingency	12.00%	9%	3.71	315
Z11	General Requirements	4.00%	3%	1.38	118
Z12	Construction Contingency	3.00%	3%	1.08	92
SITE ELEMENTAL COST INCLUDING CONTINGENCIES			89%	37.05	3,149
Z21	General Conditions	7.00%	6%	2.59	220
Z22	Bonds & Insurance	2.00%	2%	0.79	67
Z23	Contractor's Overhead, Profit & Fee	3.50%	3%	1.42	120
SITE CONSTRUCTION COST BEFORE ESCALATION			100%	41.85	3,557
Z30	See Overall Summary for Escalation	0.00%	0%	0.00	0
RECOMMENDED BUDGET - May, 2022			100%	41.85	3,557



New Courthouse Feasibility Study Cost Plan

Sitework

Item Description	Quantity	Unit	Rate	Total
G10 Site Preparation				
G1070 Site Earthwork				102,500
Grading				
Rough grading	85,000	SF	0.50	42,500
Fine grading - site area	60,000	SF	1.00	60,000
				102,500
G20 Site Improvements				
G2010 Roadways				
G2020 Parking Lots				106,800
Asphalt concrete paving including curbs				
Secure parking	4,600	SF	12.00	55,200
New public / staff parking	4,300	SF	12.00	51,600
G2030 Pedestrian Paving				212,500
Architectural concrete paving	8,500	SF	25.00	212,500
G2060 Site Development				610,400
Allow for miscellaneous stie structures				
ADA ramp and railing	1	LS	30,000.00	30,000
Monument signs / flagpole	1	LS	20,000.00	20,000
Bike rack	1	LS	10,000.00	10,000
Planterwalls / seatwalls	1	LS	20,000.00	20,000
Trash enclosure	1	LS	20,000.00	20,000
Generator enclosure	1	LS	25,000.00	25,000
Security enclosure / gates - security parking	1	LS	30,000.00	30,000
PV support structure	3,000	SF	150.00	450,000
Miscellaneous				



New Courthouse Feasibility Study Cost Plan

Sitework

Item Description	Quantity	Unit	Rate	Total
Pavement marking	36	EA	150.00	5,400
G2080 Landscaping				654,000
Softscaping including soil preparation, trees, groundcover, plants and irrigation	32,700	SF	20.00	654,000
				1,583,700

G30 Liquid and Gas Site Utilities

G3010 Water Utilities				104,250
Water mains, domestic and fire				
Domestic water pipework, fittings, <= 6"	200	LF	97.50	19,500
Fire water pipework, fittings, <= 6"	200	LF	105.00	21,000
Metering	1	LS	12,500.00	12,500
Valves & specialties, including post indicator valves, hydrants, fire department connections	1	LS	42,500.00	42,500
Connections to existing	1	LS	8,750.00	8,750
G3020 Sanitary Sewerage Utilities				60,250
Sanitary sewer				
Underground pipework, fittings, <= 10"	200	LF	137.50	27,500
Connections to existing/manholes etc.	1	LS	32,750.00	32,750
G3030 Storm Drainage Utilities				288,000
Storm drainage				
Storm water catchment, treatment, management, dispersal, area drainage systems	64,000	SF	4.50	288,000
G3050 Site Energy Distribution				
G3060 Site Fuel Distribution				44,000
Natural gas				
Pipework, fittings, <= 4"	200	LF	97.50	19,500
Valves and specialties	1	LS	15,750.00	15,750
POC to existing	1	LS	8,750.00	8,750



New Courthouse Feasibility Study Cost Plan

Sitework

Item Description	Quantity	Unit	Rate	Total
G3090 Liquid and Gas Site Utilities Supplementary Components				
				496,500
G40 Electrical Site Improvements				
G4010 Site Electric Distribution Systems				250,000
Mains power				
15 kV - primary feeder conduit and cable, including 15 kV-480/277 V substation transformer	1	LS	250,000.00	250,000
G4050 Site Lighting				192,000
Site lighting	64,000	SF	3.00	192,000
				442,000
G50 Site Communications				
G5010 Site Communications Systems				150,000
Site communications				
Telecommunications/signals (allowance)				
(4) 4"	1	LS	150,000.00	150,000
				150,000
G90 Miscellaneous Site Construction				
				0



New Courthouse Feasibility Study Cost Plan

Perimeter Street Improvements Areas

	SF	SF	SF
Areas			
Net Site Areas			
El Camino Real (10' from curb)	6,000		
All America Way (14' from curb)	4,200		
Pedestrian Access -East (property line to side of curb)	12,000		
State -owned property - Existing parking	16,000		
Net Site Area		38,200	
Building Footprint Areas			
Building Footprint Area	0		
Subtotal of Building Footprint Areas		0	
GROSS SITE AREA		38,200	



New Courthouse Feasibility Study Cost Plan

Perimeter Street Improvements Summary

Ref.	Description		%	\$/SF	TOTAL \$ x 1,000
			Gross Area:	38,200 SF	
G10	Site Preparation		6%	2.00	76
G20	Site Improvements		68%	23.20	886
G30	Liquid and Gas Site Utilities		0%	0.00	0
G40	Electrical Site Improvements		0%	0.00	0
G50	Site Communications		0%	0.00	0
G90	Miscellaneous Site Construction		0%	0.00	0
G	Building Sitework		74%	25.20	962
SITE ELEMENTAL COST BEFORE CONTINGENCIES			74%	25.20	962
Z10	Design Contingency	12.00%	9%	3.02	115
Z11	General Requirements	4.00%	3%	1.13	43
Z12	Construction Contingency	3.00%	3%	0.88	34
SITE ELEMENTAL COST INCLUDING CONTINGENCIES			89%	30.23	1,155
Z21	General Conditions	7.00%	6%	2.12	81
Z22	Bonds & Insurance	2.00%	2%	0.65	25
Z23	Contractor's Overhead, Profit & Fee	3.50%	3%	1.15	44
SITE CONSTRUCTION COST BEFORE ESCALATION			100%	34.14	1,304
Z30	See Overall Summary for Escalation	0.00%	0%	0.00	0
RECOMMENDED BUDGET - May, 2022			100%	34.14	1,304



New Courthouse Feasibility Study Cost Plan

Perimeter Street Improvements

Item Description	Quantity	Unit	Rate	Total
G10 Site Preparation				
G1010 Site Clearing				38,200
Site clearing				
Site clearing	38,200	SF	1.00	38,200
G1020 Site Demolition				38,200
Site demolition				
Allow for miscellaneous site demolition	38,200	SF	1.00	38,200
				76,400
G20 Site Improvements				
G2010 Roadways				204,000
Street improvement				
Including new curbs, driveway, curb cuts and roadway patch and repair				
Along El-Camino Real	6,000	SF	20.00	120,000
Along All American Way	4,200	SF	20.00	84,000
G2020 Parking Lots				197,550
Re-surfacing of existing parking				
Public parking - state owned - resurfacing	16,000	SF	12.00	192,000
Pavement marking	37	EA	150.00	5,550
G2030 Pedestrian Paving				362,000
Sidewalk improvement				
Along El-Camino Real	3,600	SF	20.00	72,000
Along All American Way	2,500	SF	20.00	50,000
Pedestrian paving				
Pedestrian Access -East (property line to side of curb)	12,000	SF	20.00	240,000
G2080 Landscaping				122,500
Premium for softscape				
Along El-Camino Real	3,600	SF	5.00	18,000
Along All American Way	2,500	SF	5.00	12,500
Trees	8	EA	4,000.00	32,000



New Courthouse Feasibility Study Cost Plan

Perimeter Street Improvements

Item Description	Quantity	Unit	Rate	Total
Pedestrian Access -East (property line to side of curb)	12,000	SF	5.00	60,000
				<hr/> 886,050

An aerial photograph of a campus, showing a large central building, numerous trees, and a road. The image is overlaid with a semi-transparent blue filter. The text 'APPENDIX' is centered in the lower half of the image in a bright yellow, bold, sans-serif font.

APPENDIX

A.4 Option 1 – New Building, Utility Projection

APPENDIX A.4

OPTION 1 - NEW BUILDING, UTILITY PROJECTION

New Sixth Appellate District Courthouse Feasibility Study

UTILITY COST BENCHMARKING

BLDG NAME	Responsibility	FAC ID	OBJ DESC	Facility Ft2	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	Expense	
																Average/Year	Annual Cost/SF
Morgan Hill Courthouse Year: 2009	JCC	43-N1	ELECTRICITY	73,336	\$ 104,622	\$ 219,034	\$ 209,532	\$ 222,280	\$ 223,677	\$ 253,742	\$ 218,580	\$ 216,636	\$ 237,815	\$ 168,444	\$ 190,691	\$ 205,914	\$ 2.81
			GAS	73,336	\$ 9,948	\$ 37,948	\$ 23,721	\$ 29,674	\$ 36,976	\$ 45,314	\$ 31,310	\$ 34,029	\$ 40,257	\$ 38,843	\$ 38,361	\$ 33,307	\$ 0.45
			SEWER	73,336	\$ 3,377	\$ 13,527	\$ 11,897	\$ 9,928	\$ 13,089	\$ 12,930	\$ 11,325	\$ 9,771	\$ 10,268	\$ 10,242	\$ 11,359	\$ 10,701	\$ 0.15
			WATER	73,336	\$ 2,480	\$ 9,198	\$ 6,562	\$ 8,372	\$ 8,790	\$ 11,499	\$ 7,622	\$ 6,598	\$ 10,286	\$ 11,528	\$ 13,900	\$ 8,803	\$ 0.12
			TRASH	73,336	\$ 4,342	\$ 10,425	\$ 10,462	\$ 10,617	\$ 10,888	\$ 11,088	\$ 11,502	\$ 12,334	\$ 12,934	\$ 13,240	\$ 11,359	\$ 10,836	\$ 0.15
JCC Total				73,336	\$ 124,770	\$ 290,132	\$ 262,174	\$ 280,871	\$ 293,420	\$ 334,573	\$ 280,338	\$ 279,368	\$ 311,561	\$ 242,296	\$ 265,669	\$ 269,561	\$ 3.68
Morgan Hill Courthouse Total				73,336	\$ 124,770	\$ 290,132	\$ 262,174	\$ 280,871	\$ 293,420	\$ 334,573	\$ 280,338	\$ 279,368	\$ 311,561	\$ 242,296	\$ 265,669	\$ 269,561	\$ 3.68
Palo Alto Courthouse Year: 1960	COMBINED	43-D1	ELECTRICITY	83,451	\$ 124,669	\$ 194,923	\$ 205,616	\$ 203,817	\$ 154,041	\$ 134,262	\$ 147,707	\$ 137,296	\$ 150,298	\$ 155,082	\$ 197,737	\$ 164,132	\$ 1.97
			GAS	83,451	\$ 56,801	\$ 113,867	\$ 123,847	\$ 94,121	\$ 47,708	\$ 35,476	\$ 42,509	\$ 42,589	\$ 48,002	\$ 50,514	\$ 57,903	\$ 64,849	\$ 0.78
			SEWER	83,451	\$ 13,109	\$ 25,705	\$ 22,905	\$ 35,814	\$ 32,054	\$ 15,473	\$ 12,930	\$ 13,209	\$ 11,831	\$ 14,472	\$ 14,348	\$ 19,259	\$ 0.23
			WATER	83,451	\$ 14,556	\$ 27,039	\$ 25,024	\$ 28,765	\$ 23,133	\$ 18,087	\$ 18,206	\$ 14,616	\$ 21,519	\$ 33,958	\$ 19,229	\$ 22,194	\$ 0.27
			TRASH	83,451	\$ 12,021	\$ 21,749	\$ 23,896	\$ 21,631	\$ 19,297	\$ 15,591	\$ 17,702	\$ 16,997	\$ 17,933	\$ 17,744	\$ 19,585	\$ 18,377	\$ 0.22
COMBINED JCC+County Total				83,451	\$ 221,158	\$ 383,284	\$ 401,288	\$ 384,147	\$ 276,232	\$ 218,890	\$ 239,055	\$ 224,706	\$ 247,582	\$ 271,769	\$ 308,802	\$ 288,810	\$ 3.46
Palo Alto Courthouse Total				83,451	\$ 221,158	\$ 383,284	\$ 401,288	\$ 384,147	\$ 276,232	\$ 218,890	\$ 239,055	\$ 224,706	\$ 247,582	\$ 271,769	\$ 308,802	\$ 288,810	\$ 3.46
Hall of Justice (East) Year: 1988	COMBINED	43-A1	ELECTRICITY	138,900	124,707	117,727	234,263	133,501	86,036	151,106	147,483	73,425	190,717	51,316	193,224	136,682	0.98
			GAS	138,900	54,436	98,781	74,071	43,175	32,714	52,950	67,466	94,540	106,958	19,731	89,540	66,760	0.48
			SEWER	138,900	61,074	144,696	42,034		93,418	29,602		26,213	28,592			60,804	0.44
			WATER	138,900	51,328	50,720	50,688	56,799	57,551	51,462	54,337	59,601	76,059	72,739	80,330	60,147	0.43
			TRASH	138,900	6,937	3,834	3,809	6,649	10,080	14,281	13,805	14,712	14,626	13,809	14,066	10,601	0.08
JCC Total				138,900	298,482	415,758	404,865	240,123	279,800	299,401	283,090	268,490	416,952	157,595	377,160	334,994	2.41
Hall of Justice (East) Total				138,900	298,482	415,758	404,865	240,123	279,800	299,401	283,090	268,490	416,952	157,595	377,160	334,994	2.41
Hall of Justice (West) Year: 1967	JCC	43-A2	ELECTRICITY	70,100	69,662	78,160	120,403	66,719	43,210	69,920	64,476	32,100	83,377	22,519	99,968	68,229	0.97
			GAS	70,100	26,461	77,151	38,869	20,373	16,251	23,787	29,495	41,331	46,760	8,626	59,298	35,309	0.50
			SEWER	70,100	12,478	65,191	4,113		7,086	3,468		4,919	4,018			14,467	0.21
			WATER	70,100	7,544	7,381	6,964	7,689	8,200	8,743	11,469	14,645	15,585	14,410	16,237	10,806	0.15
			TRASH	70,100	7,883	12,115	11,427	12,567	14,439	19,038	18,403	18,669	19,498	21,661	18,752	15,859	0.23
JCC Total				70,100	422,510	655,755	586,640	347,471	368,985	424,356	406,934	380,153	586,190	224,811	571,415	144,670	2.06
Hall of Justice (West) Total				70,100	422,510	655,755	586,640	347,471	368,985	424,356	406,934	380,153	586,190	224,811	571,415	144,670	2.06
Downtown Superior Court Year: 1963	JCC	43-B1	ELECTRICITY	126,005	345,095	348,222	400,134	382,652	415,500	434,921	457,621	446,487	442,054	432,896	422,013	411,600	3.27
			GAS	126,005	52,077	62,386	80,708	45,453	53,381	48,776	56,915	50,966	60,381	76,122	71,905	59,915	0.48
			SEWER	126,005	5,709	1,124	1,157		2,317	9,398		10,592	10,286	2,084	2,789	5,051	0.04
			WATER	126,005	23,007	23,388	20,789	22,427	27,134	25,914	32,008	31,648	35,000	37,134	45,266	29,429	0.23
			TRASH	126,005	9,789	15,278	12,765	12,834	12,075	16,696	15,485	15,555	15,730	16,571	16,898	14,516	0.12
JCC Total				126,005	435,676	450,399	515,552	463,366	510,407	535,706	562,028	555,248	563,451	564,807	558,872	520,510	4.13
Downtown Superior Court Total				126,005	435,676	450,399	515,552	463,366	510,407	535,706	562,028	555,248	563,451	564,807	558,872	520,510	4.13

New Sixth Appellate District Courthouse		50,000	
	ELECTRICITY	\$ 99,985	\$ 2.00
	GAS	\$ 26,911	\$ 0.54
	SEWER	\$ 10,609	\$ 0.21
	WATER	\$ 12,067	\$ 0.24
	TRASH	\$ 7,857	\$ 0.16
	Subtotal:	\$ 157,429	\$ 3.15
	Less 20% for efficient building	\$ 31,486	\$ 0.63
Projected Annual Utility Cost Total:			\$ 2.52
Escalated to 2029 Net Present Value (5%/year x 6-years)		\$ 157,681	\$ 3.15

BLDG NAME	Responsibility	FAC ID	OBJ DESC	Facility Ft2	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	Expense			
																Average/Year	Annual Cost/SF		
New Santa Clara Family Justice C JCC Year: 2016	JCC	43-B5	ELECTRICITY	233,906										444,698	465,058	483,630	464,462	1.99	
			GAS	233,906											39,521	35,744	29,176	34,814	0.15
			SEWER	233,906											4,442	6,676	3,785	4,967	0.02
			WATER	233,906											77,718	40,365	38,031	52,038	0.22
			TRASH	233,906											25,140	25,740	26,226	25,702	0.11
JCC Total				233,906	-	-	-	-	-	-	-	-	591,519	573,583	580,848	581,983	2.49		
New Santa Clara Family Justice Center Total				233,906	-	-	-	-	-	-	-	-	591,519	573,583	580,848	581,983	2.49		

An aerial photograph of a school campus, showing a large central building, a parking lot, and numerous trees. The image is overlaid with a semi-transparent blue filter.

APPENDIX

A.5

Option 2 – Projected Lease Cost Analysis

APPENDIX A.5

OPTION 2 - PROJECTED LEASE COST ANALYSIS

New Sixth Appellate District Courthouse Feasibility Study

CURRENT LEASE (Option 3 - Status Quo)

333 W. Santa Clara, San Jose

2/1/2021 through 1/31/2022	\$ 130,513	\$ 2.98	
Renegotiated Term			
2/1/2022 through 1/31/2023	\$ 150,965	\$ 3.45	16%
2/1/2023 through 1/31/2024	\$ 156,249	\$ 3.57	3.5%
2/1/2024 through 1/31/2025	\$ 161,718	\$ 3.70	3.5%
2/1/2025 through 1/31/2026	\$ 167,378	\$ 3.83	3.5%
2/1/2026 through 1/31/2027	\$ 173,236	\$ 3.96	3.5%
2/1/2027 through 1/31/2028	\$ 179,299	\$ 4.10	3.5%
2/1/2028 through 1/31/2029	\$ 185,575	\$ 4.24	3.5%

Option to Renew for 5 years	15%	20%	Rate to be negotiated in 2028
2/1/2029 through 1/31/2030	\$ 4.88	\$ 5.09	
2/1/2030 through 1/31/2031	\$ 5.05	\$ 5.27	3.5%
2/1/2031 through 1/31/2032	\$ 5.22	\$ 5.45	3.5%
2/1/2032 through 1/31/2033	\$ 5.41	\$ 5.64	3.5%
2/1/2033 through 1/31/2034	\$ 5.60	\$ 5.84	3.5%

LONG-TERM LEASE WITH EXPANSION; 30-Year Leasing (Option 2)

1. Projected Rent Cost at Time of Expenditure

30-Year Lease:	\$ 229,525,892	- Projected
Tenant Improvement:	\$ 7,900,000	- Projected

TOTAL OPTION 2: \$ 237,425,892 - Projected

2. 2029 Net Present Value

30-Year Lease:	\$ 105,301,382	- Net Present Value (NPV)
Tenant Improvement:	\$ 7,900,000	- Net Present Value (NPV)

TOTAL OPTION 2: \$ 113,201,382 - Net Present Value (NPV)

LEASE PROJECTIONS CALCULATION DETAILS

Anticipated Events		Square Feet	43,758	Escalation	Rate/ Sq Ft	Monthly Rent	Yearly Rent	Net Present Value
Rent Schedule Under Current Lease	2/1/2022 to 1/31/2023			16.0%	\$ 3.45	\$ 150,965	\$ 1,811,580	
	2/1/2023 to 1/31/2024			3.5%	\$ 3.57	\$ 156,249	\$ 1,874,988	\$ 1,874,988
	2/1/2024 to 1/31/2025			3.5%	\$ 3.70	\$ 161,718	\$ 1,940,616	\$ 1,940,616
	2/1/2025 to 1/31/2026			3.5%	\$ 3.83	\$ 167,378	\$ 2,008,536	\$ 2,008,536
Negotiate new terms unable to reach agreement must relocate	2/1/2026 to 1/31/2027			3.5%	\$ 3.96	\$ 173,236	\$ 2,078,832	\$ 2,078,832
	2/1/2027 to 1/31/2028			3.5%	\$ 4.10	\$ 179,299	\$ 2,151,588	\$ 2,151,588
	2/1/2028 to 1/31/2029			3.5%	\$ 4.24	\$ 185,575	\$ 2,226,900	\$ 2,226,900
TENANT IMPROVEMENT					\$ 158.00 per SF			
Years	RENT	Square Feet	50,000	Discount Rate	5%		Projected Rent @ Year of Expenditure	2029 Net Present Value
1	New 10-year Lease Term	11/1/2028 to 10/31/2029		75.0%	\$ 6.50	\$ 324,756	\$ 3,897,075	\$ 3,897,075
2		11/1/2029 to 10/31/2030		3.5%	\$ 6.72	\$ 336,123	\$ 4,033,473	\$ 3,841,403
3		11/1/2030 to 10/31/2031		3.5%	\$ 6.96	\$ 347,887	\$ 4,174,644	\$ 3,786,525
4		11/1/2031 to 10/31/2032		3.5%	\$ 7.20	\$ 360,063	\$ 4,320,757	\$ 3,732,432
5		11/1/2032 to 10/31/2033		3.5%	\$ 7.45	\$ 372,665	\$ 4,471,983	\$ 3,679,112
6		11/1/2033 to 10/31/2034		3.5%	\$ 7.71	\$ 385,709	\$ 4,628,503	\$ 3,626,553
7		11/1/2034 to 10/31/2035		3.5%	\$ 7.98	\$ 399,208	\$ 4,790,500	\$ 3,574,745
8		11/1/2035 to 10/31/2036		3.5%	\$ 8.26	\$ 413,181	\$ 4,958,168	\$ 3,523,677
9		11/1/2036 to 10/31/2037		3.5%	\$ 8.55	\$ 427,642	\$ 5,131,704	\$ 3,473,339
10		11/1/2037 to 10/31/2038		3.5%	\$ 8.85	\$ 442,609	\$ 5,311,313	\$ 3,423,720
		Extension- renegotiation						
11		11/1/2038 to 10/31/2039		10.0%	\$ 9.74	\$ 486,870	\$ 5,842,445	\$ 3,586,754
12		11/1/2039 to 10/31/2040		3.5%	\$ 10.08	\$ 503,911	\$ 6,046,930	\$ 3,535,515
13		11/1/2040 to 10/31/2041		3.5%	\$ 10.43	\$ 521,548	\$ 6,258,573	\$ 3,485,007
14		11/1/2041 to 10/31/2042		3.5%	\$ 10.80	\$ 539,802	\$ 6,477,623	\$ 3,435,222
15		11/1/2042 to 10/31/2043		3.5%	\$ 11.17	\$ 558,695	\$ 6,704,339	\$ 3,386,147
		Extension- renegotiation						
16		11/1/2043 to 10/31/2044		10.0%	\$ 12.29	\$ 614,564	\$ 7,374,773	\$ 3,547,392
17		11/1/2044 to 10/31/2045		3.5%	\$ 12.72	\$ 636,074	\$ 7,632,890	\$ 3,496,715
18		11/1/2045 to 10/31/2046		3.5%	\$ 13.17	\$ 658,337	\$ 7,900,042	\$ 3,446,762
19		11/1/2046 to 10/31/2047		3.5%	\$ 13.63	\$ 681,379	\$ 8,176,543	\$ 3,397,523
20		11/1/2047 to 10/31/2048		3.5%	\$ 14.10	\$ 705,227	\$ 8,462,722	\$ 3,351,436
		Extension- renegotiation						
21		11/1/2048 to 10/31/2049		10.0%	\$ 15.51	\$ 775,750	\$ 9,308,994	\$ 3,508,462
22		11/1/2049 to 10/31/2050		3.5%	\$ 16.06	\$ 802,901	\$ 9,634,809	\$ 3,458,341
23		11/1/2050 to 10/31/2051		3.5%	\$ 16.62	\$ 831,002	\$ 9,972,027	\$ 3,408,936
24		11/1/2051 to 10/31/2052		3.5%	\$ 17.20	\$ 860,087	\$ 10,321,048	\$ 3,360,237
25		11/1/2052 to 10/31/2053		3.5%	\$ 17.80	\$ 890,190	\$ 10,682,285	\$ 3,312,234
		Extension- renegotiation						
26		11/1/2053 to 10/31/2054		10.0%	\$ 19.58	\$ 979,209	\$ 11,750,514	\$ 3,469,959
27		11/1/2054 to 10/31/2055		3.5%	\$ 20.27	\$ 1,013,482	\$ 12,161,782	\$ 3,420,388
28		11/1/2055 to 10/31/2056		3.5%	\$ 20.98	\$ 1,048,954	\$ 12,587,444	\$ 3,371,526
29		11/1/2056 to 10/31/2057		3.5%	\$ 21.71	\$ 1,085,667	\$ 13,028,004	\$ 3,323,361
30		11/1/2057 to 10/31/2058		3.5%	\$ 22.47	\$ 1,123,665	\$ 13,483,985	\$ 3,275,884
Total Expense to Lease for 30-Years							\$ 237,425,892	
2029 Net Present Value								\$ 113,201,382

The seal of the Court of Appeals of the State of New York is visible on the left side of the slide. It features a central figure, likely a personification of Justice, holding a scale and a sword. The figure is surrounded by a circular border containing the text "COURT OF APPEALS OF THE STATE OF NEW YORK" and "1787". Below the figure is a bear, and at the bottom of the seal is the year "1787".

Court of Appeal, New Sixth Appellate District Courthouse

Feasibility Study

June 17, 2022

Study Follow up – Sixth District Court of Appeal

Two questions from 5/26/22 CFAC requesting clarification

- Lease terms and extension options
- Utility & Maintenance costs

Study Follow up – Sixth District Court of Appeal

Feasibility Study Report – Revision Summary

- Section 05: Options Analysis
 - Updated utility and maintenance costs and resultant information.
- Appendix: A.4 Option 1 – New Building, Utility Projection
 - Utility Cost Benchmarking document replaced.
 - Deleted document: Maintenance Cost Benchmarking document

Lease Clarifications - Existing Lease

Current Lease Terms

- February 1, 2021 to January 31, 2029
- One 5-Year Option to extend (January 31, 2034)

Lease Clarifications - Lease Extension Options

Three Options

- 1) 5-year option (February 1, 2029 to January 31, 2034)
 - Rent Determination Window - February to April 2028
- 2) Amendment
 - 12-month or longer amendment
 - Negotiate as early as possible during current term
- 3) Holdover
 - Lease provides for a month-to-month holdover

Utility & Maintenance Clarifications - Utility Costs

- Original Study - utility benchmarking (10-year analysis)
 - Average Annual Utility Cost/SF = \$2.85
- New Santa Clara Family Justice Center (Built 2016)
 - Average Annual Utility Cost/SF = \$2.49
- Expanded utility benchmarking (10-year analysis)
 - Average Annual Utility Cost/SF = \$2.52
 - Escalated to 2029 Net Present Value = **\$3.15/SF**

Study adjusted to use \$3.15/SF. Appendix A.4 Updated

Utility & Maintenance Clarifications - Maintenance Costs

- Original Study, maintenance cost benchmarking
 - Average Annual Cost/SF = \$0.80
- Expanded analysis identified:
 - New 2021 Service Provider contract doubled preventive maintenance (PM) tasks = robust program
 - Contract Cost/SF = \$4.00

Study adjusted to use \$4.00/SF. Appendix A.4 Updated

Economic Analysis – Build New

TOTAL: \$ 96.5 million (2029 Net Present Value)

- Project Budget:

- Acquisition \$ 0
 - Perf. Criteria \$ 2.7 million
 - Design-Build \$ 83.1 million
- Total: \$ 85.8 million

- 30-Years of Operating Costs

- Utilities \$ 4.7 million
- Maintenance \$ 6.0 million

- Pros

- Provides a permanent facility for the Sixth Appellate District
- No site purchase cost (State-owned)
- Saves \$16.7 million at 2029 Net Present Value
- Saves \$141 million over a 30-year lease term

- Cons

- Requires up front capital

Option Comparison

BUILD NEW

\$96.5 million

2029 Net Present Value

LONG-TERM LEASE

\$113.2 million

2029 Net Present Value

\$237.4 million

Projected cost at time of
expenditure

Action

Staff requests approval to submit a FY 2023/24 COBCP for the new Sixth Appellate District project.

New Nevada City Courthouse Planning Study: Comments Summary

Item	Section	Feedback (abridged)	Entity	Response
1.	1.4	Section 1.4 - Project Background; Project Description; Par 2 Verify total SF of original courthouse and annex buildings	JCC	Agreed and revised.
2.	1.4	Section 1.4 - Project Background, Project History; Par. 2 Edit: "Due to cumulative and ongoing redirection of SB 1407 funds to the General Fund and trial court operations, projects were indefinitely delayed by the Judicial Court at its October 26, 2021 and January 17, 2013 Meetings. The act stopped work and ceased funding on all projects indefinitely, including the Nevada City Courthouse project."	JCC	Agreed and revised.
3.	1.4	Section 1.4 - Project Background, Project History; Par. 3 Verify which entity commissioned the RussDrulisCusenberry Report	JCC	Agreed and revised. Conflicting information was received so the Study removed reference to commissioning entity.
4.	1.4	Section 1.4 - Project Background, Project History; Par. 4 Delete: "and the City of Nevada, who advocated for the renovation of the existing Courthouse."	JCC	Agreed and revised.
5.	1.4	Section 1.4 - Project Background, Project History; Par. 6 Delete: "In January 2021, the State of California Governor's Budget for the 2021-22 fiscal year (also in the May revision), included funding for the project's"	JCC	Agreed and revised.
6.	1.4	Section 1.4 - Project Background, Project History; Par. 8 Delete: "independently" and "necessary"	JCC	Agreed and revised.
7.	1.5	Section 1.5 - Study Methodology; Participation, Par. 1 Question: Are the framework, scoring criteria and options defined in the report?	JCC	No change required. Yes, they are defined in Section 1.5 Study Methodology.
8.	1.5	Section 1.5 - Study Methodology; Participation, Par. 1 Delete: "The Team evaluated the feedback and solely implemented the input that was considered beneficial to the Study. Input that was not considered beneficial was excluded."	JCC	Agreed and revised.
9.	1.5	Section 1.5 - Study Methodology; Participation, Par. 3 Rephrase paragraph	JCC	Agreed and revised.
10.	1.5	Section 1.5 - Study Methodology; Criteria, Judicial Council Goals; County Title/Divestment Delete: " The Judicial Council requires ownership of all courthouse real estate."	JCC	Agreed and revised.
11.	2.3	Section 2.3 - Option 3; Transportation Engineering, Transit Accessibility Question: "The study indicates that Option 3 would possibly benefit from only one public transport access line (Route 1) as compared to Options 1 and 2 which have two (Route 7 and Route 1). However, Route 7 traverses the Golden Chain Highway (49) and stops at Site Option 3B. Is there a reason to suspect that Route 7 would not provide transit access to Site Options 3A and 3C along the same transit corridor?"	Nevada City Court	No change required. The Study team is relatively confident that both routes (Route 1 and 7) will serve the site in Options 1 and 2 because both routes currently serve the site. Under Option 3, the Study team assumed that Route 1 would serve the new site considering the local nature of the route and the number of stops currently along Highway 49. Route 7 is much more regional in nature and only provides one stop along Highway 49 through the study area (at the Government Center). If the Option 3 site happens to be at the Government Center, then both transit routes would serve the site. However, since the final location is not yet determined, we are unsure if Route 7 would include a stop at the new courthouse.
12.	2.3	Section 2.3 - Option 3; Criteria Evaluation, Site Function Question: The Report scores Option 3 Site Function as 100 for 4 of the 5 criteria. How can we assume a "perfect" score for Option 3, when the actual site for Option 3 is not yet known and issues with the general assumed location are not addressed? These issues include, but are not limited to: land acquisition and development, egress along highway 49, lack of public transit options, CEQA concerns, etc.	PAG	Agreed and revised. Please note, it appears as if there are viable site options that meet the Courts needs.
13.	2.3	Section 2.3 - Option 3; Criteria Evaluation, Site Function Comment: Given the issues listed (land acquisition and development, lack of public transit options, CEQA concerns, etc.), it is not clear how an actual site along Highway 49 would warrant a "perfect" score or that land acquisition would be inexpensive, quick and easy.	PAG	Agreed and revised. Please note, it appears as if there are viable site options that meet the Courts needs.

New Nevada City Courthouse Planning Study: Comments Summary

Item	Section	Feedback (abridged)	Entity	Response
14.	2.3	Section 2.3 - Option 3; Potential Sites Question: Site Options 3A, 3B and 3C are not within the boundaries of the City of Nevada. Please clarify whether the primary county courthouse is/was required to be within the city limits of the county seat. If that is correct, this would require the City of Nevada City to annex further land, which presumably has a cost, delay, etc.	PAG	No change required. It is not required for the Courthouse to remain within the City boundary. Options 3A, 3B, & 3C meet the goal of siting the Courthouse close to downtown Nevada City.
15.	2.3	Section 2.3 - Option 3; Criteria Evaluation, Site Function Comment: Unless and until a specific site is identified, it is not logical to assume a hypothetical site would get a "perfect" score, and be fast and cheap to acquire.	PAG	Agreed and revised. Please note, it appears as if there are viable site options that meet the Courts needs.
16.	2.3	Section 2.3 - Option 3; Cost Estimate Comment: The draft study assigns a perfect score for the cost of Option 3 where the cost is based on a very limited "model" that does not include any site configuration while Option 1 and Option 2 are costed based upon actual site impacts. Option 3 is certain to have site constraints that will influence the development, cost, and timing of the project. The costing of a hypothetical in Option 3 versus an actual in Option 1 and Option 2 cannot be reconciled as an accurate comparison and should not be used for scoring in this configuration.	PAG	Disagree and response provided. It would be negligent to not include a cost model for the courthouse options. The Study team has provided a very reasonable approach to costing the (3) options. Site constraints were included in the cost model for Option 3 and it is still clearly the lowest cost. The methodology used to score cost is based on using the lowest cost as a perfect score (100) and the remaining options receive a proportional cost score based on a scale of 0 to 100. If their cost is close to the lowest cost, their cost score will be close to 100. This methodology has precedent within the JCC and is consistent with the overall Study's approach.
17.	2.3	Section 2.3 - Option 3; Cost Estimate Comment: The draft study estimates that Property Acquisition Costs for Option 3 amount to \$500,000.00. This estimated amount considered to be relatively low.	PAG	Agree and revised. Acquisition costs for Option 3 has been adjusted to \$4,550,000 to reflect the current estimate of land cost (\$3,500,000) and an additional 30% to reflect escalation for appreciation and inflation over a 2-year period. This is a conservative value.
18.	1.4	Section 1.4 - Project Background, Project Background Comment: Section does not mention the 2011 DEIR that was prepared for a project on the current site.	PAG	No change required. Although the 2011 DEIR was not mentioned in the body of the report, the design team received a copy and has reviewed it to incorporate relevant aspects. The Study provides a list of documents available upon request immediately following the table of contents. The 2011 DEIR is included in the list.
19.	1.4	Section 1.5 - Project Description, Project Background, Par 1 Comment: Description notes that the current courthouse is located in the City's "central business district". This is inaccurate, the courthouse is both in the Downtown District and the Historic District.	PAG	Agreed and revised.
20.	2.1	Section 2.1 - Option 1; Site Conditions Comment: The Report notes that "there is insufficient parking adjacent to or on-site for Courthouse users". Although there are not 240 parking spaces as listed in the Option 3 base model, all Courthouse users currently use on-site or adjacent parking and have for the life of the courthouse.	PAG	No change required. Courthouse users have had no choice but to operate under the current conditions. However, the current parking is insufficient.
21.	1.1	Section 1.1 - Executive Summary; Cost Model Comment: Acquisition costs of Option 1 and Option 2 appear to be high given the state of disrepair of the building and the current use and occupancy level.	PAG	No change required. The numbers are based on current real estate market value. The Study consistently uses this approach.
22.	1.1	Section 1.1 - Executive Summary; Cost Model Comment: Acquisition costs for Option 3 (\$500,000) appear to be grossly undervalued. Given the 4 acre (+/-) need for Option 3, the land acquisition cost may be ten-times or greater in cost than listed (see comment 17).	PAG	Agree and revised. Acquisition costs for Option 3 has been adjusted to \$4,550,000 to reflect the current estimate of land cost (\$3,500,000) and an additional 30% to reflect escalation for appreciation and inflation over a 2-year period. This is a conservative value.
23.	2.1	Section 2.1 - Option 1; Criteria Evaluation, Site Function, Accessibility Comment: Minimal improvements for ADA accessibility or security are incorporated into Option 1 and this results in low scores. The study does not adequately address the accessibility and security improvements in Option 1 and this is resulting in a point discrepancy of 20 points with Option 1 as compared to Option 2 and 38 points with Option 1 as compared with Option 3. Several opportunities exist, such as constructing an at-grade entrance at Church Street with an elevator or building a plaza along the west side of the building facing Pine Street. Setbacks can also be increased where portions of the building need to be reconstructed.	PAG	Disagree and response provided. Accessibility & security options to the courthouse were reviewed. The designs used for the Study are reasonable and conceptual in nature and will need further evaluation in all aspects, including accessibility & security. There may be additional work-arounds to improve these and other conditions. Even if other measures are incorporated, accessibility & security issues will remain problematic for Option 1.

New Nevada City Courthouse Planning Study: Comments Summary

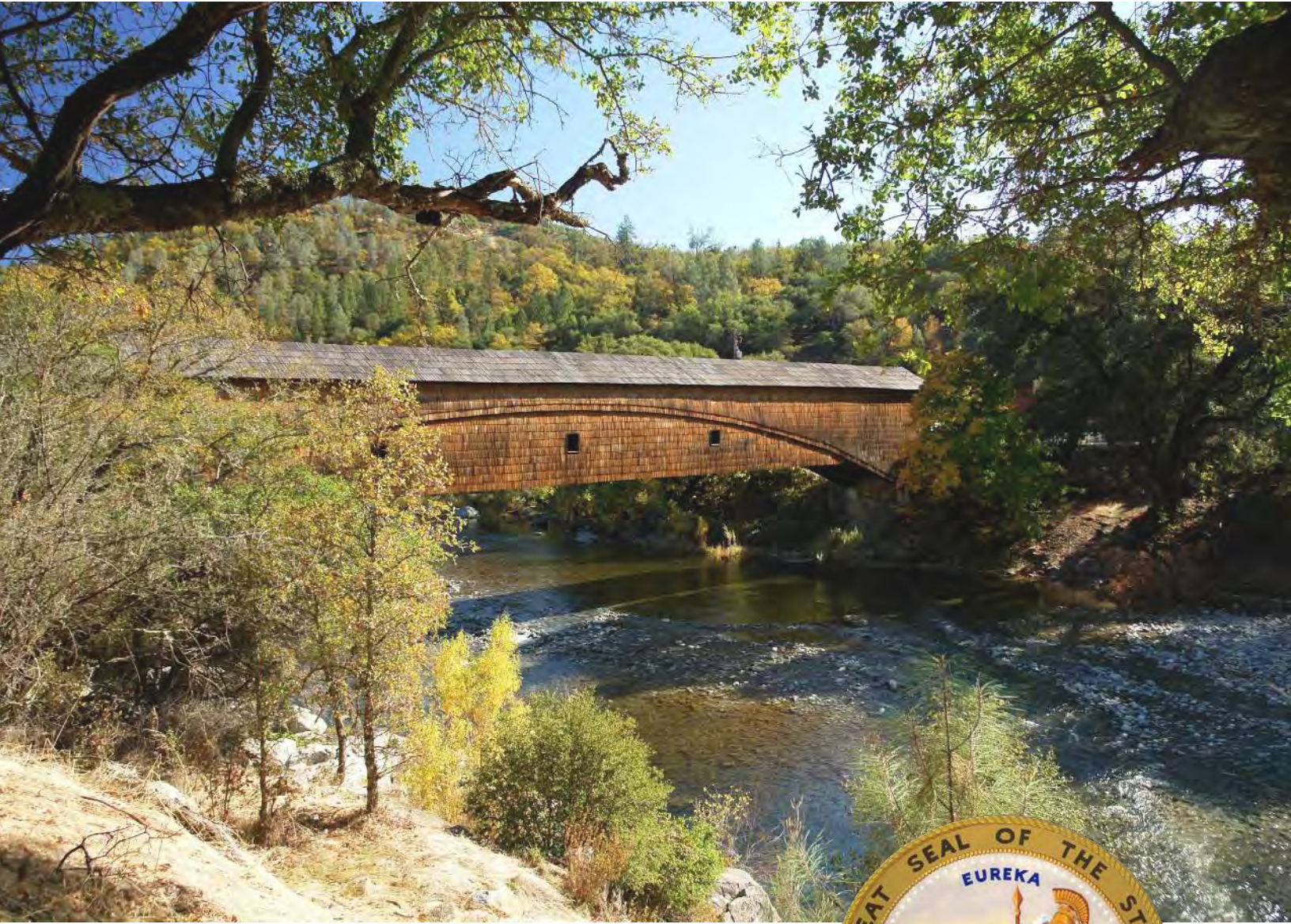
Item	Section	Feedback (abridged)	Entity	Response
24.	2.1	<p>Section 2.1 - Option 1; Cost Estimate</p> <p>Option 2 has a construction cost that is \$19 million higher than Option 3 despite the building structure being similar size, massing, and configuration. The cost of sitework should be less with Option 2 because streets and much of parking/site infrastructure is existing, whereas Option 3 would have all new sitework with walls, grading, 240-space parking lot, sidewalks, and new street accesses that would need to be developed. Also not considered is the cost of highway improvements and utility extensions that would be needed with Option 3. The cost difference results in a point difference of 30 points.</p>	PAG	<p>Disagree and response provided.</p> <p>The main differences in the cost of site between Option 2 and Option 3 are:</p> <ol style="list-style-type: none"> 1. Option 2 includes basement construction making the building 4 story – added basement excavation/ shoring/ waterproofing / additional vertical component such as elevator stop / stair 2. Option 2 includes a higher cost to capture the blast requirements (less in Option 3 since 25' stand-off has been satisfied) 3. Site Costs in Option 2 is higher due to the demolition of the existing Courthouse (though Option 3 included allowance for structure demolition). It will be more expensive to demolish and dispose in downtown Nevada. 4. Parking in Option 2 is included as parking structure as compared to surface parking for Option 3 – including perimeter street improvement for 2 parking sites (similar # of stalls add +\$9.7M) 5. Highway improvements and utility connection , new retaining walls, extensive grading are included in Option 3 (equivalent to \$8M) <p>These elements result in Option 2 having a more expensive sitework cost.</p>
25.	2.3	<p>Section 2.3 - Option 3; Criteria Evaluation, Project Delivery</p> <p>Comment: The differences in schedule related to the cost plan needs review. The start and completion dates do not align with actual time frames for the work nor represented the reasonable time frame for land acquisition and environmental study for Option 3. This discrepancy affects the project delivery point system and results in variance that favors Option 3 by 27 points.</p>	PAG	<p>Disagree and response provided.</p> <p>The schedules for each option were developed using standard development time frames and are applicable in this study. The main reason Options 1 & 2 take longer than Option 3 is because they require the court function to move out of the facility into swing space. The second reason is their construction is more complex and will require a longer duration. Option 3 shows a reasonable 2-year time frame for site acquisition and environmental study.</p>
26.	2.3	<p>Section 2.3 - Option 3; Sustainability</p> <p>Comment: Option 3 appears has several items that are not adequately considered. In the sustainability section, Option 3 is described as 'infill' with walkability, connectivity, and shared infrastructure. This is not accurate; there are no utilities, sidewalks, or adequate access roads for Option 3.</p>	PAG	<p>Agreed and revised.</p>
27.	2.3	<p>Section 2.3 - Option 3; Generic Site, Site / Civil Engineering, Existing Utilities</p> <p>Comment: Option 3 is described as having utilities available at the highway which is not accurate. Main line extensions would be needed for all utilities including a pump system for sewer. Development of roadway entrances, turning lanes and intersection improvement are all project costs that are not included in Option 3. Schematic site plans are not provided for Option 3 which would be necessary to evaluate costs, particularly since this Option includes newly developed 240-space parking, sidewalks, drive aisles and building safety setbacks that are assumed to meet current standards.</p>	PAG	<p>Agreed and revised.</p> <p>The civil narrative has been updated to describe this assumption. The cost estimate already included this system.</p>
28.	2.3	<p>Section 2.3 - Option 3; Generic Site, Site / Civil Engineering, Existing Site Topography</p> <p>Comment: The Report notes for Option 3 that "the site is anticipated to be relatively level with no significant grade changes." This is not a realistic assumption for the area around Nevada City and is not accurate for Options 3A, 3B or 3C. The cost of grade changes should be rightfully applied to Option 3 even as a generic site.</p>	PAG	<p>Agreed and revised.</p> <p>The narrative has been updated to describe this assumption. The cost estimate already included the topographical challenges.</p>
29.	2.3	<p>Section 2.3 - Option 3; Generic Site, Mechanical and Plumbing Engineering, Site Pressure</p> <p>Comment: The Report notes for Option 3 that "site pressure is assumed to be adequate such that no domestic water booster pump, and no fire pump, will be required." This is not a realistic assumption for the area. The cost for adequate water pressure including booster and fire pumps should be rightfully applied to Option 3 even as a generic site.</p>	PAG	<p>Agreed and revised.</p> <p>The narrative and cost estimate have been updated to include this.</p>

New Nevada City Courthouse Planning Study: Comments Summary

Item	Section	Feedback (abridged)	Entity	Response
30.	2.3	Section 2.3 - Option 3; Concept Design, Site / Civil Engineering Comment: The Report notes for Option 3 that “frontage improvements will include two new driveway entrances connecting to Highway 49”. In the absence of a comprehensive site layout and given the constraints of highway intersection in the area this is an unreasonable assertion. Given that two driveways cannot be reasonably built without significant offsite infrastructure changes the site access and circulation identified cannot be considered valid.	PAG	Disagree and response provided. This type of work is fairly typical and the team is reasonably certain it can be achieved. If it cannot be achieved the design will need to accommodate a divided on site vehicular path of travel, which is possible.
31.	2.1	Section 2.1 - Option 1; Sustainability Comment: The sustainability approach for Option 1 indicates that existing windows would need to be preserved which would result in a reduced LEED score in the category of “Energy and Atmosphere.” However, the windows could be replaced with more efficient windows that mimic the profile and exterior color/material of the existing windows.	PAG	No change required. Your comment is true. The historic architect believes retaining the original windows provides more value than replacing the windows. If Option 1 is selected this will be considered more in depth.
32.	2.1, 2.2, 2.3	Section 2.1, 2.2, 2.3 - Option 1, Option 2 and Option 3; Sustainability Comment: The LEED credit for “Neighborhood Development Location” is undoubtedly better for Options 1 and 2 which demonstrate better sustainability than Option 3 sites in terms of walkability, transit access, sensitive land protection, connectivity, and shared infrastructure. This credit should be added to the potential credits already noted in the sustainability approach for Options 1 and 2, as superior to a credit potential for Option 3.	PAG	Agreed and revised.
33.	2.3	Section 2.3 - Option 3; Potential Sites Comment: The geotechnical report prepared for the current courthouse site reflects weathered rock and boulders to be encountered, which is a typical condition throughout Nevada County and should be expected in all the potential Option 3 sites. In particular, the existing Forest Service site has experienced rockslides in the past, in the area presumed for additional parking as discussed under the “Concept” for Option Site 3A.	PAG	No change required. Agreed and this is consistent with our understanding and the Study.
34.	2.3	Section 2.3 - Option 3; Potential Sites, Option 3A, Existing Conditions, Existing Utilities Comment: Wrong map showing a different location than proposed.	PAG	Agreed and revised.
35.	2.3	Section 2.3 - Option 3; Criteria Evaluation, Judicial Council Goals, Long-range Goals Comment: Site Options 3A and 3C, will likely require highway widening for turning lanes and should be considered in terms of taxpayer impacts, and given a lower score to “long-range goals” for Option 3.	PAG	No change required. The scoring & cost estimate captured challenges like this in the Access to Site category.
36.	2.2	Section 2.2 - Option 2, Criteria Evaluation, Local Community Goals, Broader Regional Goals It is unclear how the “Broader Regional Goals” score for Option 2 was calculated. This score should be higher for Option 2 and be lower for Option 3.	PAG	No change required. Broader Regional goals includes the community beyond Nevada City; that is the entire region the courthouse serves. Option 2 scores 15 points higher than Option 3.
37.	2.3	Section 2.3 - Option 3, Cost Estimate Comment: Utility power extension is needed for Option 3 and will require undergrounding as a conditioned wildfire prevention measure. Construction costs should reflect this.	PAG	No change required. This is captured in the construction costs.
38.	2.3	Section 2.3 - Option 3, Cost Estimate Comment: The cost of demolition in Option 3A is not included in the project cost.	PAG	No change required. This is captured in the construction costs.
39.	2.3	Section 2.3 - Option 2, Criteria Evaluation, Site Function, Site Accessibility Option 3 is less equitable in terms of access for socially/economically disadvantaged individuals due to the lack of public transit access and lack of off-site pedestrian connectivity. This should be duly reflected in scoring.	PAG	No change required. The current score for Option 3 includes consideration for a decrease in public transit. It should be noted that there is potential for improved public transit access to Option 3.
40.	2.3	Section 2.3 - Option 3; Potential Sites Comment: Option 3 sites will likely have environmental impacts associated with geotechnical resources, greenhouse gas emissions, vehicle miles traveled, etc. and these should be addressed in the draft plan and any future environmental assessment.	PAG	No change required. Agreed, this will be required for any future project.

New Nevada City Courthouse Planning Study: Comments Summary

Item	Section	Feedback (abridged)	Entity	Response
41.	2.3	Section 2.3 - Option 2, Criteria Evaluation, Project Delivery, Community Impacts Under the Option 3, “community impacts” score, the only impact discussed is traffic. There are certainly other community impacts related to the re-location of the courthouse, including increased greenhouse gas emissions based on increased vehicle miles traveled and less multi-purpose travel, as well as impacts to socio/economic disadvantaged people who will find it harder to access the courthouse as compared to the current location.	PAG	No change required. The evaluation captures these in the access to site criteria.
42.	2.3	Section 2.3 - Option 3, Cost Estimate Comment: Option 3 sites should include improved pedestrian and transit access in order to better serve socio-economic disadvantaged people, and these improvements should be reflected in the construction costs.	PAG	No change required. There are existing public transportation options available to the considered Option 3 sites. Once a specific site is selected the required pedestrian and transit access will be considered in detail. This applies to all 3 options. Site improvements are included in the cost estimate.
43.	2.3	Section 2.3 - Option 3, Cost Estimate Comment: The Courthouse-jail connection tunnel noted in site Option 3B does not appear to be reflected in project or included in the construction costs.	PAG	No change required. The construction cost for a connection are included in the cost estimate. The operational cost savings to the County by reducing in-custody transportation costs are currently excluded from this study.
44.	2.3	Section 2.3 - Option 3, Cost Estimate Comment: The mothballing costs to maintain the existing structure associated with Option 3 should be factored into the total project cost.	PAG	Disagreed and response provided. The mothballing cost to maintain the existing structure associated with Option 3, if it is held for 30 years at an Operations & Maintenance cost of \$30,000 per year, would be \$500,000 in today's net present value, but we do not know how long the facility will be mothballed. It could be sold or leased at any time. Due to this uncertainty, we are not including this cost under Option 3 in the Study. Note: even under a worst-case-scenario, the \$500,000 Operations & Maintenance cost would not change the scoring.
45.	3.2	Section 3.2 - Economic Impact Report Comment: The economic impact analysis has a number of statements that are conflicting against the core document and should be reviewed; for example, that the building was remodeled in 1939 (page 2). The analysis also has a high use of what appears to be formulaic cut and paste resulting in the occurrence of entries like, “40PercentPercent” and incomplete financial numbers like using “m” to represent million in some entries and not others. There are other conflicts of numbers being spelled or not and decimal points being used for some detail but rounding used to represent other percentage detail. All statistical data in the analysis should be reviewed for accuracy and converted to standardized representation.	PAG	Agreed and revised.
46.	2.1, 2.2	Section 2.1 - Option 1 and 2.2 - Option 2; Concept Design, Transportation Engineering, Vehicle Circulation Comment: With the proposal to close Washington Street, Winter Street becomes a cul-de-sac (dead-end). Winter Street does not appear to have enough space to fit a turn-around location for vehicles if Washington Street is to be closed to vehicular traffic.	Community Resident	No change required. All three options presented are at a concept level and each require much further investigation and design if selected. Without a thorough analysis it appears there is ample space for a car or pickup truck to turn around without much difficulty. Since the current design accommodates fire vehicles on Washington street through removeable bollards, there will be the ability for fire trucks to pull through White Street as needed. The biggest challenge we see at the moment would be for trash vehicles or road cleaning vehicles. It is unlikely they would be granted the same access as fire trucks and so a more thoughtful solution would need to be included.



NEVADA COUNTY

New Nevada City Courthouse Planning Study

JUNE 9, 2022



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Reference Documents

AVAILABLE ON REQUEST

Soils Investigation, dated April 1980

Countywide Court Facility Master Plan, dated March 2003

California Court Building Seismic Assessment Program Volume 1, dated July 2003

California Court Building Seismic Assessment Program Volume 2, dated July 2003

New Nevada City Courthouse Draft Environmental Impact Report Volume 1, dated July 2011

New Nevada City Courthouse Draft Environmental Impact Report Volume 2, dated July 2011

Nevada City Courthouse Phase II Facility Feasibility Study, dated July 2015

Seismic Risk Rating of California Superior Court Buildings Volumes 1 and 2, dated October 2017

Accessibility Report, dated May 2018

Facility Condition Assessment 29-A1, dated October 2019

Facility Condition Assessment 29-A2, dated October 2019

SECTION 1

Introduction

1.1 EXECUTIVE SUMMARY

The Nevada County - New Nevada City Courthouse Planning Study provides the Superior Court of Nevada County with a facility plan that achieves the requirements of the 2020 California Trial Court Facility Standards, provides for the required security and space needs of the Court, and is responsive to the concerns of Nevada County residents. The Study analyzes the feasibility and compares the advantages and disadvantages of three (3) options for the Nevada County Superior Court in Nevada City. The first option (1) analyzes the feasibility of renovating the existing Nevada City Courthouse; the second option (2) analyzes replacing all or part of the Courthouse on the existing site; and the third option (3) analyzes building a new Courthouse in a new location. For the third option, three distinct sites were analyzed to determine the feasibility of new construction in a new location.

Option 1: Renovation of Existing Courthouse

This option will renovate the existing courthouse and annex building into a contemporary six-courtroom courthouse of approximately 79,756 square feet on the existing downtown Nevada City courthouse site. The estimated total project cost is \$219,780,230. The project also includes secured parking for judicial officers. For staff/public parking the project includes construction of one (1) new two-level parking structure and flat work on Washington street to accommodate pedestrian circulation for non-able-bodied persons.

Advantages	Disadvantages
<ul style="list-style-type: none"> • Greatly improves the existing courthouse for safety, security, and functionality • Fulfills all Courts space needs • Meets the local community goals of keeping the vibrancy of a courthouse in downtown Nevada City • Will update to a code compliant, seismically safe building 	<ul style="list-style-type: none"> • High Cost • Courthouse has inherent, unresolved functional issues • The site has inherent, unresolved security, access, and functional issues • Will not meet all the California Court Facilities Standards criteria • Major disruptions during construction for the community and courthouse visitors and staff

Option 2: New Construction on Existing Site

This option will demolish the existing courthouse and annex building and construct a new, contemporary six-courtroom courthouse of approximately 77,223 square feet on the existing downtown Nevada City courthouse site. The estimated total project cost is \$246,682,542. The project also includes secured parking for judicial officers. For staff/public parking the project includes construction of one (1) new two-level parking structure and flat work on Washington street to accommodate pedestrian circulation for non-able-bodied persons.

Advantages	Disadvantages
<ul style="list-style-type: none"> • Constructs a highly functional courthouse • Fulfills all Courts space needs • Meets the local community goals of keeping the vibrancy of a courthouse in downtown Nevada City • Meets the Judicial Council long-range goals 	<ul style="list-style-type: none"> • Higher Cost • The site still has safety and security issues • Major disruptions during construction for the community and courthouse visitors and staff • Longest construction schedule

Option 3: New Construction on New Site

This option will have the courthouse function move out of the existing courthouse and annex building to a newly constructed, contemporary six-courtroom courthouse of approximately 77,223 square feet on a new site near the Nevada City County Government Center. The estimated total project cost is \$176,823,060. The project also includes secured parking for judicial officers and staff/public parking adjacent to the new building.

Advantages	Disadvantages
<ul style="list-style-type: none"> • Lowest cost option • Constructs a highly functional, safe and secure courthouse and site • Fulfills all Courts space needs • Meets the Judicial Council long range goals 	<ul style="list-style-type: none"> • Disregards the Nevada City community’s desire to keep courthouse downtown • Likely, new courthouse site will not be as desirable a location to work or visit as downtown site

Finding and Conclusions

There was a significant divide between the scoring of the three options. Option 1 has major issues with accommodating a well-functioning courthouse in the existing building footprint and on an undersized site. Although Option 1 scored comparatively low, it scored very well for the Local Community Goals criteria. Since Option 2 proposes the construction of a new building on the existing site, it has a greater advantage over Option 1 and the functional scores reflect this. However, Option 2 is comparatively expensive and has significant logistical issues. Option 3 scores substantially higher than either Options 1 and 2 due to its high functionality and low cost, which are the main goals of the project. Court function, site function, and Project Delivery all played important roles in scoring disparities.

FINAL EVALUATION

WEIGHT (%)	ITEM	OPTION 1 Renovate Existing		OPTION 2 Rebuild On-Site		OPTION 3 Build on New Site	
Weight	Item	Score	Weight	Score	Weight	Score	Weight
70.0%	Criteria Evaluation Weighted Score	64	45	86	60	87	61
30.0%	Cost Weighted Score	80	24	72	22	100	30
100.0%	Final Score	69		82		91	

SECTION 1

CRITERIA EVALUATION SCORING MATRIX

WEIGHT (%)		ITEM		OPTION 1 Renovate Existing		OPTION 2 Rebuild On-Site		OPTION 3 Build on New Site	
Weight	Item	Score	Weight	Score	Weight	Score	Weight		
35.0%	Court Function	58	20	99	34	100	35		
20.0%	Site Function	45	9	70	14	90	18		
15.0%	Local Community Goals	96	14	92	14	32	5		
15.0%	Judicial Council Goals	70	11	94	14	99	15		
15.0%	Project Delivery	64	10	64	10	91	14		
100.0%	Final Criteria Score	64		86		87			

COST MODEL

ITEM	OPTION 1 Renovate Existing	OPTION 2 Rebuild On-Site	OPTION 3 Build on New Site
Construction Costs	\$133,820,000	\$148,816,000	\$112,798,000
Project Soft Costs	\$36,131,400	\$40,180,320	\$30,455,460
Property Acquisition Costs	\$5,005,000	\$4,997,500	\$4,550,000
Escalation Costs (May 2022 to midpoint)	\$44,823,830	\$52,688,722	\$29,028,600
Total Cost	\$219,780,230	\$246,682,542	\$176,832,060
Score	80	72	100

Cost Summary

See Appendix (3.6 Cost Estimates) for detailed cost analysis.

1.2 ACKNOWLEDGMENTS

The Judicial Council of California acknowledges the contributions of the following individuals and groups for their input and guidance during the creation of the New Nevada City Courthouse Planning Study.

The Judicial Council of California:

Pella McCormick, Director Facilities Services
 Jagandeep Singh, Principal Manager Facilities Services
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 Steve McFarlane, President, Nevada County Bar Association
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Economic Impact Analysis

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 Gus Stephens, Research Analyst

1.3 PURPOSE OF STUDY

The purpose of this Study is to analyze the feasibility and compare the merits and disadvantages of three (3) options for the Nevada County Superior Court in Nevada City. The first option analyzes renovating the existing Nevada City Courthouse; the second option analyzes replacing all or part of the Courthouse on the existing site; and the third option analyzes building a new Courthouse in a new location.

The goal of the study is to provide the Superior Court of Nevada County with a facility plan that achieves the requirements of the 2020 California Trial Court Facility Standards, provides for the required security and space needs of the Court, and is responsive to the concerns of Nevada County residents.

1.4 PROJECT BACKGROUND

PROJECT DESCRIPTION

The existing Courthouse is located at 201 Church Street, Nevada City on a 0.98-acre hillside site in the Nevada City downtown and historic districts. The Courthouse is a three-story, six-courtroom facility. It serves approximately two-thirds of the Nevada County population and accommodates criminal, misdemeanor, traffic, family law, juvenile, and civil calendars. The courts have continually provided justice services from this site for over 150 years.

The Courthouse was constructed in 1864 and was remodeled and expanded in 1900 and 1937. The expansion included an interconnected Annex constructed in 1964. The Courthouse and Annex function as a single, County-owned and managed building. Together, these buildings total 79,756 gross square feet, of which 24,057 component square feet is exclusively occupied by the court and the remaining balance of spaces is occupied by various county functions.

The Court's current space is considered unsafe, undersized, substandard, overcrowded, and functionally deficient. Challenges to court operations include severe safety concerns associated with seismic deficiencies, non-compliance with the Americans with Disabilities Act (ADA) standards, and no sprinkler system. The lack of secure circulation and separate paths of travel risks the safety of judges, court staff, the public, and in-custody defendants.

PROJECT HISTORY

The earliest Capital Project need for the Nevada City Courthouse was determined in the 2001 Judicial Council Facilities Assessment and the 2002/03 Master Plan. In 2008, the Courthouse was ranked in the Critical Need priority group of the Trial Court Capital-Outlay Plan adopted by the Judicial Council. It was only during the 2009-10 Fiscal Year that initial funding for a New Nevada City Courthouse project was released based on a Feasibility Study. In April 2012, alternate renovation options were explored due to Branch budget reductions.

Due to cumulative and ongoing redirection of SB 1407 funds to the General Fund and trial court operations, projects were indefinitely delayed by the Judicial Court at its October 26, 2021 and January 17, 2013 Meetings. The act stopped work and ceased funding on all projects indefinitely, including the Nevada City Courthouse project.

In 2015, RossDrulisCusenbery Architecture, Inc. prepared a Phase II Facility Feasibility Study that examined the feasibility for the potential reuse, renovation, and expansion of the existing Nevada City Courthouse at its existing location. The Study provided a program-responsive renovation/expansion concept and compared the total project cost of renovating and expanding the current court facility with that of building a new six-courtroom courthouse elsewhere in Nevada City or Nevada County.

In 2019, under SB 847, which revised Government Code section 70371.9, the Judicial Council reassessed projects identified in its update to Trial Court Capital-Outlay Plan and Prioritization Methodology adopted on October 24, 2008. In October 2019, the project was evaluated by the Judicial Council’s Court Facilities Advisory Committee (CFAC) with support from Judicial Council planning team and in collaboration with the courts. The CFAC submitted its report to the Judicial Council, which approved the New Nevada City Courthouse as an “Immediate Need” project on the Statewide List of Trial Court Capital-Outlay Projects on November 14, 2019 with a placeholder-budget of \$91.8 million for a new six-courtroom facility to replace the existing Nevada City Courthouse and Annex buildings. The report was submitted to the Senate Committee on Budget and Fiscal Review and the Assembly Committee on Budget.

In 2020, the Judicial Council submitted a Capital Outlay Budget Change Proposal (COBCP) to initiate a Planning Study for the Nevada County – New Nevada City Courthouse. The Planning Study is included in the Trial Court Five-Year Infrastructure Plan. Furthermore, the Courthouse is ranked third in the Immediate Need priority group and consequently is one of the highest priority trial court capital-outlay requests for the judicial branch.

The project’s Planning Study phase addresses three options: (1) Renovation of the existing Courthouse (Courthouse/ Annex buildings); (2) Replace the buildings in whole or in part on the existing site; and (3) Build a new courthouse at a new site to be determined.

The Judicial Council commissioned Hellmuth, Obata & Kassabaum, Inc. (HOK) and its Consultant Team (The Team) to provide Criteria Architect services to conduct this Planning Study for the Nevada City Courthouse. The Planning Study defines the project scope, budget, swing space, and timeline for each of the options as well as provide an analysis of impacts on the court and community. This Study has leaned on the Phase II Feasibility Study and developed it further with a functional analysis of the site and court, and provides a weighted scoring of the essential project criteria.

EXISTING BUILDING FINDINGS

The Team prepared a Preliminary Historic Findings Report of the Nevada County Courthouse to inform the feasibility study for the potential renovation and/or relocation of the Nevada County Courthouse. This document, included as Appendix 3.3, does not constitute a full existing resource evaluation for the purposes of the California Environmental Quality Act (CEQA): rather, it is intended to provide sufficient research to make a preliminary finding as to the potential existing significance of the property and develop a list of character-defining features that may warrant preservation under a potential rehabilitation scheme. Research indicated that, contrary to statements in prior reports, the Nevada County Courthouse is not currently listed in or formally determined eligible for listing in the California Register of Historical Resources or the local Nevada City register of historical resources. However, all portions of the building were constructed more than fifty years in the past and as such are age-eligible for historic resource status under CEQA.

The Nevada County Courthouse was constructed in phases over a hundred-year period from 1864 to 1964. Following original construction in 1864, the courthouse underwent several additions and alterations between 1868 and 1913 before it was thoroughly remodeled by the architect George C. Sellon in 1937, with funding from the Works Progress Administration (WPA). The annex was designed by the architecture firm Mau & Barnum and constructed in 1964 to provide additional space for County offices and the jail. During a site visit in February 2022, the Team confirmed that the courthouse does not convey its exterior or interior pre-1937 appearance, but does retain the vast majority of exterior materials, many interior features, and some spatial arrangement from the 1937 remodel. At the Annex, exterior building materials appear largely unchanged from the 1964 construction, and the interior, including more commonplace materials and finishes in line with its office use, has undergone some alterations but retains some spatial arrangement and features from its original construction.

The Team's preliminary finding indicates that the Courthouse portion of the building appears eligible for the California Register under Criterion 1 (Association with historic events or patterns of events) as the locus of Nevada County legislative activity since shortly after the founding of Nevada County in 1851, with a period of significance of 1937-1971, reflecting the earliest year to which the courthouse retains integrity through the end of the historic period (fifty years in the past). Both the Courthouse portion of the building and the Annex appear eligible for the California Register under Criterion 3 (Architecture), because they embody the distinctive characteristics of Art Moderne style architecture and Mid-Century Modern style architecture, respectively; the Courthouse portion of the building is also the work of a master architect, George C. Sellon. The period of significance for this finding is 1937 for the Courthouse portion of the building and 1964 for the Annex. The building's character-defining features are those features which were installed during the period(s) of significance and that enable the building to convey its historic appearance. Character-defining features of the Nevada County Courthouse, including the Annex, broadly include footprint, massing, cladding, pattern and material of fenestration, façade ornament, spatial arrangement of publicly accessible interior spaces, and decorative interior features. A full list of character-defining features, sub categorized into those of primary, secondary, and non-contributing significance, is included in the Preliminary Historic Findings Report (see Appendix 3.3)

1.5 STUDY METHODOLOGY

The Study Methodology included the following processes and deliverables:

The Study began by reviewing existing work performed relevant to the Study. This included Facility Condition Assessments, Structural Assessments, ADA Assessments, the Nevada City Master Plan, the Nevada Court Facility Plan, the Nevada City Courthouse Phase II Facility Feasibility Study (2015 by RossDrulisCusenbery Architecture, Inc.), meeting notes, potential parking areas, original courthouse as-built plans, and other documents.

Following this review, the Team identified and defined the three options to be considered. Following the option definition and prior to developing and analyzing the options, the team defined the substantive criteria by which each option would be evaluated. The Team developed the process by which each option would be evaluated and provided a corresponding weight for each criterion. The approach was presented and approved by the Project Advisory Group. Concurrent to developing the substantive criteria, the architectural program of spaces was defined, which was used to develop the concept designs.

The next step was to examine each option, develop each option to demonstrate feasibility, describe the project at a high level with diagrams and narrations, and develop an approximate order of magnitude cost estimate.

Following the development of each option, the Team reviewed the options from each of the substantive criterion's lens and provided a relative score for each criterion. This score was weighted and then combined with the Rough Order of Magnitude (ROM) cost estimate to develop an overall score for each option.

PARTICIPATION

This Study was conducted by the HOK and its Consultant Team in consultation with the Judicial Council Steering Committee (Steering Committee) and the Project Advisory Group (PAG).

The Team developed the framework, scoring criteria, and options for the Study independently and presented the methodology, progress, and findings to the Steering Committee and the PAG to solicit feedback with the intent of improving the quality of the Study.

The goal of the Study is to provide the Superior Court of Nevada County with a facility plan that meets the operational, security and space needs of the Court, while being responsive to the needs and concerns of Nevada County residents. The Team developed the options presented in this Study independently to meet the established scoring criteria to the highest degree possible. Furthermore, The Team conducted an independent evaluation of the feasibility of each option, the results of which are presented in this Study.

At the outset of the Study, the Team reviewed information provided by the Judicial Council and the PAG. The Team also reviewed standards and guidelines for contemporary court operations and found that the existing Courthouse falls short of these standards. The community has called for the courthouse function to continue in its current location and provided input regarding the existing courthouse building.

OPTION DESCRIPTIONS

The Study analyzed the feasibility and compared the merits and disadvantages of three (3) options for the Nevada County Superior Court. The first option (1) analyzed the feasibility of renovating the existing Nevada City Courthouse; the second option (2) analyzed replacing the entire Courthouse on the existing site; and the third option (3) analyzed building a new Courthouse in a new location. For the third option, three (3) distinct sites were identified as potential locations for the new courthouse. However, this Study is using a “generic” site as the basis of evaluation. The generic site is located near all three potential locations and essentially averages the evaluation of the three potential sites.

CRITERIA

The Criteria implemented in this Study was developed in consultation with the Steering Committee and the PAG to provide the Superior Court of Nevada County with a facility plan that achieves the requirements of the 2020 California Trial Court Facility Standards, provides for the required security and space needs of the Court, and is responsive to the concerns of Nevada County residents.

The three (3) options were evaluated based on the following Criteria to determine the recommended solution:

1. Court Function
2. Site Function
3. Community Goals
4. Judicial Council Goals
5. Project Delivery

Each of these criterion were then broken down into smaller components, as shown in the following descriptions.



Court Function

The purpose of the new Nevada City Courthouse is to provide a usable and functional space for court operations. The Study defines Court Functionality to include the following:

Safety and Security – The Courthouse must provide a safe and secure environment for Judicial Staff, the general public, and those in custody. Safety provisions include, but are not limited to, providing separate and secure paths of circulation to ensure that the only point of interaction between judges, staff, people in custody, and the public is within the courtroom; providing dedicated holding areas for in-custody defendants; and a secure, interior vehicular sallyport for in-custody transfer.

Program Requirements – The Study developed and implemented a single program to describe and meet the needs of the Court. This single program was applied to all three options.

Overall Court Functionality – The layout of a courthouse is complex and must respond to unique and efficient circulation patterns. The Study developed the most efficient plan for each option to include circulation paths, functional adjacencies, and building maintenance efficiencies.

The functionality will be reviewed from three (3) categories: (1) Circulation patterns, which evaluates the overall circulation within the building; (2) Functional Adjacencies, which evaluates the ability of departments to be located in proximity to other departments where there is a need; and (3) Building Efficiencies, which evaluates the building from an operational and maintenance perspective.



Site Function

The Study evaluated the feasibility of a new Courthouse on two distinct sites. Option 1 and 2 are located on the original Nevada City Courthouse site in downtown Nevada City. Option 3 is located on a generic site close to the Nevada County Government Center.

Safety and Security – The Study evaluated site elements in their ability to meet the safety and security requirements of the facility. For example, the Judicial Council Facility Standards require a 25-foot standoff to mitigate vehicular collision and similar threats to a building.

Site Program at Location – Similar to the building's program requirements, the Study developed space and circulation requirements for the two sites.

Access to site – The Study conducted a traffic analysis to determine the degree of site access for Courthouse users, including vehicular access, public transportation, and pedestrian circulation from adjacent parking locations to the building entry. The analysis also included an evaluation of site access for different Judicial Partners such as the Sheriff's Department, attorneys, and the general public.

Site functionality – The Study evaluated the efficiency and ease of access for Courthouse users and Judicial Partners.

Accessibility – The Study evaluated the ability and ease of access for non-able-bodied users and visitors (disabled access) to the Courthouse.



Local Community Goals

As a civic building, the Courthouse must support the goals of the City and County of Nevada. The Study evaluated the capacity and role of each option in supporting these goals.

Public Image of the Building – The Study evaluated the end-use of the original Courthouse building for each option after project completion. The Study also evaluated the public image of the original Courthouse building after project completion and the community impact thereof.

Economic Impact – The Study conducted an economic impact assessment of the new Courthouse on the local downtown Nevada city businesses, including retailers, food and beverage establishments, hotels, and Judicial Partner services.

Historic Aspects / Ordinance 338 – The Study conducted historic building assessments to evaluate the impact on the historic preservation requirements of the original Courthouse building for each option.

Useful life of Existing Building – The Study evaluated and compared the remaining useful life of the original Courthouse building for each option after project completion based on high-level assessments of building systems, existing conditions, and other factors.

Broader Regional Goals – The Nevada City Courthouse is the primary courthouse for most civil and criminal trials and serves approximately two-thirds of the County’s population. The Study evaluated the capacity and role of each option in supporting broader community goals beyond Nevada City, including the western portion of Nevada County.



Judicial Council Goals

Similar to local community goals, the Judicial Council has set goals that apply to its statewide courthouse portfolio. The Study evaluated the capacity and role of each option in supporting the priority elements of these goals, including the following:

County Title/Divestment – The current Courthouse site has shared ownership between Nevada County and the Judicial Council. The Study evaluated the feasibility of divestment by Nevada County to facilitate change of ownership of the current Courthouse site to the Judicial Council for Options 1 and 2. Furthermore, the Study evaluated the feasibility of procuring a new site in proximity to the Nevada County Government Center in line with Option 3.

Long-range goals – The Study evaluated the long-term functionality of the Courthouse for each option.

Meets Judicial Council Facility Standards – The Judicial Council has developed an extensive document detailing the needs and functions of a Judicial Council courthouse. The Study evaluated the ability of each option to meet these standards.

Remaining Useful Life of Renovated/New Building – The Study evaluated and compared the remaining useful life of the new Courthouse building for each option.



Project Delivery

The Study evaluated the level of complexity in the design and construction of each option.

Schedule – The Study evaluated the length of time for each option to achieve project completion. This includes the duration anticipated for funding approval; site selection, acquisition and due diligence; design; swing space procurement and completion; moving court functions to swing space; and construction

Disruption of Services – The Court must remain operational during the design and construction of the new Courthouse. The Study evaluated the impact of the construction process on courthouse functions and operations for each option. For example, with Option 1 and 2, the Court must transfer its operations to a temporary location (swing space) during construction.

Community Impacts – The Study evaluated the impact of the construction process on the community for each option. This includes disruption to services, road closures, impact on parking, etc.

Cost Evaluation

The Team conducted a comparative cost analysis for the three (3) options under consideration using the following categories of total project cost:

- Building construction
- Sitework construction
- Project soft costs
- Land acquisition costs (provided by JCC)
- Swing space costs – temporary construction and ground lease
- Escalation for future cost increases in labor and / or materials based on proposed project schedule for design and construction

Building costs are further broken down into sub-categories for both new construction and existing building renovation / preservation / system and code related upgrades and temporary construction / phasing (where applicable), in order to show the major cost differences and drivers between the Options. Similarly, site costs are also broken down into major cost categories for both onsite and offsite elements.

For each Option, a total recommended project budget has been established based on the above criteria.

In addition, the Team has provided comparative analysis of the cost data using a set of standardized metrics as follows:

- Building GFA efficiency (SF per court room)
- Total project cost per GFA
- Cost per program area (ASF)
- Building only cost per Court
- Building only cost per GFA
- Building cost per cubic foot (CF)

These metrics allow for detailed analysis of the Option specific scope and design, as well as providing data points for overall value of investment between the Options.

Scoring Process

The Study implemented a weighted scoring framework to evaluate each option. The Criteria were scored on a scale of 0 to 100, with each item’s score weighted according to its priority to the project.

The team considered many different options to develop the Cost Evaluation Score. The selected methodology had two important elements. The most important is that the Cost scoring would be consistent with the Criteria scoring. This consistency supports the desired 70/30 priority of Criteria to Cost. Additionally, the selected methodology is an established methodology for the Judicial Council with a successful precedent.

CRITERIA EVALUATION SCORING MATRIX	
ITEM	WEIGHT (%)
Court Function	35.0%
Site Function	20.0%
Local Community Goals	15.0%
Judicial Council Goals	15.0%
Project Delivery	15.0%
Final Criteria Score	100.0%

The Criteria Evaluation Scoring Matrix illustrates the breakdown of each criterion in relationship to its weighted equivalent

SCORING EXAMPLE

ITEM	OPTION 1 Renovate Existing	OPTION 2 Rebuild On-Site	OPTION 3 Build on New Site
Total Cost	\$10,000,000	\$12,000,000	\$30,000,000
Score	100	83	33

Scoring Calculations

Option 1

Line 1. Enter Maximum number of cost points	100
Line 2. Enter the dollar amount of the lowest bid	\$10,000,000
Line 3. Enter the dollar amount of the bid you are evaluating	\$10,000,000
Line 4. Divide the number in line 2 by the number in line 3	1.00
Line 5. Multiply the number in line 1 by the number in line 4	100
Line 6. Round the number in line 6 to the nearest whole number	100

Option 2

Line 1. Enter Maximum number of cost points	100
Line 2. Enter the dollar amount of the lowest bid	\$10,000,000
Line 3. Enter the dollar amount of the bid you are evaluating	\$12,000,000
Line 4. Divide the number in line 2 by the number in line 3	0.83
Line 5. Multiply the number in line 1 by the number in line 4	83
Line 6. Round the number in line 6 to the nearest whole number	83

Scoring Calculations, *continued*

Option 2

Line 1. Enter Maximum number of cost points	100
Line 2. Enter the dollar amount of the lowest bid	\$10,000,000
Line 3. Enter the dollar amount of the bid you are evaluating	\$30,000,000
Line 4. Divide the number in line 2 by the number in line 3	0.33
Line 5. Multiply the number in line 1 by the number in line 4	33
Line 6. Round the number in line 6 to the nearest whole number	33

The Final Score for each option is the sum of the Criteria Weighted Score and the Cost Weighted Score, which are both weighted a second time according to their priority to the project.

FINAL EVALUATION SCORING MATRIX	
ITEM	WEIGHT (%)
Criteria Evaluation Weighted Score	70.0%
Cost Evaluation Weighted Score	30.0%
Final Score	100.0%

The Final Evaluation Scoring Matrix illustrates the breakdown of each criterion in relationship to its weighted equivalent

SECTION 2.0

Courthouse Options

2.1 OPTION 1 — RENOVATION OF EXISTING COURTHOUSE FACILITY

EXISTING CONDITIONS

Architecture

Site Conditions

The Courthouse is located at 201 Church Street and is flanked by North Pine Street to the west and Main Street to the east. Washington Street flanks the north side of the building.



Nevada County Courthouse

The Courthouse is located on a steep terrain, which negatively impacts site access for able and non-able-bodied persons.



The site's steep terrain creates accessibility challenges



There is insufficient parking adjacent to or on-site for Courthouse users.



Surface parking lot adjacent to the site

Both the original Courthouse building and Annex line the northern, eastern, and southern edge of the site and fail to meet the required 25-foot stand-off distance per the Judicial Council Standards.

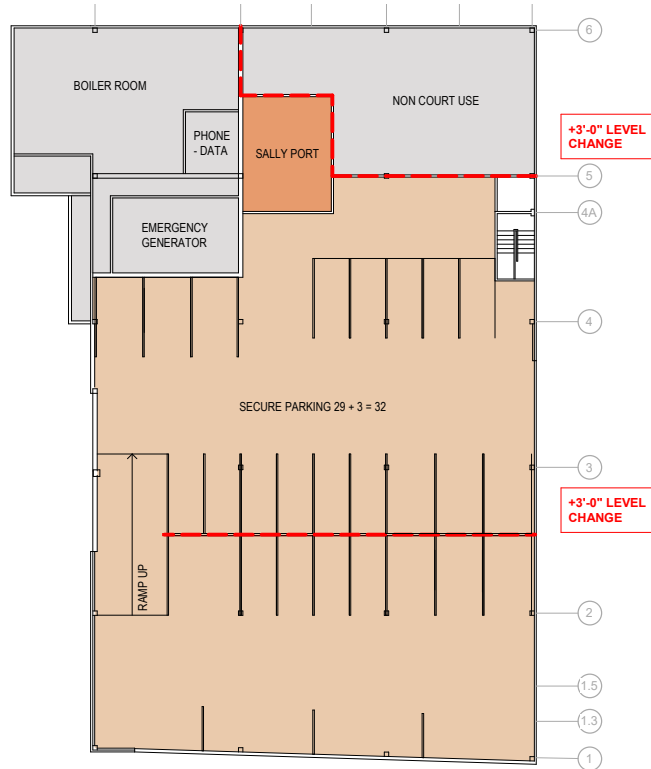


View of Annex from Church Street

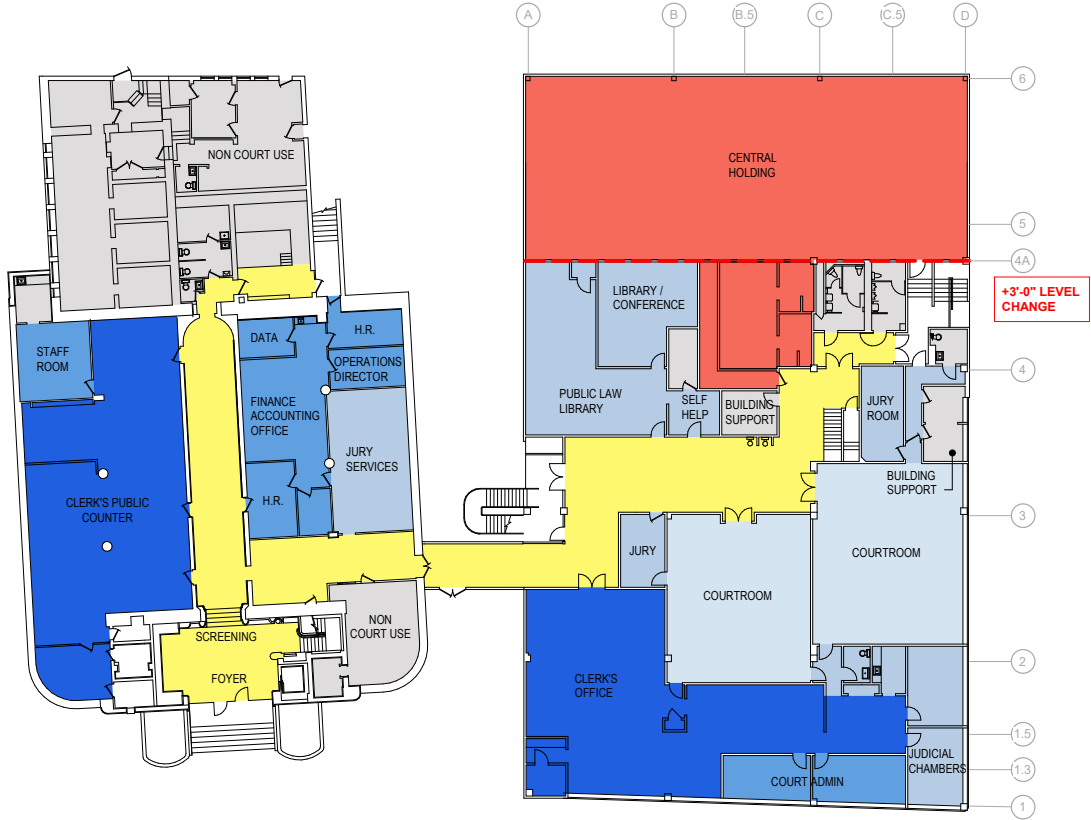
Building Conditions

The courthouse and annex are comprised of three stories and two stories, respectively. Level 1 includes the clerk's offices, two courtrooms, judicial chambers, administration spaces, law library, and a central holding area. Level 2 houses three courtrooms, judicial chambers, mediation and facilitation, conference rooms, offices, and the I.T. Department. Level 3 includes one courtroom, judicial chambers, and offices. The court occupies a little over a third of the space in existing buildings, with the balance being underutilized or shared by Nevada County programs.

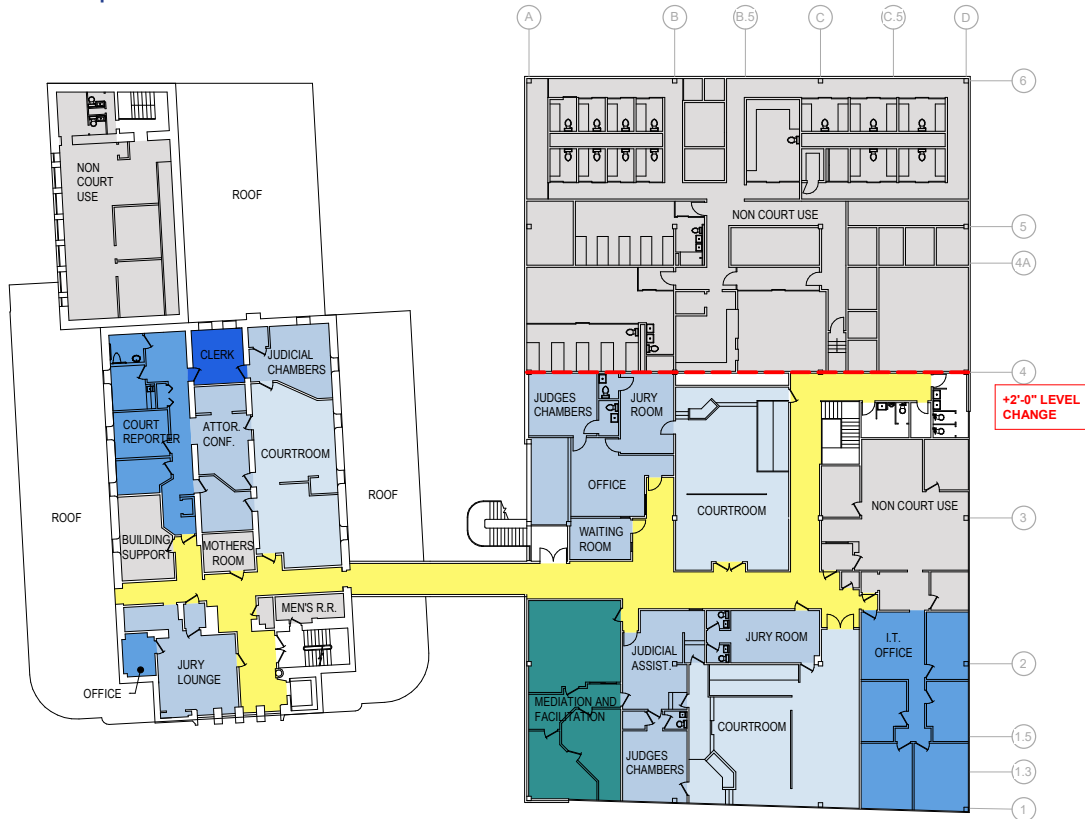
EXISTING PLAN | Lower Level



EXISTING PLAN | Level 1



EXISTING PLAN | Level 2



EXISTING PLAN | Level 3



The Court's current space is considered unsafe, undersized, substandard, overcrowded, and functionally deficient. Challenges to court operations include severe safety concerns associated with seismic deficiencies, non-compliance with ADA standards, and no sprinkler system. Currently, in-custody defendants are escorted to the courtrooms on all floors through non-secure public corridors and stairwells. The lack of secure circulation and separate paths of travel risks the safety of judges, court staff, the public, and in-custody defendants. The holding area does not adequately provide secure access to all courtrooms.

The building's entrance can only accommodate one security screening station, which is not enough to keep up with the large volume of people entering the building each day. It can take up to 15 minutes to clear security screening at peak times. There is no lobby at this entrance, forcing visitors to queue up outside regardless of weather conditions. Lastly, the building lacks a dedicated jury assembly room, which results in jurors assembling in the undersized courtrooms and overflowing into hallways.

While parking is secure for judges, it is not secure for staff, litigants, jurors, and other constituents.

Site/Civil Engineering

Site Topography

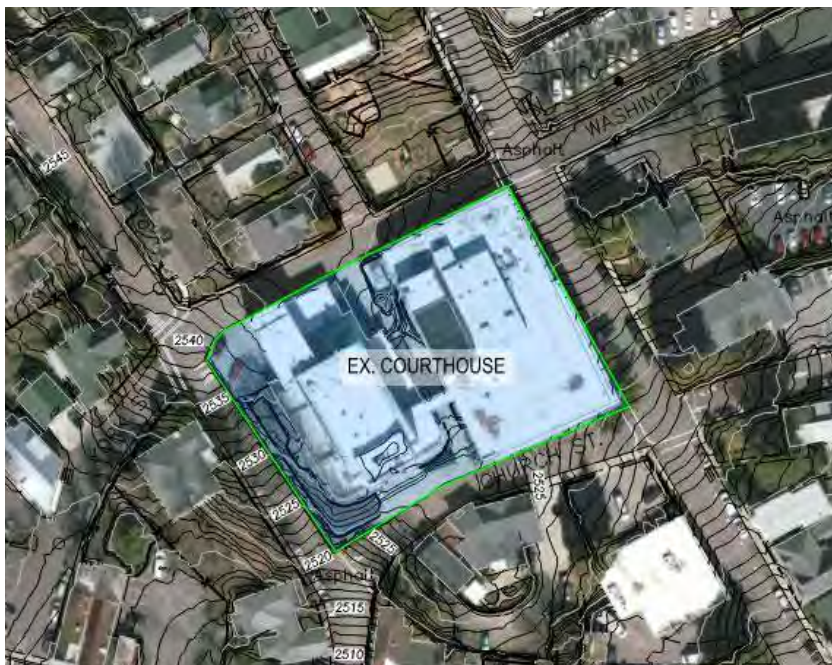
The existing Courthouse and Annex building are located on a full city block, with North Pine Street west of the building, Washington Street to the north, Main Street to the east, and Church Street to the south. The site is located on moderately steep terrain, generally sloping from north to south.

Based on an aerial topographic survey provided by the Nevada City Engineering Department, the high point of Washington Street is approximately an elevation of 2,546 feet above mean sea level, located near the midpoint of the Courthouse site. Washington Street drains east and west towards Main and North Pine Streets.

North Pine Street slopes north to south, dropping approximately 21 feet to an elevation of approximately 2,520 feet near the southwest corner of the site.

Main Street slopes north to south with an elevation drop of approximately 24 feet to an elevation of 2,519 feet, near the southeast corner of the site.

Church Street drains east and west, with a high point at elevation 2,529 feet located near the Courthouse entry. The street drops approximately 10 feet from the high point to the adjacent intersections.



Site Topography for Existing Nevada City Courthouse

Existing Site Access

Site access includes two secured vehicular entrances located along Main Street, accessing the Annex Building. An access for trash and maintenance vehicles is located on Washington Street. A second vehicular access is located on Washington, providing access to a few accessible parking spaces.

Pedestrian sidewalks are located along each of the adjacent streets. The main entrances to the Courthouse and Annex Buildings are located on Church Street. Pedestrian access for authorized personnel is located on Main Street and Washington Street.

Compliant accessible access to the existing buildings is not provided, and some of the existing public sidewalks appear substandard from an accessibility and local building code standpoint.

Existing Utilities

All utilities shall comply with the applicable Authority Having Jurisdiction (AHJ) within the City of Nevada City or the County of Nevada.

All proposed utility systems, any necessary design calculations and applicable County or City permits shall be designed by the Design-Build entity. All proposed utilities connections to existing infrastructure, verification of existing utilities, survey of existing underground utility locations, sizes and inverts shall be the responsibility of the approved Design-Build entity.

The existing Courthouse is connected to water, sewer, and drainage infrastructure. The figure below shows the size and approximate location of the Nevada City’s sewer and water infrastructure near the Courthouse site.

Based on information provided in studies previously prepared for the site, the existing utilities serving the site are believed to have adequate capacity for the building.

Existing Sanitary Sewerage System

Nevada City provides sanitary sewer collection for the Courthouse site. Infrastructure adjacent to the site consists of gravity mains owned and operated by the City. Sewer laterals serving buildings are the responsibility of the property owner to maintain.

Existing sewer manholes are located at the intersections of Church and North Pine Streets, and Church and Main Streets.

Existing Storm Drainage System

Nevada City uses Caltrans standard specifications for roads, drainage, and sidewalks. Publicly maintained storm drainage is located within the vicinity of the site.

The public storm drain system does not include any treatment system prior to draining into local waterways.

Based on a site visit performed by the team, underground storm drainage appears to exist within North Pine Street, as evident by existing manholes marked as storm drain.



Existing Sewer and Water Infrastructure Map - Existing Courthouse Site

Existing Domestic Water and Fire Distribution System

According to a utility map provided by Nevada City, 6-inch water mains exist in Washington and Main Streets, and an 8-inch main runs alongside the site in North Pine Street. A 6-inch water line feeding an existing fire hydrant from the main in North Pine is located in a portion of Church Street. The static pressure of the existing public water system is believed to range from 65 to 80 pounds per square inch (psi) based on previous studies done for the site. Since these studies were performed several years ago, the current pressure should be verified.

The Courthouse and Annex buildings have separate, metered domestic water connections. These services connect to the existing main in Washington Street.

A public fire hydrant exists near the Courthouse entrance on Church Street and is the sole hydrant immediately adjacent to the site. Two other hydrants are within proximity to the site, across the street from the site on Washington and Main streets.

The existing buildings do not have a fire suppression sprinkler system.

Existing Gas Distribution System

Natural gas is currently provided by Pacific Gas & Electric (PG&E). Gas service is served from Washington Street into the areaway between the buildings entering the Annex. Natural gas is then piped to the existing Courthouse.

Structural Engineering

The existing Nevada County Courthouse consists of an assembly of six interconnected or abutting structures on a sloped city block site. The original Courthouse was constructed circa 1864. The other primary building, the Annex building, was constructed circa 1964. The structures utilize a variety of construction materials and have undergone numerous improvements, alterations, and additions over their history.

Based on available soil reports, excavation at the site is anticipated to be difficult due to weathered rock and boulders which will likely be encountered and require removal. Additionally, some moderately compressible soils near the surface will require over excavation and re-compaction to reduce the magnitude of anticipated settlements.

Existing Courthouse

The existing Courthouse is a three-story rectangular building constructed of the following:

- Its sheet metal roof is supported by gable steel trusses spanning to the perimeter 16-in thick unreinforced brick masonry walls
- Second and third floors are 4-1/4-inch-thick concrete slabs supported by steel beams spanning to the perimeter unreinforced brick masonry walls as well as interior brick corridor bearing walls.
- Perimeter walls at the second level are 20 inches thick.
- Perimeter walls at the first level are 3-foot-thick granite block. Much of the longitudinal perimeter walls were removed during the construction of the 1937 addition (see below)
- First level floors are concrete slab on grade
- Original foundations are granite block
- Seismic bracing of the unreinforced brick masonry parapets was added at some point.

Existing Courthouse Jail Addition

The Jail Addition was added prior to 1900 and was originally a 2-story structure. Sometime later a third story was added. The building is rectangular in plan. Floor levels in this addition do not align with the floor levels in the Original Courthouse. Its construction includes:

- A sheet metal roof supported by sawn lumber joists
- Roof joists are supported by interior wood stud partitions and perimeter 13-inch thick unreinforced brick masonry walls
- Diagonal board sheathing supported by sawn lumber joists at the third floor
- The third floor joists are supported by steel beams and pipe columns and perimeter 13-inch thick unreinforced brick masonry walls
- The second floor consists of a 3-inch thick concrete slab supported on steel beams supported on a longitudinal interior unreinforced masonry bearing wall and perimeter granite block walls
- Foundations are granite block founded approximately 24 inches below grade

Existing Courthouse 1937 Addition

The 1937 Addition to the original courthouse includes one-story east and west wings along the length of the original building and a four-story front façade/entry structure. The east and west wings of this addition removed significant portions of the first level perimeter walls of the original courthouse and re-supported them on the addition framing. Its construction includes:

- Concrete slab roofs and floors supported by steel beam framing encased in concrete
- Steel beams are supported through riveted connections to steel columns
- Steel columns are supported by shallow concrete foundations, some of which are unreinforced
- Perimeter walls of the addition are lightly reinforced concrete. Where walls abut the existing structure, grouted dowels were installed
- Floor slab at grade is reinforced concrete

Existing Courthouse Mechanical Room and Office Addition

The Mechanical Room and the Office Addition are one-story structures that sit to the east of the Jail Addition. The construction of these buildings includes:

- Reinforced concrete slab roofs
- Reinforced concrete walls bearing on shallow concrete foundations
- Floor slab at grade is reinforced concrete

Existing Courthouse Stair Addition to the Jail Addition

The Stair Addition to the north end of the Jail Addition is a three-story rectangular concrete building. This addition has three walls and its east and west walls and floors are presumably connected to the Jail Addition. The construction of this building includes:

- Reinforced concrete slab roofs
- Reinforced concrete walls bearing on shallow concrete foundations
- Floor slab at grade is reinforced concrete
- Internal stairs are reinforced concrete

Annex Building (1964)

The Court Annex is a three-story rectangular building with a penthouse. The construction of this building includes:

- Reinforced concrete waffle slabs at roof and floor supported by concrete columns.
- Portion of roof structure at the original penthouse has a 6-inch-thick reinforced concrete slab with #4 bars each way top and bottom supported by reinforced concrete beams
- Concrete columns are rectangular and supported on shallow reinforced concrete foundations
- The original penthouse and the enclosed rooftop exercise yard are steel framed with a 3-inch deep, 18-gauge metal deck roof diaphragm and steel tension rod lateral resisting elements
- The security viewing enclosure adjacent to the exercise yard relies on concrete masonry units
- The ground level has a 5-inch thick concrete slab on grade with #4 reinforcing bars at 15 inches on centers each way

Identified Deficiencies with Existing Buildings

Prior studies and reports have identified the following structural issues for each of the courthouse complex structures. These structures do not comply with 2020 building codes and the current California Trial Court Facilities Standards. They also have significant structural deficiencies and are constructed using brittle and weak structural materials that have performed poorly during past earthquakes.

Existing Courthouse (1864)

Structural deficiencies identified in prior studies include:

- Building lacks vertical resisting elements at the first level for North-South seismic loads
- Removal of large portions of the transverse wall at the north end of the building
- Incomplete load path from diaphragms to perimeter walls
- Lack of diaphragm chords for transverse seismic loads
- Lack of collectors for longitudinal seismic loads at diaphragm steps and recesses
- Weak diaphragms
- Unreinforced perimeter and interior walls; at these walls, the brick pilaster support for the roof hip steel truss has cracks and is detaching from the remainder of the wall; there are also cracks reported at the tops of the brick piers at the north side of the building
- Unreinforced brick masonry chimney: large cracks were previously identified
- Unbraced suspended lath and plaster ceilings at courtrooms

Existing Courthouse Jail Addition (1890's)

Structural deficiencies identified in prior studies include:

- Lack of wall anchors or shear transfer between the diaphragms and the masonry walls
- Adjacent buildings may pound against the Jail Addition

Existing Courthouse 1937 Addition

Structural deficiencies identified in prior studies include:

- Diaphragms do not provide a complete load path to the shear walls due to lack of chords and collectors at steps and recesses in diaphragm
- The end concrete wall of the addition may pound against the Jail Addition

Existing Courthouse Mechanical Room and Office Addition (1960's)

Structural deficiencies identified in prior studies include:

- The building does not have its own gravity and lateral system; it lacks walls on two sides; one side relies on the granite wall of court building for gravity and lateral
- It has no shear wall along the north and west sides
- The shear transfer into the granite wall of the court building on the south is assumed inadequate
- The free-standing CMU wall at the east side is a falling hazard
- The office addition wood roof is anticipated to lack wall anchorage and shear transfer connections

Existing Courthouse Stair Addition to the Jail Addition (1960's)

Structural deficiencies were not specifically identified in prior studies; however, deficiencies likely include:

- Poor interconnection between this building and the 1890's Jail Addition at both the walls and the floors

Annex Building (1964)

Structural deficiencies identified in prior studies include:

- Deficient concrete frame detailing, particularly at the columns, for seismic force resistance
- Parking Garage short column configuration
- Courthouse Walkway: interaction effects from the two adjacent buildings
- Unknown attachment of the CMU Security Viewing Enclosure, blocks may be a falling hazard, detailing of attachments are unknown
- Tilt-up Panels on the building perimeter do not meet story drift and attachment requirements
- Insufficiently braced and supported lath and plaster ceilings

Transportation Engineering

Pedestrian Accessibility

Located in Downtown Nevada City, the current site is impacted by aging infrastructure, including sidewalks. This is exacerbated by the sidewalk slopes and in many cases the narrow concrete sidewalks are raised above the roadways with handrails. Many intersections near the existing site lack adequate ADA accessible provisions, including curb ramps and truncated domes that provide physical warnings to people with visual disabilities.

As documented in the ADA Accessibility Survey Report for Nevada County Courthouse and Annex (2015), there are numerous onsite deficiencies for pedestrian accessibility in regards to ADA Accessible Parking stalls, walkways, ramps, stairwells, and elevators.

Despite the infrastructure barriers, Downtown Nevada City has many pedestrian destinations within a short distance of the courthouse. This allows employees, jurors, and visitors to frequent coffee shops or restaurants nearby, and many people without physical impairments are able to get to these destinations without driving. Both the existing infrastructure barriers and pedestrian destinations are maintained in Option 1.

Bicycle Accessibility

Bicycle accessibility is limited. There are currently no dedicated bicycle facilities in Downtown Nevada City. In addition, the steep topography downtown hinders comfortable bicycle riding when taking the lane for those who are not very confident riders.

Transit Accessibility

The courthouse is currently accessible via transit and located less than 500 feet from stops at City Hall serving routes 1 and 7. Route 1 serves Grass Valley to Nevada City with 1-hour headways. Route 7 serves regional travel from North San Juan to Grass Valley with 5- to 6-hour headways.

Vehicle Circulation

Currently, there are many deficiencies related to vehicle circulation, including pick-up and drop-off operations. Today, Church Street is most frequently utilized for pick-up and drop-off. This would be maintained in Option 1, but improved through bollards or other security measures to improve vehicular stand off to courts.

Sustainability

The original Courthouse building and Annex is not certified under the United States Green Building Council LEED Rating System.

Concept Design

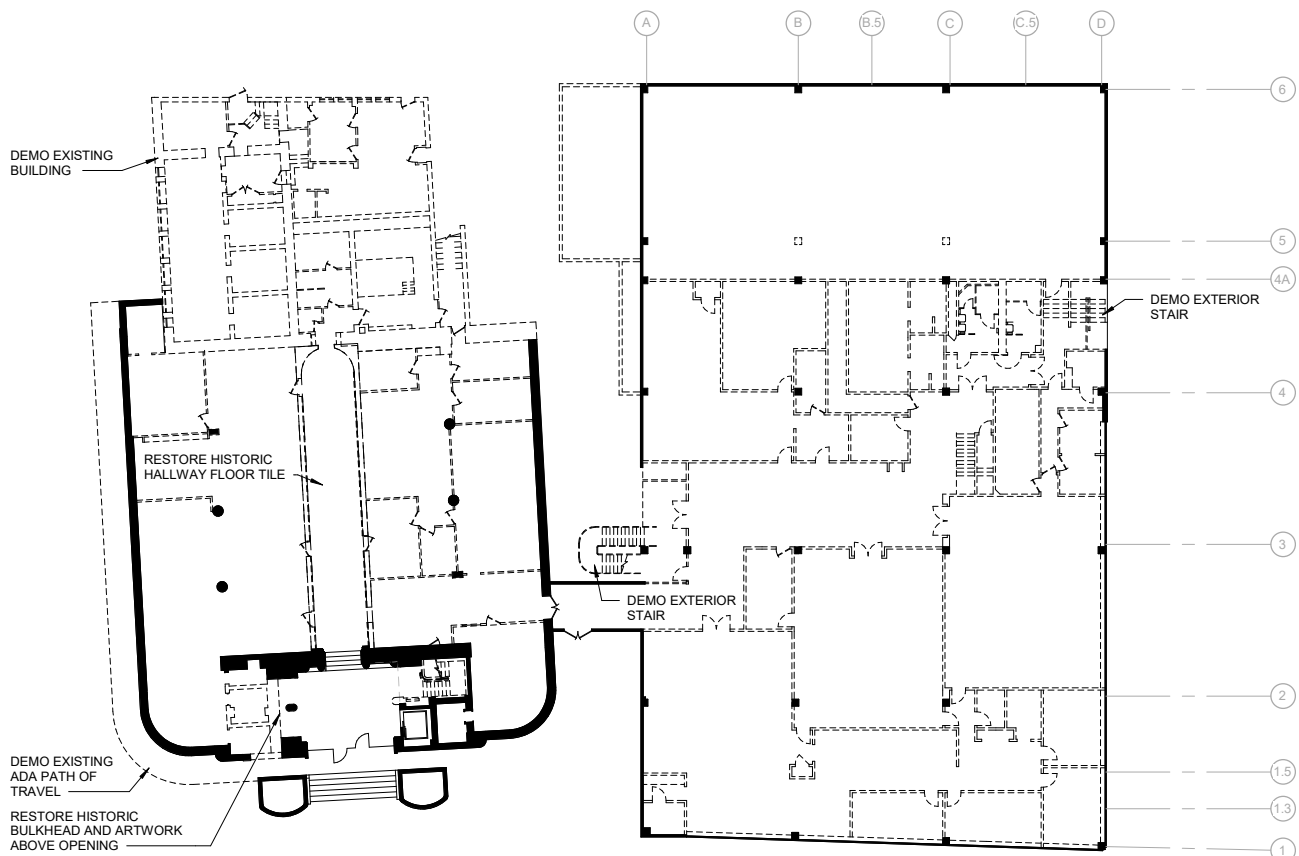
Architecture

APPROACH

The approach to Option 1 involves the renovation of the existing Courthouse with the intent of keeping the original building as intact as reasonably possible. Option 1 provides the Superior Court of Nevada County with a facility that meets the operational, security, and space needs of the Court within the constraints of the original building footprint.

After exploring various alternatives, the Team determined that a complete renovation of both the existing Courthouse building and Annex is the most viable approach for this option. The original structural system and floor-to-floor heights for both buildings will mostly remain intact with changes to the structure to accommodate courthouse functions and meet current standards. Existing Courthouse preservation activities are primarily focused on the main entrance and interior entry lobby space. The structural system and building envelope will be retained. The remaining spaces within both buildings will be demolished and replaced, including interior walls and buildings systems. Due to the irregular layout and sub-optimal functionality of the northern-most portion of the existing Courthouse building, the Team determined that the most cost-effective and functional solution is to demolish that portion of the building and replace it with new construction.

OPTION 1 | Demolition Plan



CONCEPT DESIGN

Site

The site for Option 1 improves upon the existing Courthouse conditions. Washington Street will be closed off to vehicular traffic and open to emergency vehicles. Street parking will be removed on both North Pine Street and Main Street to achieve the required 25-foot stand-off. Bollards are offset 10 feet from the curb and line the east and south-east portion of the site. However, these strategies still fall short of the 25-foot standoff requirement to the east and southeast of the site.

The Judicial Council will seek additional land to provide dedicated parking spaces for the Court. This study assumes the project will acquire an approximate 2,000-square foot lot on which a two-level parking structure would be built.

The path of travel for non-able-bodied persons is indicated along the west of the site along North Pine Street. Vehicular access to Secure Parking and the Secure Vehicular Sallyport is to the east of the site on Main Street, with vehicles passing through a security gate and a secure gate to enter the building.

OPTION 1 | Site Diagram



CONCEPT DESIGN

Building Massing

The building massing for Option 1 is nearly identical to the existing Courthouse conditions with the exception of the northern-most portion of the existing Courthouse building, which is a hybrid 1-level/3-level building. Option 1 replaces this portion of the existing Courthouse building with a new 3-level building of a similar footprint.

OPTION 1 | Axonometric Massing Diagram



Option 1 | Massing Diagram - View from Main Street



OPTION 1 | Massing Diagram - View from North Pine Street



OPTION 1 | Massing Diagram - View from Winter Street



Floor Plans

Option 1 provides the Superior Court of Nevada County with a six-court facility that includes two Large Courtrooms and dedicated spaces for Judicial Services. Courtrooms and Judicial Chambers are located at the eastern portion of the Courthouse (Annex), while Judicial Services and Administration spaces are located at the western portion (existing Courthouse building). The Courthouse’s existing Central Holding Area is relocated to the basement level on the western portion of the existing Courthouse building. Each building has one stair with rooftop access to meet Fire and Life Safety Code compliance requirements.

OPTION 1 Floor Plan | Basement

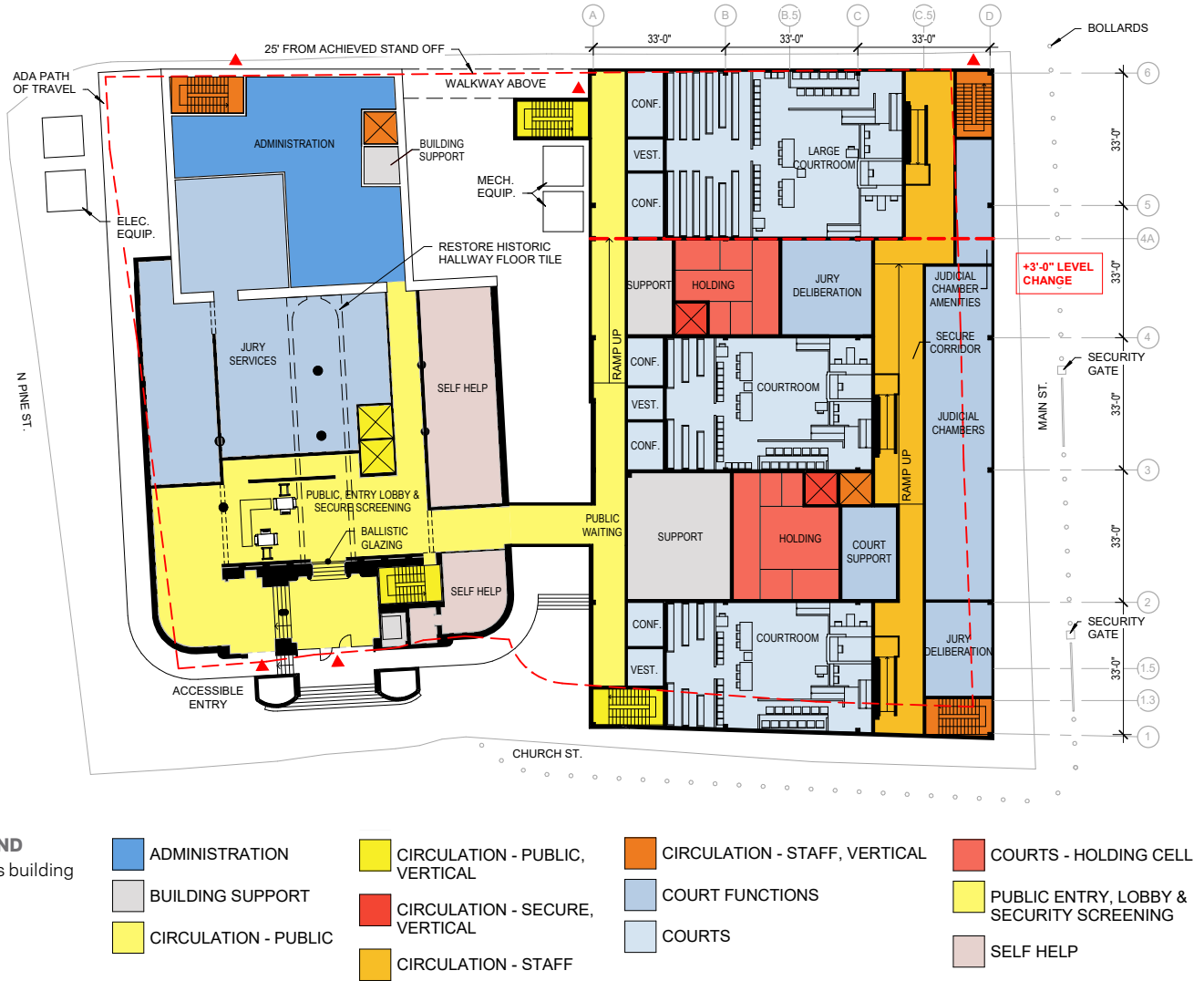


Option 1 relocates the Courthouse’s existing Central Holding Area to the Basement Level and includes Secure Parking for Judicial Staff, a secure Vehicular Sally Port, Sheriff’s Office, and Building Support. The existing Parking footprint is significantly reduced to accommodate the new Sheriff’s Office, in-custody, and building support spaces.

Option 1 adds two secure gates for vehicular access to Secure Parking and the Secure Vehicular Sallyport on the east of the site and includes public street access to the Sheriff’s Office to the south. Vertical Circulation accessible from the parking area is provided for Judicial Staff and leads to the Judicial Chambers on Levels 1 and 2. Secure Vertical Circulation at both the Vehicular Sally Port and Central Holding Area leads to two separate Holding Areas on Levels 1 and 2, which are adjacent to the Courtrooms. This ensures that the transportation of individuals in custody is secure and separated from Public and Judicial spaces.

Ramps are included at both the Secure Parking and Secure Vehicular Sallyport to improve accessibility and compensate for two 3-foot level changes.

OPTION 1 Floor Plan | Level 1

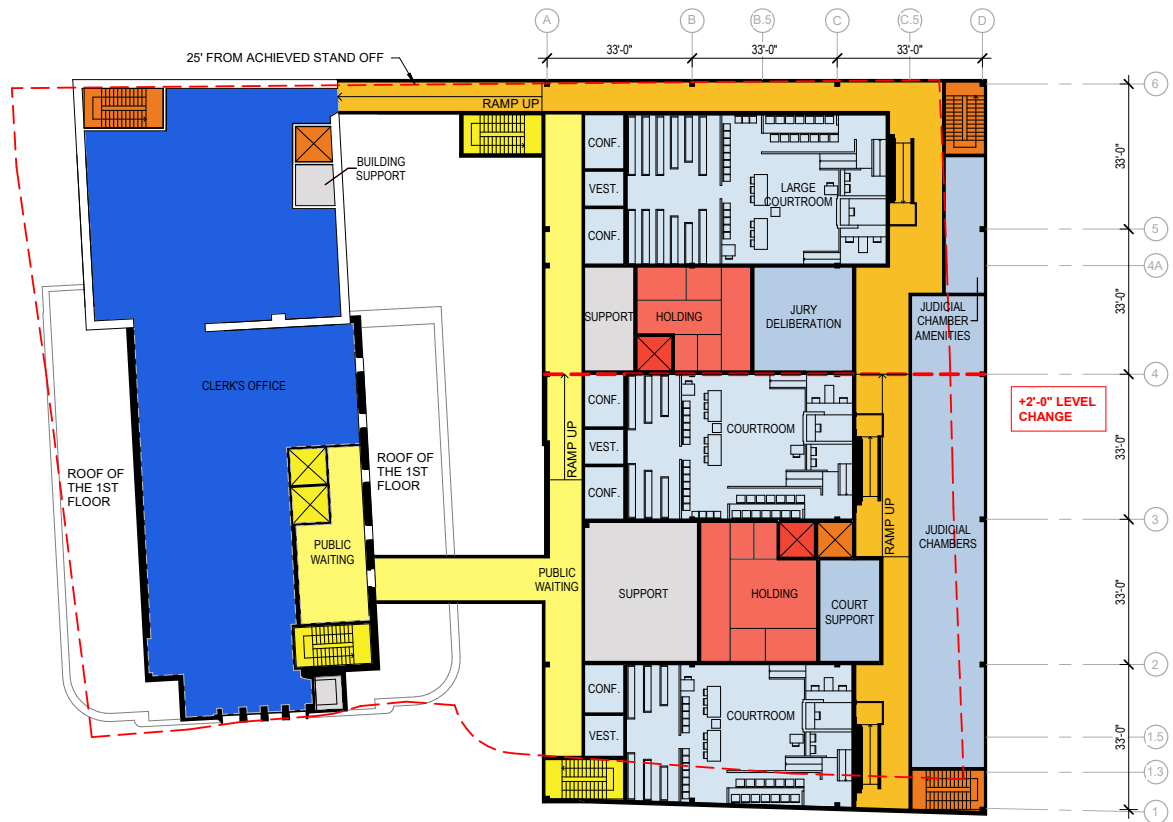


Option 1 retains the main entrance of the existing Courthouse building and relocates the Public Entry Lobby and Security Screening behind the vestibule to provide adequate space for security screening. The path of travel for non-able-bodied persons is indicated along the west of the site and leads to an additional entryway parallel to the main entrance. Jury Services, Administration and Self-Help spaces, and Public Vertical Circulation to all three levels are located beyond the Security Screening area. Both the Administration space and a portion of the Jury Services space are located at the new, northern-most segment of the existing Courthouse building, which includes Secure Vertical Circulation to all three levels. The existing Courthouse building is linked to the annex via the existing corridor.

The Level 1 Annex is organized into a horizontal layer of program and circulation spaces. The Public Waiting Area lines the western edge of the floorplate. Three Courtrooms (including one Large Courtroom) are located at the center of the floorplate, each separated by a secure Holding Area, Jury Deliberation Room and Building Support spaces. A Restricted Corridor for Judicial Staff serves as a buffer between the Courtrooms and the Judicial Chambers and Jury Deliberation Room at the eastern edge of the floorplate. Both the Public Waiting Area and Restricted Staff Corridor include an incline to accommodate the 3-foot grade change to ensure accessibility for non-able-bodied users.

This configuration enables the efficient organization of program spaces and establishes clear separation between public and restricted spaces. This also allows for opportunities to integrate strategies to improve daylighting and views to the outdoors within the Public Waiting Area, the southern-most Courtroom, Judicial Chambers, and Jury Deliberation Room.

OPTION 1 FLOOR PLAN | Level 2



LEGEND

Courts building

- BUILDING SUPPORT
 - CIRCULATION - PUBLIC
 - CIRCULATION - PUBLIC, VERTICAL
- CIRCULATION - SECURE, VERTICAL
 - CIRCULATION - STAFF
 - CIRCULATION - STAFF, VERTICAL
- CLERK'S OFFICE
 - COURT FUNCTIONS
 - COURTS
- COURTS - HOLDING CELL

On Level 2, the Clerk’s Office occupies the majority of existing Courthouse building floorplate and has a direct restricted Vertical Circulation path to the Judicial Chambers. The Public Waiting Area is located adjacent to Public Vertical Circulation and the existing 2nd-level corridor that links to the Annex. The Level 1 roof of the existing Courthouse building will be replaced and allows for the opportunity to include rooftop amenities and/or a green roof on Level 2. To maintain consistency among all three options and for cost considerations, this rooftop strategy is not included in this option.







The layout for the Level 2 annex is nearly identical to Level 1. The Restricted Corridor at the northern-most portion of the annex is extended to link to the new segment of the existing Courthouse building. Both the Public Waiting Area and Restricted Corridor include an incline to accommodate the 2-foot grade change to ensure accessibility for non-able-bodied users.

OPTION 1 FLOOR PLAN | Level 3



LEGEND

Courts building

- | | | |
|--|--|---|
|  ADMINISTRATION |  CIRCULATION - PUBLIC |  CIRCULATION - STAFF, VERTICAL |
|  BUILDING SUPPORT |  CIRCULATION - PUBLIC, VERTICAL |  FAMILY COURT, CIVIC AND ADR |

On Level 3, the Family Court, Civil and Alternative Dispute Resolution spaces occupy the majority of the existing Courthouse building floorplate, with Administration space located at the new, northern-most segment of the existing Courthouse building.

OPTION 1 FLOOR PLAN | Roof Plan

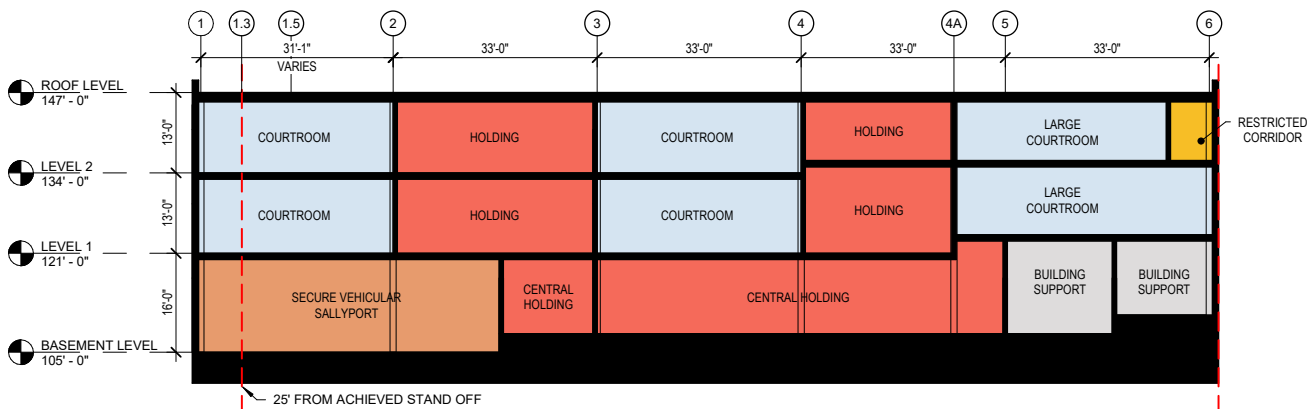


Option 1 replaces the roofs on both the existing Courthouse building and Annex, including building systems equipment and the demolition of the existing penthouse on the annex roof.

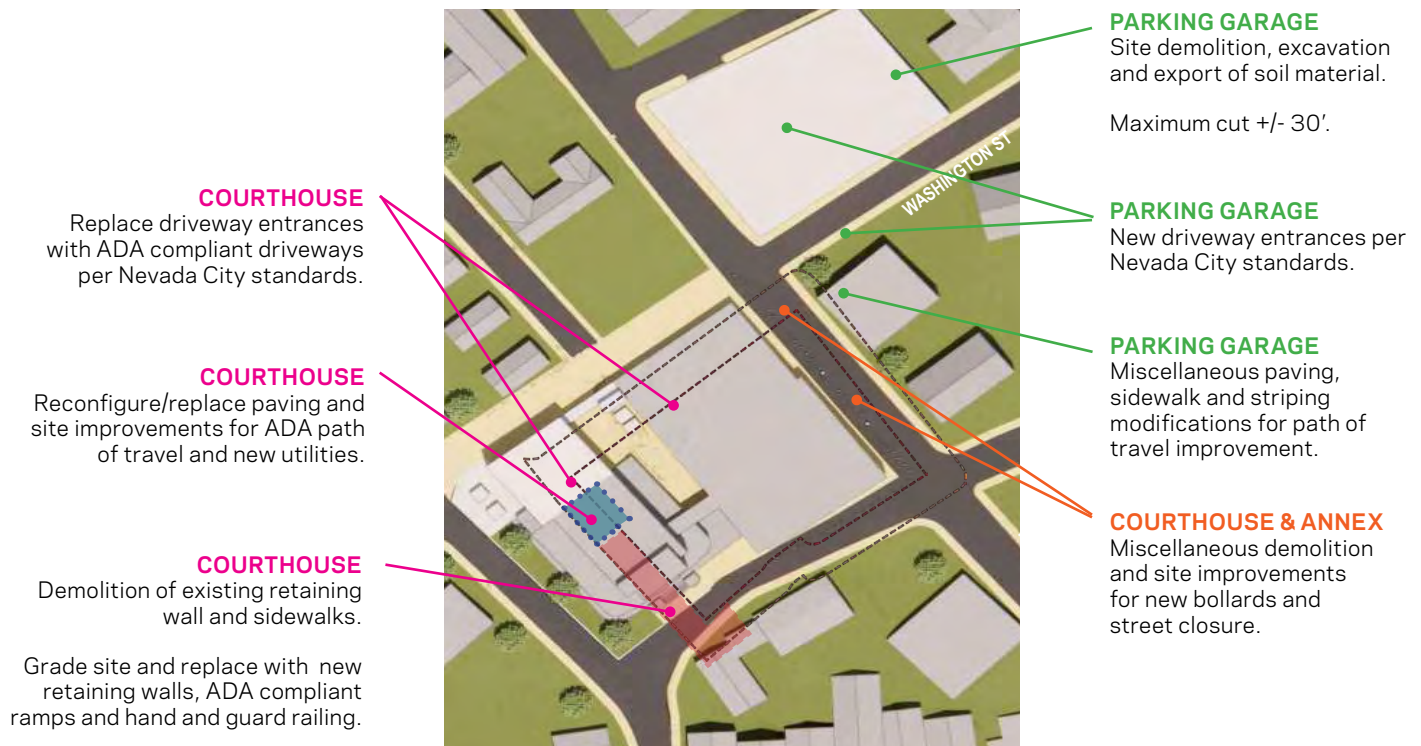
Building Section

Option 1 encompasses the renovation of the existing Courthouse. As a result, this option includes several level changes on all floors of the Annex building. Ramping is included in Level 1 to improve accessibility and compensate for two 3-foot level changes. Ramping is included in Level 2 to improve accessibility and compensate for two 2-foot level changes.

OPTION 1 | Building Section



OPTION 1 | Site Improvements Concept



Site / Civil Engineering

Site Access, Parking and Site Improvements

New accessible paths will be required for the Courthouse and Annex buildings, per California Building Code. Improvements shall meet applicable State and Federal requirements.

Because of the site's terrain, new accessible ramps and handrails, and reconfiguration of existing stairs and hardscape are anticipated to be required.

The existing buildings contain several exterior doors accessing the adjacent public sidewalk. Some modifications to the existing sidewalk may be needed to adjust grades and slopes to comply with current codes.

The existing public sidewalk and driveway aprons adjacent to the buildings do not comply with current standards in some locations. Upgrades to provide compliant dimensions for sidewalks and bring driveway entrances up to current standards may be required.

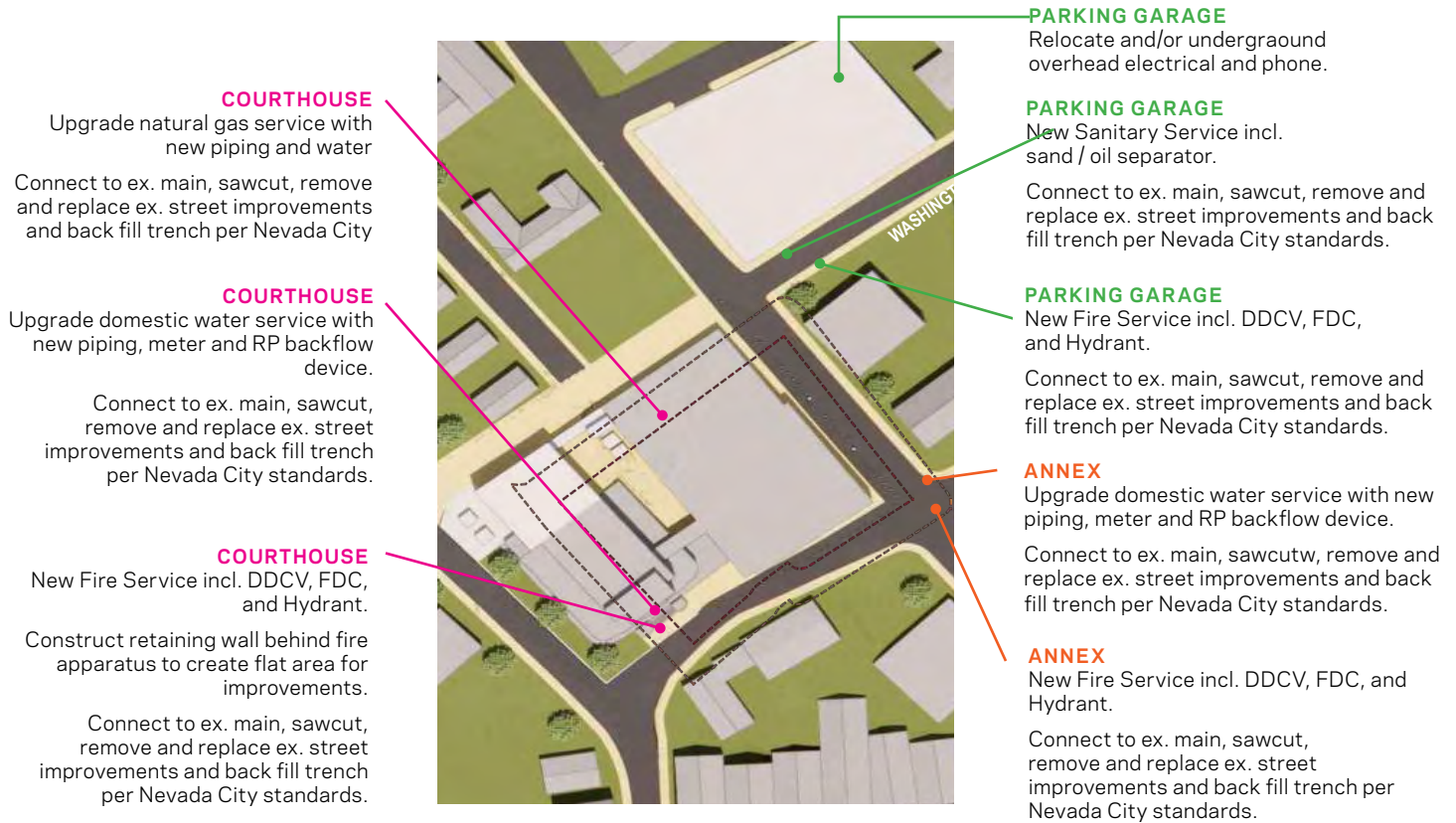
A new parking garage will provide new parking including accessible stalls for the facility, located on an adjacent property north of the existing courthouse site. The parking is expected to be provided on a multi-story garage with access to each level provided by two separate entrances. Significant excavation will be required to construct the garage, and the new facility will retain soil depths of approximately 20 to 25 feet.

Based on an existing geotechnical report prepared for the courthouse site, weathered rock and boulders are expected to be encountered during excavation.

An ADA access route connecting the parking garage to the courthouse facility will be provided. Washington Street will be closed to vehicular traffic adjacent to the site. Removable bollards or other improvements will be placed on either end of the street that can be removed for fire access.

New bollards offset 10' from the face of curb along Main Street will be required.

OPTION 1 | Site Utilities Concept



Proposed Utilities

Sanitary Sewer

It is anticipated that the new sanitary piping related to building renovations would connect into the existing laterals from the buildings to the adjacent streets or Main Street and North Pine Street. The existing sanitary sewer laterals connecting the building to the public mains drain by gravity.

The new parking garage will require a sewer connection serving garage drainage, connecting to public mains. The system will include a sand/oil separator.

Storm Drainage

Storm drainage requirements are prescribed by Nevada County Land Use and Development Code.

Projects in the City are typically required to install detention and treatment facilities to mitigate peak increases in stormwater runoff. Per Nevada County Code, where determined necessary, retention/detention facilities shall be designed to protect downstream users and ensure that the water surface returns to its base elevation within 24 hours after the storm event.

Stormwater treatment and detention shall be provided to meet Nevada City stormwater requirements.

Judicial Council of California (JCC) California Trial Court Facilities Standards has a design objective for projects to achieve LEED Silver or greater. Additional stormwater treatment goals may be necessary, up to treatment of the 98th Percentile storm runoff in order to achieve Rainwater Management (SS C4) LEED points.

If the site improvements result in an acre or more of disturbed area, the project will require a Stormwater Pollution Prevention Plan (SWPPP) be processed with the State of California to obtain coverage under the Construction General Permit prior to construction.

Domestic Water and Fire

The Courthouse and Annex buildings will require a new fire suppression sprinkler system. The new system shall conform with the Nevada City Code of Ordinances, California Fire Code, and NFPA 13.

Private fire service mains shall conform with NFPA 24, capable of supplying the required fire flow for fire protection.

The fire service will require a new fire department connection (FDC). FDC's shall be installed in accordance with the NFPA standard applicable to the system design, and shall be located unobstructed from a fire lane. A fire hydrant shall be located near the FDC per Nevada City Fire and California Fire Code requirements.

Additional fire hydrants will be required in order to provide coverage around the building per Nevada City Fire and California Fire Code.

Gas Distribution

The existing gas service will be upgraded for the Courthouse and Annex buildings, including replacing piping and meters adequately sized for the buildings.

Structural Engineering

APPROACH

The approach for Option 1 includes removing the additions from the north end of the existing Courthouse as well as removing partitions and rooftop spaces from the Courthouse Annex to allow for the reconfiguration of the spaces. This option requires substantial repair, retrofit and strengthening of the remaining existing structures. The new improvements and structures are used to help support and strengthen the existing structures as much as possible toward meeting the 2020 California Trial Court Facilities Standards. The primary challenge for this concept is providing sufficient lateral resistance for the existing heavy and weak/brittle structures.

CONCEPT DESIGN

Existing Courthouse

Option 1 removes the sheet metal roof diaphragm of the existing Courthouse and replaces it with a modern metal deck supported by the existing steel trusses. The steel trusses require strengthening including welding of additional angles onto the chords and webs of each truss. Additional steel diagonal angle bracing is also required at the bottom chord to serve as an additional structural diaphragm. Continuous channels are bolted through the walls along the perimeter of the roof and additional structural steel drags are required extending from the corners of the front concrete tower façade all the way to the new administration building. Truss modifications and re-framing may also be necessary at the new elevator shafts if overrun height is necessary.

This option also removes the brick north wall of the existing Courthouse including the brick chimney from corner to corner. The remaining walls require temporary shoring and bracing until the replacement administration building is constructed. This wall is replaced with a wall from the Administration Addition.

The remaining perimeter walls of the Existing Courthouse are retrofitted using the CenterCore technique having full height vertical cores drilled down the walls and subsequently reinforced and grouted. These cores are required at approximately 5 feet on center along all of the perimeter walls. The reinforcing from these cores continues down into new reinforced concrete shear walls at the first level. The CenterCore reinforcing are welded at its base to the built-up beam that currently supports the upper-level masonry. The first-level concrete walls are approximately 16 inches thick and installed between the existing steel columns. The walls extend from the north to the south end of the building

but will have openings for the walkways shown on the architectural exhibits. These walls extend vertically from their approximately 6-foot-wide reinforced concrete foundation grade beams up to the existing built-up steel girder at Level 2. The wall reinforcing is welded to both the existing built-up girder and to the existing columns.

The existing interior face of the front wall of the Existing Courthouse requires 12 inches of shotcrete from floor to floor through the height of the building. Hooked reinforcing dowels are epoxied diagonally into the existing unreinforced brick masonry at 2 feet on center across the face of the wall and embedded at least three quarters through the thickness. A 4-foot-wide reinforced concrete foundation is required along this wall length also doveled into the existing foundation materials.

Steel angles are installed continuously along the perimeter of each floor level to strengthen the connection of the diaphragms to the perimeter walls. These angles are bolted through the exterior wall and through the floor slab. Additionally, the floors require new steel angle cross ties across the entire width of the building at approximately 20 feet on center maximum and at each floor level.

Where the central brick corridor partitions are removed, they are replaced with structural steel beams. These beams will likely consist of W18 beams supported by 6-inch square HSS posts at 20 feet on center. The HSS posts carry the floor loads down to grade where they are supported on new concrete spread footings beneath the new concrete slab on grade floor.

Additional W16 steel framing is required around the new elevators at each floor level. This framing requires support from the replaced corridor columns and also HSS columns at the corners of the elevator shafts as well as the perimeter brick masonry walls. Similarly, the new stairway includes new perimeter steel framing to HSS columns at the stair corners and at the landing edges. The stair consists of structural steel framing supporting concrete filled metal deck landings and concrete filled metal pan stairs.

All hollow clay tile and unreinforced masonry partitions within the building are removed and replaced with metal stud partitions.

Administration Replacement Addition

The Administration Replacement Addition requires removal of the assembly of structures to the north of the existing Courthouse. These include the 1890's Jail Addition and the 1960's Jail Addition Stair, Mechanical Room and Office Addition. The new structure has reinforced concrete walls and a concrete filled metal deck with structural steel framed floor system. If at least two interior columns are allowed down the center of the space, the floor framing may consist of W30 girders spanning approximately 30 feet from the outside walls to the interior columns with W18 beams likely spaced at 10 feet on center maximum and spanning between the girders and to the exterior walls. Additional framing is needed at the perimeters of the stair and elevator penetrations as well as at drag connections from the existing Courthouse. Typical floors have 4½-inch thick concrete fill over 3-inch metal deck for a total slab thickness of 7½-inches. Level 1 consists of a 5-inch-thick concrete slab on grade.

The roof assembly is comprised of concrete over metal deck, rigid insulation and surface roofing material. The steel framing slopes to the roof drains to minimize crickets and tapered insulation. The roof deck is comprised of 4-inch normal weight reinforced concrete fill over 2-inch metal deck (total slab thickness of 6-inches) spanning a maximum of 8 feet to composite steel wide-flange beams. This provides a 1½-hour fire rating without any sprayed-applied fireproofing at the underside of the metal deck. Typical roof beams are W18 members spanning approximately 30 feet. Framing specifically supporting the perimeter of the rooftop AHU are required and are similar to the W18 beams at the remainder of the roof. Roof girders are W24 members spanning approximately 30 feet. Beams, girders, and columns are fireproofed throughout the building.

The perimeter walls of the Administration Replacement Addition are typically approximately 10 inches thick reinforced concrete, but the wall replacing the north wall of the Existing Courthouse must be 12 inches thick and doweled into each of the Existing Court floor levels as well as have connections at the roof level. These walls are founded on approximately 4-foot-wide concrete foundations.

Existing Courthouse 1932 Addition

This addition requires structural steel drag members to the lobby shotcrete wall of the Existing Courthouse as well as to the new south wall of the Administration Addition. Additional concrete shear walls are required at the partition separations at Jury Services and at the Self-Help area to help reduce the existing diaphragm spans.

Annex Building

At the roof level, the existing mechanical penthouse and the exercise yard are removed. In preparation for mechanical units at the roof level, strengthening of the concrete slab and beam system as well as the waffle slab in the area of the units is required. This can be accomplished with bonded carbon fiber strips longitudinally along the bottom of the existing beams along with carbon fiber stirrup wraps along the lengths of the existing beams. This strengthening is required for all beams bounded by Grids 4, 5, B and C. Ideally, the mechanical unit to the south of Grid 3 can be moved to land on the slab and beam system roof where strengthening for its support will match the north unit.

Additionally, on Grids B and C between Grids 4A and 6, strengthening of the waffle slabs is required to install transfer beams in the roof structure to allow removal of columns from Courtroom 2A. Similar to the mechanical unit strengthening, this entails application of bonded carbon fiber strips longitudinally along the bottom of the existing beams along with carbon fiber stirrup wraps along the lengths of the existing beams for their entire length. It is also necessary to increase the depths of these two beams by creating doweled beam curbs above the roof. The doweled beam curbs are approximately 2 feet tall and 12 inches wide. These members should be installed prior to the fiber wrap so that the fiber can be doweled through the roof slab to engage these curbs.

On Grids B and C, between Grids 4A and 6, strengthening of the waffle slab is required to install transfer beams in the floor to allow removal of columns from Courtroom 2A. This strengthening entails application of bonded carbon fiber strips longitudinally along the bottom of the existing beams along with carbon fiber stirrup wraps along the lengths of the existing beams for their entire length similar to the level above.

Strengthening of the columns is also required at Grids B/6 and C/6. This strengthening likely entails wrapping the columns with carbon fiber and doweling those wraps through the back side of the column where it abuts the wall so that the wraps can be continued around the entire column. This strengthening is at the Levels 2 and 3.

Where new columns are installed at Grids B/4A and C/4A, those columns are likely 18 inches square reinforced concrete with bars doweled through the floors to the levels below and down to new column reinforced concrete column spread footings on grade.

At the new stairs in the corners of the Annex, the concrete waffle slab floor framing must be strengthened for each of the penetrations. The stairs shafts are constructed of reinforced concrete to allow for additional lateral force resistance at the stair shafts as well as support for the interrupted waffle slab framing. Along the edges of the stair openings, new concrete beams are cast with dowels into the adjacent framing. These stairwells require substantial foundations at their base since they will serve for lateral resistance as well.

Additional 8-inch-thick concrete shear walls are required at the parking level of the annex. These must be aligned with the 3-foot grade change between the Secure Vehicular Sallyport and the Central Holding. This wall must be considered full length on this line, with the exception of an opening at the pedestrian ramp that will be provided. This wall requires a reinforced concrete foundation for its full length. The pedestrian ramp is likely constructed of concrete walls and a 4-inch-thick concrete ramp slab.

Strengthening of the waffle slab is also required at the overbuild corridor ramps. The overbuild ramps is constructed of 4-inch-thick concrete slabs with 4-inch wide turn down ribs over foam waste-forms.

At the roof level and the floor levels, out of plane anchors between the perimeter walls and the waffle slab diaphragms are needed. This anchorage consists of threaded rods drilled through the exterior walls and into the waffle slab edge beam. These ties are spaced no greater than 8 feet on center along the entire perimeter.

Existing concrete columns that are not a part of the perimeter walls require carbon fiber confinement wrapping for their full heights at each level.

Concrete retaining walls are required at the new parking level elevation changes and elevator pits. These retaining walls are likely 8 inches thick with two layers of reinforcing doveled into the concrete slabs.

New Elevated Walkway to the Annex Building

The New Elevated Walkway between the Annex and the Administrative Office Addition is framed with structural steel. The roof of the walkway likely has W18 longitudinal steel beams along the north and south sides of the walkway and W8 transverse beams spaced at approximately 8 feet on center supporting a metal deck roof. The floor consists of W30 longitudinal beams and W10 transverse beams supporting a concrete filled metal deck floor. The longitudinal beams are supported by three pairs of 8-inch square HSS columns. These occur where the walkway abuts the Administrative Office, at the end of the North Exterior Access Stair and at the face of the Annex Building. The Walkway has a longitudinal seismic separation from the Administration Building but connects rigidly to the Annex building using bolted connections anchored into the floor slab of the Annex. The Walkway has seismic restraint provided by both the Administrative Addition and the Annex for forces in the north south direction.

New North Exterior Access Stair

This stair is constructed of reinforced and solid grouted 8-inch CMU masonry walls along its perimeter. These walls extend down to shallow reinforced concrete foundations, which are a single 12-inch-thick mat under the entire stair that extends out beyond the stair walls by 1-foot minimum on the three sides where there is not a conflict with the existing Annex. The stairs inside the tower are concrete-filled treads supported by steel stair stringers with concrete-filled metal deck landings. The roof of the stair is framed with metal deck spanning across the stair and supported by perimeter ledger angles bolted into the perimeter walls.

Mechanical and Plumbing Engineering

CONCEPT DESIGN

Central Utility Plant

The buildings will be served from a new central utility plant with indoor water-cooled chillers, two (2) 150-ton units anticipated, and gas-fired boilers, three (3) 1,000 MBH output units anticipated. The utility plant will be located similar to the current units. The cooling towers will be located outdoors in a similar location to the existing one.

Air-Handling Systems

The Courthouse building will be served from a new (approx. 25,000 cfm) air-handling unit located on the roof of the re-constructed north addition. The Annex building will be served from two (2) new (approx. 25,000 cfm) air-handling units located on the roof.

HVAC Distribution

Duct distribution will be via vertical shafts to terminal vav boxes. Hot water reheat will be provided for perimeter boxes. The annex building has multiple level changes that will require distribution ductwork to be configured to avoid crossing where there is no space. This results in additional shafts vs. other options. Ductwork will be lined downstream of fans and vav boxes for noise control. No smoke control systems are anticipated to be required. Hydronic heating hot water and chilled water system piping will be steel or copper piping and designed for low-pressure loss.

HVAC Controls

A new HVAC Building Management System (BMS) control system will be provided to serve all mechanical systems. The system will be compliant with the JCC BMS specification requirements with all points graphically displayed on the front-end computer system.

Central Plumbing Equipment

A central gas water heater and circulation pump will distribute domestic hot water to the fixtures at both buildings.

Plumbing Fixtures

Low-flow, wall-hung commercial grade fixtures will be used with 1.28 gallons per flush for water closets, 0.125 gallons per flush urinals. All toilet room fixtures will be sensor operated. Hold Room areas will be provided with stainless steel institutional combination toilet / lavatory fixtures.

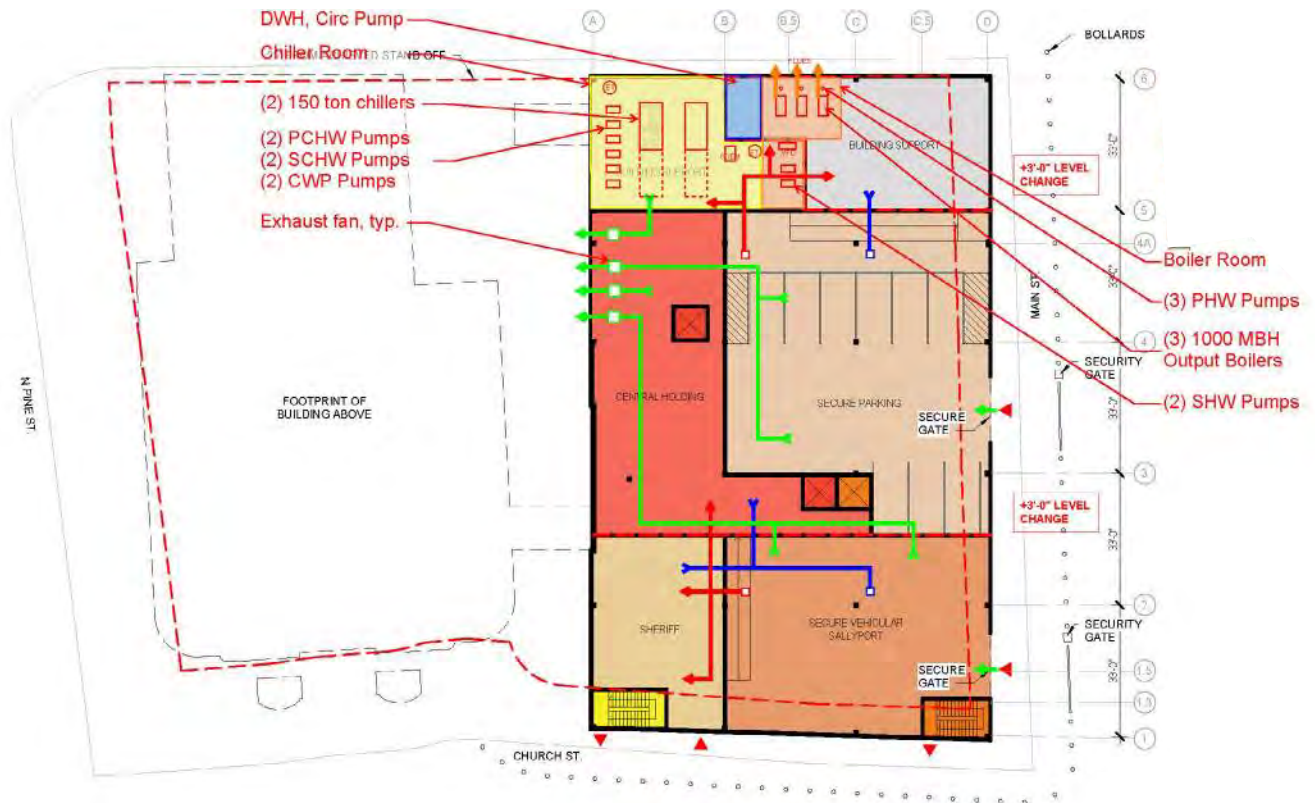
Piping systems

The existing roof drainage system is anticipated to be re-used. New domestic water piping will be provided to all fixtures and sized in accordance with CPC and ASPE requirements. New water piping will be extended to site main connection points. A new natural gas service connection is anticipated to be required. Gas piping will be extended to serve the boilers and domestic water heaters in the basement. New fire sprinkler piping will be extended from the site water main. It is anticipated that two risers will be required, one for each building. All areas of the building and attached overhangs will be fully protected with an automatic wet fire sprinkler system in accordance with NFPA-13 requirements. Sprinkler heads will be semi-recessed or concealed type. Hold Room areas will be provided with institutional heads.

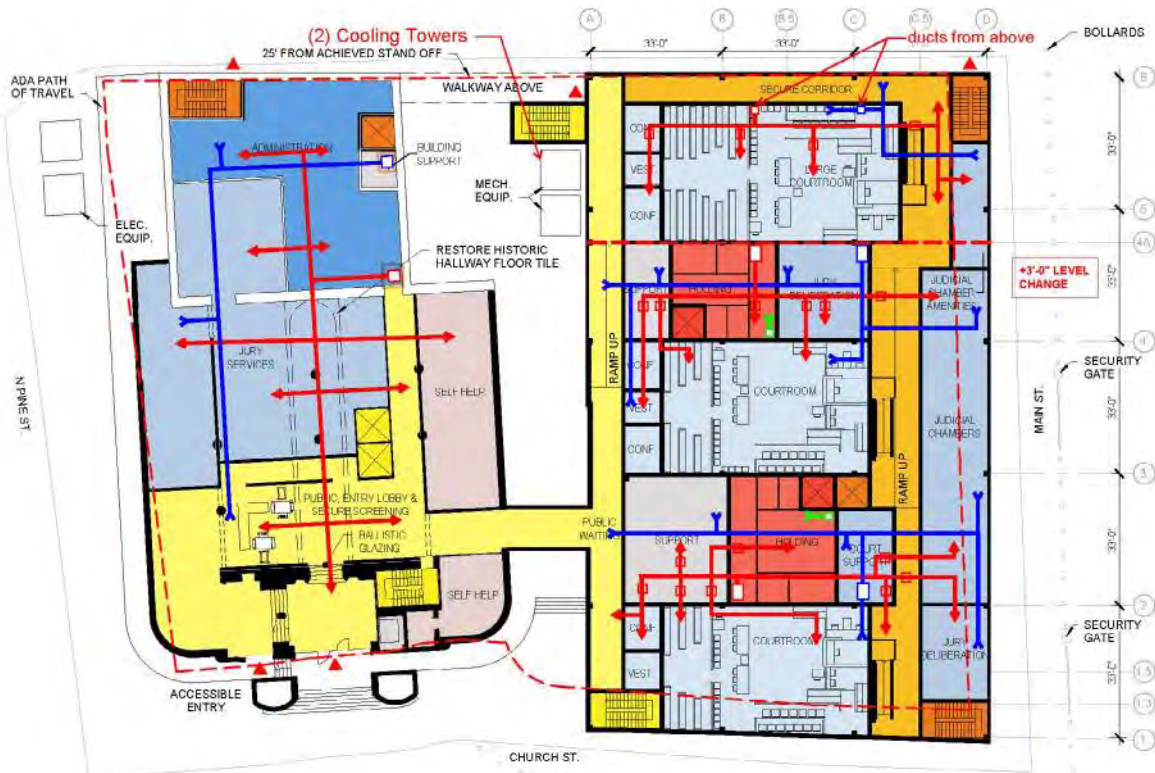
Comparison to Other Options

- Each of the options uses similar mechanical systems and equipment.
- Option 1 reuses the existing building shell, which is likely not to be as energy efficient as the other options with new construction.
- Option 1 will require three (3) main air-handling units which will result in increased costs with additional points of connection and additional maintenance with the additional equipment.
- Option 1 has existing level changes at the annex building that will result in additional ductwork and duct shafts to reach the various areas, and difficulty routing ductwork in tight ceiling space areas.
- Option 1 has chillers in the basement that may require an additional area way for future chiller removal.
- Option 1 is two buildings requiring two fire risers and associated site backflow preventors, riser room spaces, fire alarm connections and riser appurtenances.
- Option 1 will have all new fire sprinkler piping which will be difficult to route with the existing building level changes, possibly resulting in exposed piping at certain locations.
- Option 1 has an existing roof drainage system that can possibly be re-used.

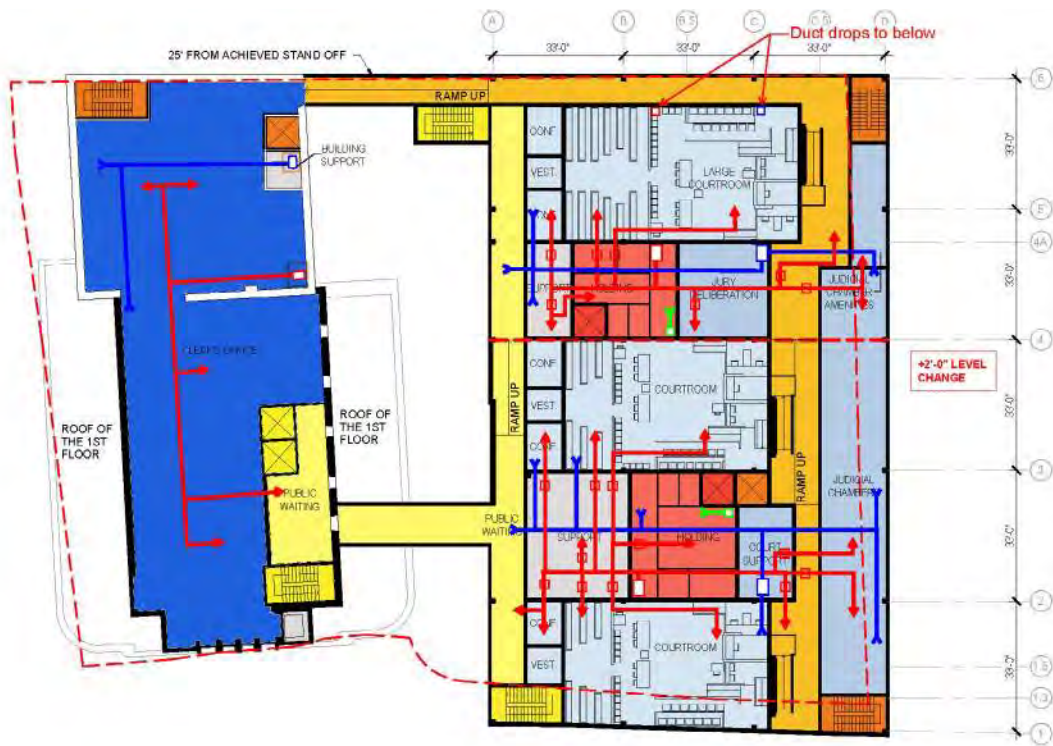
OPTION 1 MECHANICAL AND PLUMBING PLAN | Basement Level



OPTION 1 MECHANICAL AND PLUMBING PLAN | Level 1



OPTION 1 MECHANICAL AND PLUMBING PLAN | Level 2



OPTION 1 MECHANICAL AND PLUMBING PLAN | Level 3



OPTION 1 MECHANICAL AND PLUMBING PLAN | Roof Level



Electrical Engineering

The California Trial Court Facilities Standards (CTCFS) are referenced throughout this narrative and should be utilized as a basis of design.

APPROACH

Demolition

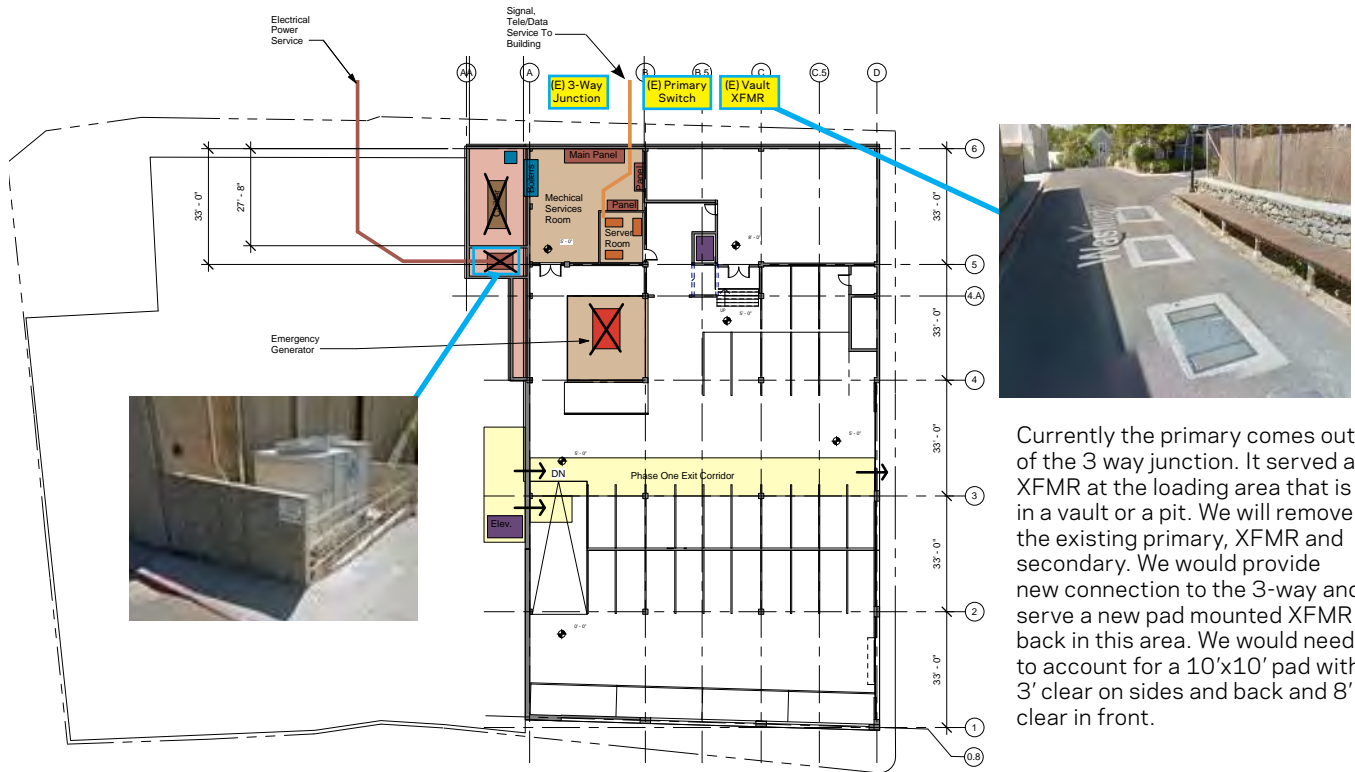
The entire electrical system shall be demolished. This includes incoming power service, switchgear, panels, conduit and wire, devices, light fixtures, etc.

SITE

Power

Provide utility power to the building by Pacific Gas and Electric Company (PG&E) via a new pad mounted utility transformer. Currently, the primary power comes out of the underground 3-way junction switch on Washington Street. It serves a pad mounted transformer in the loading area vault/pit. This transformer and its feeder will be demolished. A new connection shall be provided from the existing 3-way junction to the new PG&E transformer, which shall be located outside the building on the Northwest corner. Transformer shall be provided by the PG&E and be installed per their standards. Provide duct structure (conduits, pullboxes, trenching, etc.) as required. The power shall step down to building voltage (277/480V) via the utility pad mounted transformer. From the transformer, provide five 5" feeder conduits into the 1600A, 277/480V, 3 phase, 4-wire main switchboard per PG&E Standards. Service feeder conductors will be provided by PG&E.

OPTION 1 | EXISTING PG&E INFRASTRUCTURE



Currently the primary comes out of the 3 way junction. It served a XFMR at the loading area that is in a vault or a pit. We will remove the existing primary, XFMR and secondary. We would provide new connection to the 3-way and serve a new pad mounted XFMR back in this area. We would need to account for a 10'x10' pad with 3' clear on sides and back and 8' clear in front.

Power Distribution

Normal Power

As described above, the building will have a 1600A, 277/480V, 3 phase 4 wire main switchboard (MSB), located in the basement main electrical room. The MSB will contain the PG&E meter, the main circuit breaker and the feeder circuit breakers.

Feeders will be provided from the MSB to the satellite electrical rooms, serving the lighting panels and the step-down transformers for the 120/208V panels.

Provide spare load and breaker capacity per the CTCFS.

Loads shall be desegregated per Title 24 and the CTCFS. Each load category shall be metered per system and floor as described in CTCFS, Section 15B.

Standby/Emergency Power

Provide a generator to provide standby/emergency power to the building. Assume the generator is 100kW/125kVA. The following items shall be considered:

- Location: The CTCFS requires that the generator be located at least 50 feet from the power source. In this scheme, this will be very difficult. We anticipate the generator will be located near the PG&E transformer, which violates this requirement. Alternatively, the area between the buildings could be assessed for the generator location.
- Based on the location and proximity to residences, the generator shall be provided with sound attenuated enclosure.
- Provide a permanent load bank.

UPS Power

The building will not be provided with a central system.
Provide UPS power per the CTCFS, utilizing in-rack UPS units.

BMS Interface

Provide BMS interface per CTCFS and as described below:

- Electrical / power meters
- Emergency / standby generator
- UPS
- Fire alarm
- Lighting controls

Lighting and Lighting Controls

Lighting Illumination Levels:

The lighting system will provide illumination levels in accordance with CTCFS Table 16.1.

Light Fixtures:

Provide interior light fixtures per CTCFS , Section 16.C.

Typical Exterior light fixtures per CTCFS , Section 16.C.

Consider utilizing the protective bollards on the East side of the building as a light source.

Controls:

Provide lighting controls as described in the CTCFS, Section 16.D.

Fire Alarm

The fire alarm and notification system shall be UL listed, California State Fire Marshal approved, and manufactured by firms regularly engaged in manufacturing fire detection, alarm, and communications systems; of types, sizes, and electrical characteristics required; and whose products have been in satisfactory use in similar service for not less than five years. The fire alarm system shall be a fully addressable system. The system shall include voice notification, with automatic voice messaging.

Refer to CTCFS, Section 20 for additional information.

OPTION 1 | New PG&E Infrastructure



Transportation Engineering

CONCEPT DESIGN

Transit Accessibility

Existing transit would be maintained as described in the existing conditions. The Team recommends adding a bus stop that coordinates with the improved accessible path of travel.

Vehicle Travel

Parking

In addition to best practices for parking management and design, we have taken into account considerations unique to courthouses. For example, there are limited options for underground parking onsite, due to the potential for bomb threats or other security breaches.

Nevada City is currently evaluating the following parking strategies to improve parking provisions for Options 1:

Main Street

- Close street on parking both sides of street
- Keep two-way traffic intact
- Install security measures (i.e. bollards) to improve vehicular stand off to courts

Church Street:

- One-way traffic from Main Street to North Pine Street
- Install security measures (i.e. bollards) to improve vehicular stand off to courts

North Pine Street:

- Close on-street parking
- Keep two-way traffic intact
- Install security measures (e.g. bollards) to improve vehicular stand off to courts

Commercial Street Lot:

- 76 spaces will be dedicated during Courthouse hours

Veterans Lot:

- 14 spaces will be dedicated during Courthouse hours

Washington Street:

- Close street to vehicular traffic (except emergency vehicles)
- Regrade and repave to meet accessibility requirements

Future Parking Lot (location to be determined):

- JCC purchase properties
- Demolish existing structure
- Build new 2-level parking structure

Main Washington Lot:

- Build new 2 level parking structure

With the options provided, there is the potential for substantially improved parking access over existing conditions. As documented in the Nevada City Courthouse Phase II Facility Feasibility Study (2015), the original new courthouse project identified secured parking for judges as well as 210 parking spaces for staff, visitors, and jurors.

Vehicle Circulation

Currently, there are many deficiencies related to vehicle circulation, including pick-up and drop-off operations. Today, Church Street is most frequently utilized for pick-up and drop-off. This would be maintained in Option 1 but improved through bollards or other security measures to improve vehicular stand off to courts.

The courthouse will continue to serve multiple different types of vehicles, including passenger vehicles for staff and jurors, and highly secure vehicles for incarcerated individuals on trial. As such, the parking and pick-up/drop-off must cater to these unique uses. Visitors, such as jurors, will have the option to pick-up and drop-off near the site but may be more willing to walk a further distance. Certain staff, such as judges, may require secure pick-up/drop-off close to or on-site. Secure vehicles for incarcerated individuals may require enhanced security and on-site pick-up and drop-off.

Vehicle Miles Traveled

On September 27, 2013, Governor Jerry Brown signed SB 743 into law and started a process intended to fundamentally change transportation impact analysis as part of CEQA compliance. These changes include elimination of auto delay, level of service (LOS), and other similar measures of vehicular capacity or traffic congestion as a basis for determining significant impacts. The California Natural Resources Agency has issued amendments and additions to the CEQA Guidelines reflecting these changes (<http://resources.ca.gov/ceqa/>). The changes eliminate auto delay for CEQA purposes and identify vehicle miles traveled (VMT) as the preferred CEQA transportation metric. Implementation strategies are provided for Nevada County in the report titled, Senate Bill 743 Vehicle Miles Traveled Implementation Prepared for Nevada County Transportation Commission (2020).

VMT accounts for the number of vehicle trips generated and the length or distance of those trips. For transportation impact analysis, VMT is commonly expressed as total VMT, total VMT per service population (residents and employees), home-based VMT per resident (or capita), and home-based work VMT per employee for a typical weekday. VMT can help identify how projects (land development and infrastructure) influence accessibility (i.e., lower VMT may indicate increased multimodal access to places and people) and emissions, so its selection is aligned with the objectives of SB 743.

In the absence of more detailed site and land use plans, VMT was reviewed at a qualitative level for each option. Under Options 1 there would likely be little to no change from existing baseline conditions. Many employees and visitors would still have the option to walk or ride transit to access nearby eateries or run other errands downtown. Staff and visitors that may be dropped off at the courthouse may benefit from drivers chaining trips, and potentially carpooling before going to their next destination.

Sustainability

APPROACH

Option 1 is considered a major renovation and the new construction scorecard version 4.1 is used in this scenario.

For this Option, the LEED “Energy and Atmosphere” category is most negatively impacted due to the reuse of the existing shell and windows. The “Optimize Energy Performance” credit is worth 18 points and it is anticipated that remodeling the existing courthouse will result in an overall improvement in energy performance of just 10%, which is only worth 2 points via Option 1, energy performance compliance (whole building energy simulation). Another negative result for selecting Option 1, in terms of the LEED scorecard, is that the original shell is reused, and no points are attained for daylighting and installing new solar tubes. The annex building may have an additional layer of ballistic glazing. Installing solar photovoltaic (PV) panels over the entire roof area of the annex will result in at least 3 points if the PV provides over 10% of the demand.

The LEED “Materials and Resources” category is positively impacted by Option 1 for the “Building Life-Cycle Impact” credit since the option to reuse materials will encourage adaptive reuse and optimize the environmental performance of products and materials. A total of 5 points can be attained for reusing 75% of the shell. Maintaining the existing building structure, envelope, and interior nonstructural elements is a large factor for Option 1 and results in lower embodied carbon (the emissions from manufacturing, transportation, and insulation of building materials). For existing buildings, portions deemed structurally unsound or hazardous can be excluded from the credit calculations.

The “LEED for Neighborhood Development Location” credit can be attained since the courthouse is located within the boundary of a development certified under LEED for Neighborhood Development (i.e. exhibit a wide range of sustainable features, such as walkability, transit access, sensitive land protection, connectivity, and shared infrastructure). The “High-Priority Site and Equitable Development” is a new LEED credit and it is highly recommended which would include an equity plan that addresses how social equity is taken into account. The Team anticipates that it will be likely that the “Surrounding Density and Diverse Uses” credit will be attainable given the location. This will support neighborhood and local economies, promote walkability and low or no carbon transportation, an reduce vehicle distance traveled for all. This will also improve public health by encouraging daily physical activity.

Conducting a life cycle assessment of the project’s structure and enclosure that demonstrates a minimum of 10% reduction, compared with a baseline building, in at least three of the six impact categories listed below, one of which must be global warming potential is worth 3 points alone.

1. Global warming potential (greenhouse gases)
2. Depletion of the stratospheric ozone layer
3. Acidification of land and water sources
4. Eutrophication
5. Formation of tropospheric ozone
6. Depletion of nonrenewable resources

The team recommends demonstrating the LEED “Building Life-Cycle Impact Reduction” credit by calculating the percentage of reusable area to attain up to 5 points.

In summary, it is anticipated that Option 1 requires additional funding for LEED credits as it falls short on points under the “Energy and Atmosphere” category, which offers the most weight towards LEED certification.

Historic Preservation

APPROACH

Option 1 will be evaluated per the Secretary of the Interior's Standards for Rehabilitation (the Standards). The Standards are a set of treatment guidelines developed by the National Park Service which aim to enable historic properties to continue to convey their historic significance while acknowledging the need for alterations or additions to meet continuing or changing uses. The Standards are used at the federal, state, and often the local level to provide guidance regarding the suitability of a proposed project that could affect a historic resource. A project that has been determined to conform with the Standards can generally be considered to be a project that will not cause a significant adverse impact to a historic resource for the purposes of the California Environmental Quality Act (CEQA) (14 CCR Section 15126.4(b)(1)).

The Secretary of the Interior's Standards for Rehabilitation

The Standards (Department of Interior regulations, 36 CFR 67) pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior, related landscape features and the building's site and environment as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The rehabilitation of the Nevada City Courthouse would continue the current use of the property as a courthouse. As such, Option 1 complies with Standard 1.

2 The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

As currently designed, Option 1 retains a substantial proportion of the character-defining features of the Courthouse and Annex buildings. At the Courthouse, Option 1 retains most exterior features of primary importance, including the massing, fenestration, and façade detailing of the south and side elevations, as well as the granite and concrete retaining walls around the building. Likewise, Option 1 retains most exterior features of primary importance at the Annex, including the glazed corridor connecting the two buildings, and the Annex's distinctive continuous glazing and areas of composite rock cladding. New exterior construction included in Option 1 is generally located and scaled appropriately in a manner not to compete with or diminish the historic expression of the architecture of the Courthouse and Annex; however, the design of the new addition to the north side of the courthouse could be improved by the addition of a small setback or recessed hyphen on the east façade, between the massing of the original building and the massing of new construction. This change would enable the building to continue to convey its historic massing.

Option 1 will demolish one exterior feature of primary importance at the Courthouse, namely the one-story volume at the northeast portion of the building, constructed as part of the 1937 renovations to serve as the office for the sheriff and a jail tank. Option 1 also includes substantial changes to the interior of the primary entry foyer. This area includes the building's most dense concentration of features of primary importance, ranging from its spatial arrangement in relation to the central corridor and stairwell, to designed features and materials, including terrazzo flooring (foyer and stairwell); chrome door hardware, stair handrails, drinking fountains, lighting fixtures, and display cabinets; fluted engaged columns; vertical embellishments with vertically scored and horizontally ridged detail; circular portal openings at stair landings; and the courthouse progression mural. Alterations within the foyer and central first-floor circulation corridor of the Courthouse, and the removal of the building's original stairwell represent substantial changes to an area dense with primary character-defining features.

At the Annex, Option 1 does not remove historic materials or alter features and spaces that characterize the building. Option 1 includes substantial changes to interior features at the Annex; however, findings regarding the importance of interior features at the Annex are preliminary, and interior alterations are not likely to have a substantial impact on the ability of the Annex to convey its historic significance.

As currently designed, Option 1 does not comply with Standard 2. Revisions to Option 1 that incorporated differentiation between the massing of new and old construction at the north side of the east façade, and that retained a greater amount of historic fabric within the foyer and central corridor, could improve the project's ability to comply with Standard 2.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

Option 1 does not include the construction of any conjectural features or incorporate any architectural elements from other buildings. As such Option 1 complies with Standard 3.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

There have been no changes to the Nevada County Courthouse that have acquired historic significance outside of the period(s) of significance in their own right. As such, Option 1 complies with Standard 4.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize the property shall be preserved.*

As currently designed, Option 1 retains most of the distinctive features, finishes, and examples of craftsmanship that constitute features of primary importance of the exterior of the Courthouse, including the array of façade detailing of the south and side elevations which enable the building to convey its Art Moderne style architecture, as well as the south approach to the primary entrance, which also includes many Art Moderne style features, and the granite retaining walls around the building, which reflect craftsmanship dating to the building's earliest construction. Likewise, Option 1 retains the more reserved distinctive features, finishes, and examples of craftsmanship that constitute features of primary importance of the exterior of the Annex, including the distinctive continuous glazing and areas of composite rock cladding. New exterior construction included in Option 1 is generally located in a manner that retains the vast majority of the buildings' features, finishes, and examples of craftsmanship.

As previously introduced in the discussion of Standard 2, Option 1 includes substantial changes to the interior of the primary entry foyer. This area includes the building's most dense concentration of distinctive features, finishes, and examples of craftsmanship of primary importance, including designed features and materials such as terrazzo flooring (foyer and stairwell); chrome door hardware, stair handrails, drinking fountains, lighting fixtures, and display cabinets; fluted engaged columns; vertical embellishments with vertically scored and horizontally ridged detail; circular portal openings at stair landings; and the courthouse progression mural. Alterations within the primary entry foyer of the Courthouse, and the removal of the building's original stairwell, represent substantial changes to an area dense with primary distinctive features, finishes, and examples of craftsmanship.

At the Annex, Option 1 does not remove distinctive features, finishes, and examples of craftsmanship. Option 1 includes substantial changes to interior features at the Annex; however, findings regarding the importance of interior features at the Annex are preliminary, and interior alterations are not likely to have a substantial impact on the ability of the Annex to convey its historic significance.

As currently designed, Option 1 does not comply with Standard 5. Revisions to Option 1 that retained a greater amount of historic fabric within the primary entry foyer and stairwell could improve the project's ability to comply with Standard 5.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

The Courthouse is in fair condition allowing most historic and character-defining features to be repaired rather than replaced. Where replacement of a historic feature is determined to be necessary, Option 1 will comply with Standard 6 presuming that new features match historic features in design, color, texture, and other visual qualities.

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Option 1 may include surface cleaning of the Courthouse and Annex. When surface cleaning is determined to be necessary, Option 1 will comply with Standard 6 presuming no harsh chemical or physical treatments that may damage historic features of the building are used, and that the historic features of the building are cleaned using the gentlest means possible.

8. *Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

Option 1 may include excavation and as such may encounter archaeological resources. If any archaeological resources are discovered during the course of the project, Option 1 will comply with Standard 8 presuming work is halted and local, county, and state protocols regarding archaeological resources are followed.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

As currently designed, Option 1 includes new additions and exterior alterations that retain a substantial proportion of the historic materials that characterize the Courthouse and Annex. At the Courthouse, demolition is focused at the north portion of the building, including the one-story volume at the northeast portion of the building, which is considered a feature of primary importance, and the three-story volume which formerly housed the jail, which is considered a features of secondary importance due to extensive alterations. Construction of a new three-story volume at the north portion of the building will have a similar footprint as the demolished portions of the building, and is sited in a way to preserve most of the Courthouse's historic materials and its historic massing and appearance. At the primary (south) façade, insertion of a new entry door at the primary (south) façade is offset in a way to minimize its impact on the overall design of the primary façade.

The massing of new construction at the north side of the Courthouse building could be improved by the addition of a small setback or recessed hyphen on the east façade, between the massing of the original building and the massing of new construction. This change would enable the building to continue to convey its historic massing. Additionally, the design of the new addition should be compatible in style with the existing building, and its mass and shape should read as secondary to the historic structure.

As previously introduced, Option 1 includes demolition that will cause substantial changes to the interior of the primary entry foyer. This area includes the building's most dense concentration of features of primary importance, ranging from its spatial arrangement in relation to the central corridor and stairwell, to designed features and materials, including terrazzo flooring (foyer and stairwell); chrome door hardware, stair handrails, drinking fountains, lighting fixtures, and display cabinets; fluted engaged columns; vertical embellishments with vertically scored and horizontally ridged detail; circular portal openings at stair landings; and the courthouse progression mural. Alterations within the foyer and central first-floor circulation corridor of the Courthouse, and the removal of the building's original stairwell represent substantial changes to an area dense with primary character-defining features.

At the Annex, Option 1 does not include any new additions, exterior alterations, or related new construction that affect exterior features of primary importance, and planned changes will have limited impact to exterior features of secondary importance. Option 1 includes substantial changes to interior features at the Annex; however, findings regarding the importance of interior features at the Annex are preliminary, and interior alterations are not likely to have a substantial impact on the ability of the Annex to convey its historic significance.

As designed, Option 1 does not comply with Standard 9. Revisions to Option 1 that incorporated differentiation between the massing of new and old construction at the north side of the east façade, and that retained a greater amount of historic fabric within the foyer and central corridor, could improve the project's ability to comply with Standard 9.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Shall the construction of Option 1 be removed in the future, the essential form and integrity of the Courthouse building would be impaired, due to the demolition of one exterior feature of primary importance, namely the one-story volume at the northeast portion of the building, and the demolition of a dense concentration of interior features of primary importance at the entry foyer and the interior stairwell. While the one-story volume, located at the rear façade of the building and constructed largely of concrete, could potentially be satisfactorily reconstructed in the future if so desired, the historic material quality and skilled period workmanship reflected in the foyer and stairwell are essentially unreproducible.

General Recommendations for Rehabilitation

Original or historic building materials, also known as historic fabric, contribute to the significance of a building because they inform the degree of architectural integrity a building retains. Repairs should be visually consistent to retain character-defining features and physically compatible to minimize loss of and damage to historic building materials. All repairs should comply with The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (The Standards) and on the Code of Ethics of the American Institute for the Conservation of Historic and Artistic Works (AIC).

The Standards provide general information for stewards of historic resources to determine appropriate treatments. They are intentionally broad in scope to apply to a wide range of circumstances and are designed to enhance the understanding of basic preservation principles. The Standards are neither technical nor prescriptive but are intended to promote responsible preservation practices that ensure continued protection of historic resources.

Furthermore, the Code of the Ethics of AIC calls for treatments to be "suitable to the preservation of the aesthetic, conceptual, and physical characteristics of the cultural property." In some cases, non-intervention is the most appropriate treatment for the preservation of a feature or structure. The Code of Ethics also requires an "informed respect for the cultural property, its unique character and significance, and the people or person who created it." In the case of the Nevada City Courthouse, previous additions and alterations that complement the historic building should also be respected.

In general, any repair, restoration, rehabilitation, replication, or maintenance should have a minimal impact on the historic fabric of the Nevada City Courthouse. Deficiencies threatening life and safety, or that may cause further deterioration should be corrected immediately. The value of any other improvements should be weighed against potential impacts to the building's historic integrity.

Recommendations

- Clean surfaces using the gentlest means possible. Per the Secretary of the Interior’s Standards for the Treatment of Historic Properties, a cleaning program should not strive to achieve completely clean surfaces or a “like new” appearance. A certain level of patina on a historic building is acceptable and the attempted removal of soiling and staining to a “like new” level tends to damage the substrate being cleaned. Typically, removing 85 percent or less of soiling or staining is recommended.
- Inspect exterior plaster surfaces by sounding in order to locate hollow spots indicating poor bonding to the substrate. Repair debonded plaster, cracks, and spalls.
- Rehabilitate historic doors to remain
- Rehabilitate historic windows
- Replace all building sealant
- Repaint building to match historic colors as determined by paint analysis.
- Restore historic finishes in primary character defining features to remain

Economic Impact

Option 1 would continue to support approximately 8.5 percent of downtown business activity (\$2.6 million). By combining the preservation of the existing art-deco façade with a renewed institutional commitment to downtown Nevada City, Option One would have a net-neutral on downtown. This option retains the spatial relationship between the courthouse and downtown so that people could continue to easily move back and forth between the two. In addition, the building would retain its historic character, thus continuing to contribute to the existing historic district as well as providing a visual anchor to the Cultural District.

A complete Economic Impact Report is included in the Appendix (see Section 3.2).

OPTION 1 | Detailed Criteria Evaluation Matrix

CRITERIA	WEIGHT (%)	SCORE (0-100)	WEIGHTED SCORE (%)
Court Function			
Safety and Security	30%	60	18
Program Requirements	25%	55	14
Circulation Patterns	15%	60	9
Functional Adjacencies	15%	55	8
Building Efficiencies	15%	60	9
Score			58
Site Function			
Safety and Security	20%	35	7
Site at Program Location	20%	70	14
Access to Site	20%	50	10
Site Functionality	20%	50	10
Accessibility	20%	20	4
Score			45
Local Community Goals			
Public Image of Building	20%	100	20
Economic Impact	30%	100	30
Historic Aspects / 338	15%	100	15
Useful Life of Building	15%	90	14
Broader Regional Goals	20%	85	17
Score			96
Judicial Council Goals			
County Title / Divestment	25%	80	20
Long-range Goals	25%	60	15
Meets Judicial Council Facility Standards	25%	60	15
Remaining Useful Life	25%	80	20
Score			70
Project Delivery			
Schedule	25%	45	11
Disruption of Services	30%	60	18
Community Impacts / Construction	15%	60	9
Environmental Considerations	20%	79	16
Deed restrictions and Others	10%	100	10
Score			64

CRITERIA EVALUATION

Courthouse Function

The demolition of the interior walls and renovation of the existing Courthouse afforded the team the necessary flexibility to significantly improve the functionality of the Courthouse. However, since Option 1 is based on retaining the existing building as intact as reasonably possible, inherent challenges arise. The rational approach includes retaining the exterior enclosure, structure and floor plates mostly intact. The inherent challenges associated with Option 1 are generally resolved in Options 2 and 3. Many of the issues listed below are a result that courthouse is divided into two (20 buildings, creating major disruptions to the circulation flow.

Safety and Security – Score: 60

The proposed layout significantly improves the safety and security of the Courthouse compared to its current condition. The circulation paths are divided into three separate parts: public circulation, restricted staff circulation and secure in-custody circulation. The three paths are separate, safe, and secure and score high in this category.

However, the shortcomings of this option include the irregular organization of the floorplates, low floor-to-floor heights, lack of visibility from the Secure Lobby to the Main Entry and the need have two separate building entrances between the main entrance and entrance for disabled persons. The circuitous path of travel for staff and Judicial Staff Circulation can adversely impact the safety and security of the Courthouse. Some Safety and Security issues are caused by the courthouse needing to be divided into two buildings.

Program Requirements – Score: 55

Option 1 generally fulfills the program requirements and space needs for each department. However, the quality of program spaces is considered low and does not meet the Judicial Council standards for dimensions, volume, and other requirements. These include the lack of contiguous department space, low floor-to-floor heights, and major structural components obstructing program spaces. These challenges also impact the overall flexibility of the program for future expansion. It would be nearly impossible to expand the functional departments of the court within the existing footprint. Some Program Requirement issues are caused by the courthouse needing to be divided into two (2) buildings.

Overall Court Functionality : Circulation Patterns – Score: 60

Courthouse functionality is hindered by the original building's irregular floor plate footprint and the multiple floor level changes within the footprint. This results in circuitous paths of travel between the Judicial Chambers and Administration spaces across the two buildings. Judicial Staff must also access the Restricted Corridor on Level 2 to travel between buildings to avoid the Public areas. This impacts the safety and security of the Courthouse. Furthermore, the level changes within each floor of the Annex and between the two buildings require extensive ramping. These ramps occupy potential functional spaces and result in irregular floor surfaces.

Overall Court Functionality : Functional Adjacencies – Score: 55

Functional adjacencies are likewise hindered by the original building's irregular floor plate footprint and the multiple floor level changes within the footprint. The Administration Department is located on two different floors (Level 1 and Level 3). The ideal scenario is for the department to be in a single, contiguous space that is adjacent to the Judicial Chambers. Self-help is bisected by Public Circulation and Jury Services is divided into three different spaces by major structural components. The Overall Court Functionality is hindered by the courthouse needing to be divided into two (2) buildings.

Overall Court Functionality : Building Efficiencies – Score: 60

The functional adjacencies are likewise hindered by the irregular floor plate footprint and the multiple floor level changes within the footprint. This results in suboptimal equipment locations such as building support systems located in the Basement. The low floor-to-floor heights also create challenges for equipment maintenance. Furthermore, the generator is located 50-feet away from the building, which compromises safety and security. The Building Efficiencies are hindered by the courthouse needing to be divided into two buildings.

Site Function

The original downtown Nevada City site has two major functionality challenges. First, the site's 0.98-acre size is suboptimal compared to the approximately 4.5-acres necessary to achieve optimal site functionality. The second challenge is related to the steep topography of the site. Both issues can be improved by smart design, but the challenges cannot be eliminated. Option 1 scores low under the Site Function criteria.

Safety and Security – Score: 35

This option does not meet the Judicial Council's Safety and Security standards, which is the most significant issue with the site. In section 4.E Physical Security Planning Criteria of the California Trial Court Facilities Standards 2020, item 3. Site Selection and Design states: "The site must have a minimum 25' setback between unscreened vehicle threats and buildings, unless otherwise determined by the risk assessment,". While a formal risk assessment has not been completed, the current site arrangement, with vehicular access immediately adjacent to the existing building, is a clear security threat. Although major mitigation measures are incorporated, like closing Washington street to non-emergency vehicles, eliminating parking from the remaining adjacent streets, and the addition of security barriers to the streets, the security is still deficient. Additional mitigation measures are applied, like ballistic glazing, but the location of the Judicial Chambers has a direct sightline from nearby buildings and pedestrian circulation, which is unsafe. Despite the inclusion of ballistic glazing to improve the sightline conditions, it is not a desirable option.

Site at Program Location – Score: 70

The major consideration of the Site Program is parking. The first critical element is secure parking for Judicial Staff and secure transportation for those in-custody provided by the County Sheriff's Office. Option 1 adequately accommodates both functions. The second critical element is visitor, juror and non-secure staff parking. It is clear that a centralized parking lot will not be available for this option. The Judicial Council will seek to locate parking to match the programmatic needs of the Courthouse but since the complete parking needs have not yet been identified, there is risk involved with this. Additionally, the parking that has been confirmed is not located adjacent to the courthouse and is located in different locations. This approach allows the site to support the entire programmatic needs. However, the site does not accommodate the program holistically. It needs to be parsed out into pieces and provides suboptimal adjacencies.

Access to Site – Score: 50

Access to the building, site, and new parking is significantly improved compared to current conditions due to Nevada City's willingness to provide adjacent lots for parking. However, as noted above, these parking lots are disparately located and may result in a non-intuitive path of travel. Moreover, the location of the parking lots results in long and inconvenient paths of travel on steep sidewalks to the main Courthouse entrance for able and non-able-bodied persons. The courthouse is currently accessible via transit and located less than 500 feet from the transit stop. However, the Team recommends adding a bus stop that coordinates with the improved accessible path of travel. Furthermore, due to the steep terrain, pedestrian and bicycle access are poor. Although the Sheriff's office needs to transport in-custody from a remote location, other related functions, like the District Attorney's office and Juvenile Probation are located nearby.

Site Functionality – Score: 50

The site can accommodate some critical functions of the Court, including transfer of persons in-custody and secure judicial parking, and can accommodate operational and maintenance circulation needs. However, the site is not ideal for any of these functions. The Sheriff's Office must transport those in-custody from the County Jail to the Courthouse and the equipment used for these activities are exposed in public zones. Furthermore, building systems are located in areas that are difficult to access or are within public areas, resulting in maintenance challenges.

Closing Washington Street to vehicular circulation improves the 25-foot standoff and the path of travel for non-able-bodied persons but creates challenges for emergency vehicle access and circulation. However, parking is disparately located adjacent to the site and results in long, non-intuitive and inconvenient paths of travel for able and non-able-bodied persons.

Accessibility – Score: 20

The path of travel for disabled and able-bodied persons is long, circuitous and nonintuitive. The steep terrain and frequent inclement weather conditions pose challenges in navigating for this option.

Local Community Goals

Public Image of Building – Score: 100

Most, but not all, of the local community has a strong desire to keep the existing building intact. This option is developed around that desire and scores high in this criterion.

Economic Impact – Score: 100

As Courthouse functions increase, the number of visitors to the downtown area is anticipated to increase slightly. As a result, the downtown area should receive a small economic benefit.

Historic Aspects / Ordinance 338 – Score: 100

The local community has a strong desire to keep the existing Courthouse buildings intact. Option 1 retains as much of the original building as possible and preserves the historic fabric of downtown Nevada City. This option scores the maximum number of points in this criterion.

Useful Life of Existing Building – Score: 90

The useful life of the existing building will be vastly improved, supporting the local community goals. However, the renovated building will require additional maintenance.

Broader Regional Goals – Score: 85

The downtown Courthouse has significant value to Nevada City and slightly less value to Nevada County. However, its significance to the region is not as high and the cost premium required for this option would not be of value to some residents in the region.

Judicial Council Goals

County Title/Divestment - Score: 80

The Judicial Council has a strong desire to hold title of court properties. Currently the Courthouse title is held by Nevada County and the Judicial Council has equity interest in the property. The titles for the proposed parking spaces are either county owned or privately owned. Although it is very likely that the Judicial Council will be able to gain title to these properties, there is no guarantee that this will occur, leading to potential risk.

Long-range Goals – Score: 60

This option supports the Judicial Council's long-range goals to promote buildings that are functional, durable, maintainable and efficient and that provide long-term value to the public, the judicial branch, courthouse occupants, the community in which they reside, court users, and taxpayers of California. However, reusing the existing building impacts the overall flexibility of the program for future expansion and the historic elements will require special treatment.

Meets Judicial Council Facility Standards – Score: 60

This option does not meet the Judicial Council Facilities Standards in terms of Safety and Security, Program Requirements and other criteria listed earlier.

Remaining Useful Life of Renovated Building – Score: 80

Although most of the building is being replaced or significantly enhanced, there are inherent issues with the original building elements such as the irregular floor plates and floor-to-floor heights. The exterior will remain intact resulting in heightened maintenance.

Project Delivery

Schedule – Score: 45

This project is the longest of the three options and will take 90 months to complete.

OPTION 1 | Project Delivery Schedule

90 MONTHS	Q3 2022	Q4 2022	Q1 2023	Q2 2023	Q3 2023	Q4 2023	Q1 2024	Q2 2024	Q3 2024	Q4 2024	Q1 2025	Q2 2025	Q3 2025	Q4 2025	Q1 2026	Q2 2026	Q3 2026	Q4 2026	Q1 2027	Q2 2027	Q3 2027	Q4 2027	Q1 2028	Q2 2028	Q3 2028	Q4 2028	Q1 2029	Q1 2030	Q1 2031	Q1 2032
COBCP Process	█	█	█	█																										
Site Selection/Prelim. Due Diligence/ CCOA					█	█	█	█																						
Site Acquisition / Due Diligence/ CCOA									█	█	█	█																		
Performance Criteria / Select Design Builder														█	█	█														
Initiate Design Build (Design/Permit)																	█	█	█	█										
Swing Space Procurement													█	█																
Swing Space Completion															█	█														
Move Court Functions to Swing Space																	█	█												
Construction																				█	█	█	█	█	█	█	█	█	█	█

Disruption of Services – Score: 60

This option requires Judicial Staff to move and provide services at a temporary facility for a three and one-half year period and to move a second time into the new facility after project completion. This is not only disruptive to the courts and the community, but also to the courthouse visitors.

Community Impacts – Score: 60

This option will require significant disruption to the community during construction, including traffic, noise, and other construction-related issues. The community will also be required to access judicial services at a temporary location during construction.

SECTION 1

Environmental Considerations – Score: 79

The project will involve moderate environmental concerns and scores similarly to the other options.

Deed Restrictions and Others – Score: 100

There are no known deed restrictions for this option.

COST ESTIMATE

The estimated cost for Option 1 is \$219,780,230. See Appendix for a detailed Cost Evaluation (Section 3.6).

COST MODEL	OPTION 1
Construction Costs	\$133,820,000
Project Costs	\$36,131,400
Property Acquisition Costs	\$5,005,000
Escalation Costs (May 2022 to midpoint)	\$44,823,830
Total Cost	\$219,780,230
Score	80

2.2 OPTION 2 — RENOVATION OF EXISTING COURTHOUSE FACILITY

EXISTING CONDITIONS

Architecture

The Existing Conditions for Option 2 are identical to Option 1.

Site / Civil Engineering

The Existing Conditions for Option 2 are identical to Option 1.

Structural Engineering

For Option 2, the existing structures are removed from the site to allow for preparation of the existing city site for construction of the new facilities. Demolition and removal of existing facilities are required along with preparation of the site for construction of the new facility.

The existing site has substantial grade elevation differences across its area. The site elevations is partly mitigated by changes in floor elevation and partly by alignment of building levels with the uphill side of the site, as well as by site excavation and use of retaining walls to protect interior spaces and exterior improvements.

Based on available soil reports, excavation at the site is anticipated to be difficult due to weathered rock and boulders which will likely be encountered and require removal. Additionally, some moderately compressible soils near the surface require over excavation and recompaction to reduce the magnitude of anticipated settlements.

Protection of streets, utilities and other offsite improvements including shoring are required along the edge of the site as the excavation is performed and new perimeter site retaining walls are installed.

Mechanical and Plumbing Engineering

Yard Area

All available site area is anticipated to be used with little available space for a mechanical yard. It is anticipated that the outdoor cooling towers will need to be located on the roof.

Site Pressure

Site pressure is reported to be between 65 and 80 psi. It is assumed that a domestic water booster pump and fire pump will not be required.

Electrical Engineering

The Existing Conditions for Option 2 are identical to Option 1.

Transportation Engineering

The Existing Conditions for Option 2 are identical to Option 1.

Sustainability

The Existing Conditions for Option 2 are identical to Option 1.

CONCEPT DESIGN

Architecture

APPROACH

The approach to Option 2 involves the demolition and replacement of the existing Courthouse with a new building. Option 2 provides the Superior Court of Nevada County with a facility that meets the operational, security, and space needs of the Court within the constraints of the original site. Option 2 has the benefit of a completely new building footprint that enables the design to be customized to meet critical courthouse needs.

SITE

Option 2 mitigates some of the constraints of the original site to efficiently accommodate a new Courthouse building, including the various grade changes described in Option 1. Option 2 includes a raised Plaza on the ground level to improve overall site access and to accommodate access for non-able-bodied users. The Plaza also provides the opportunity to activate the space and install landscaping and/or public art. This opportunity is not included in Option 2.

Similar to Option 1, Washington Street will be closed off to vehicular traffic and street parking will be removed on both North Pine Street and Main Street to achieve the required 25-foot stand-off. Bollards are offset 10 feet from the curb and line the east and southeast portion of the site.

The Judicial Council will seek additional land to provide dedicated parking spaces for the Court. This study assumes the project will acquire an approximate 2,000-square foot lot on which a two-level parking structure would be built. The path of travel for non-able-bodied persons is indicated along the east of the site and is linked to the Plaza. Vehicular access to Secure Parking and the Secure Vehicular Sallyport is to the east of the site, with vehicles passing through a Security Gate and a Secure Gate to enter the building.

OPTION 2 | Site Diagram



Building Massing

The building massing for Option 2 is substantially different from the existing Courthouse. The new building rises three stories tall with one story below-grade and features a tower entry that is taller than the rest of the building. This tower emulates the existing entry of the original Courthouse, establishing a civic presence and welcoming entry experience, while retaining the historic fabric of the current conditions. The tower and single-story main entrance extend from the rest of the building to the south.

OPTION 2 | Axonometric Massing Diagram



OPTION 2 | Massing Diagram - View from Main Street



OPTION 2 | Massing Diagram – View from North Pine Street



OPTION 2 | Massing Diagram – View from Winter Street



Floor Plans

Option 2 provides the Superior Court of Nevada County with a 6-Court facility that includes two Large Courtrooms and dedicated spaces for Judicial Services in a new building. Judicial Services and Administration spaces are located on Level 1. Courtrooms and Judicial Chambers are located on Levels 2 and 3. Large Courtrooms and additional Administration and Family Court, Civil and Alternative Dispute Resolution spaces are located on Level 3.

OPTION 2 FLOOR PLAN | Basement



LEGEND

Courts building

- BUILDING SUPPORT
- CENTRAL HOLDING

- CIRCULATION - SECURE, VERTICAL
- CIRCULATION - STAFF, VERTICAL

- SECURE PARKING
- SECURE SALLYPORT

- SHERIFF'S OFFICE

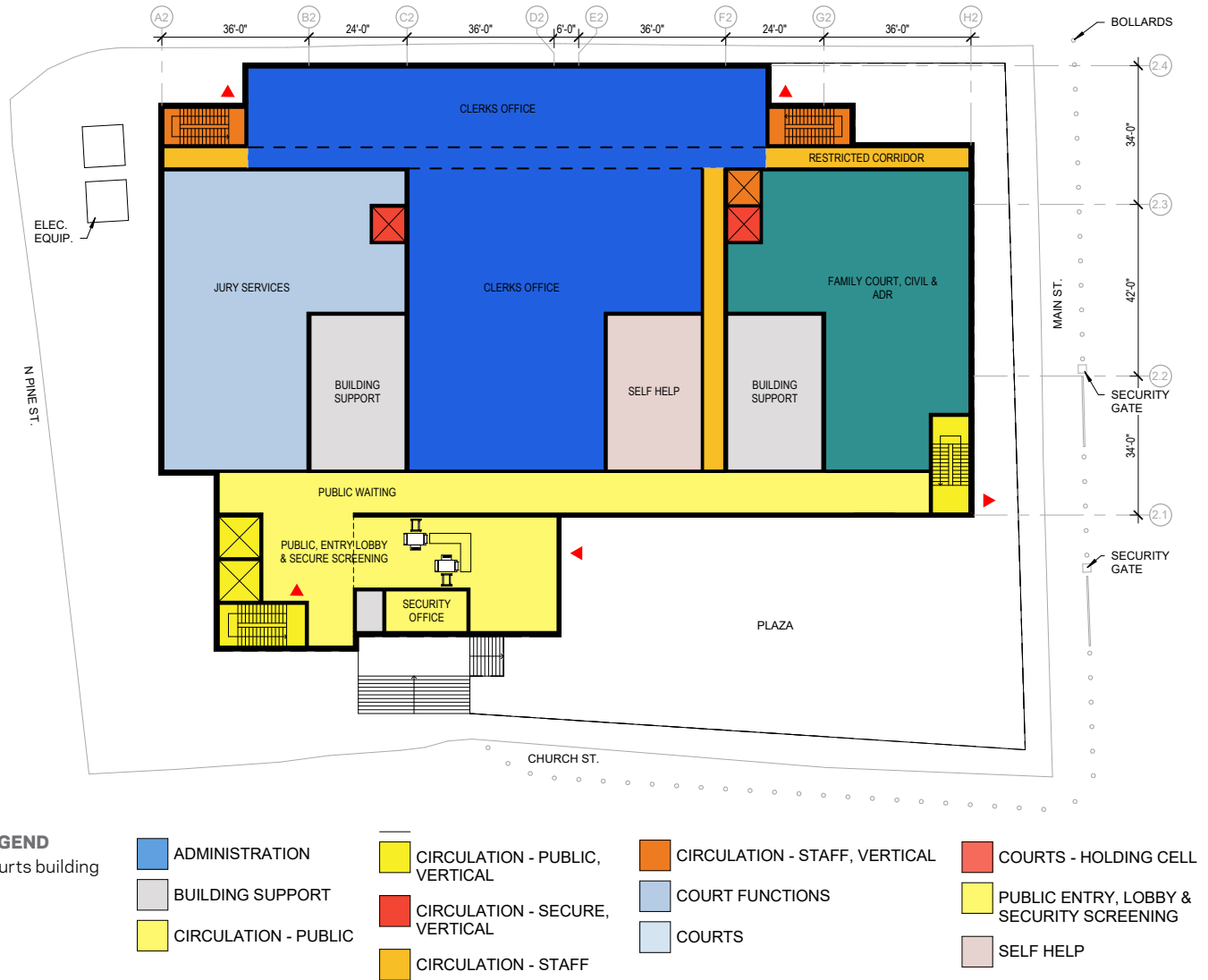
The Basement Level layout for Option 2 is similar to Option 1 and includes Secure Parking for Judicial Staff, a Central Holding Area, a Secure Vehicular Sally Port, Sheriff’s Office, and Building Support. Option 2 retains two secure gates for vehicular access to Secure Parking and the Secure Vehicular Sallyport to the east of the building. Public street access to the Sheriff’s Office is located to the south of the building.

Structural supporting walls line the east and southeast corner of the floorplate to achieve the required 25-foot standoff and enhance safety and security. These supporting walls may serve as potential holders for trees and other elements in the Plaza above.

Vertical Circulation accessible from the parking area is provided for Judicial Staff and leads to the Family Court, Civil and Alternative Dispute Resolution spaces on Level 1 and the Judicial Chambers on Levels 2 and 3. Secure Vertical Circulation at the Central Holding Area leads to two separate Holding Areas on Levels 2 and 3. This ensures that the transportation of individuals in custody is secure and separated from Public and Judicial spaces.

Option 2 reduces the grade changes at the Basement Level from two changes to one and eliminates all grade changes above-ground.

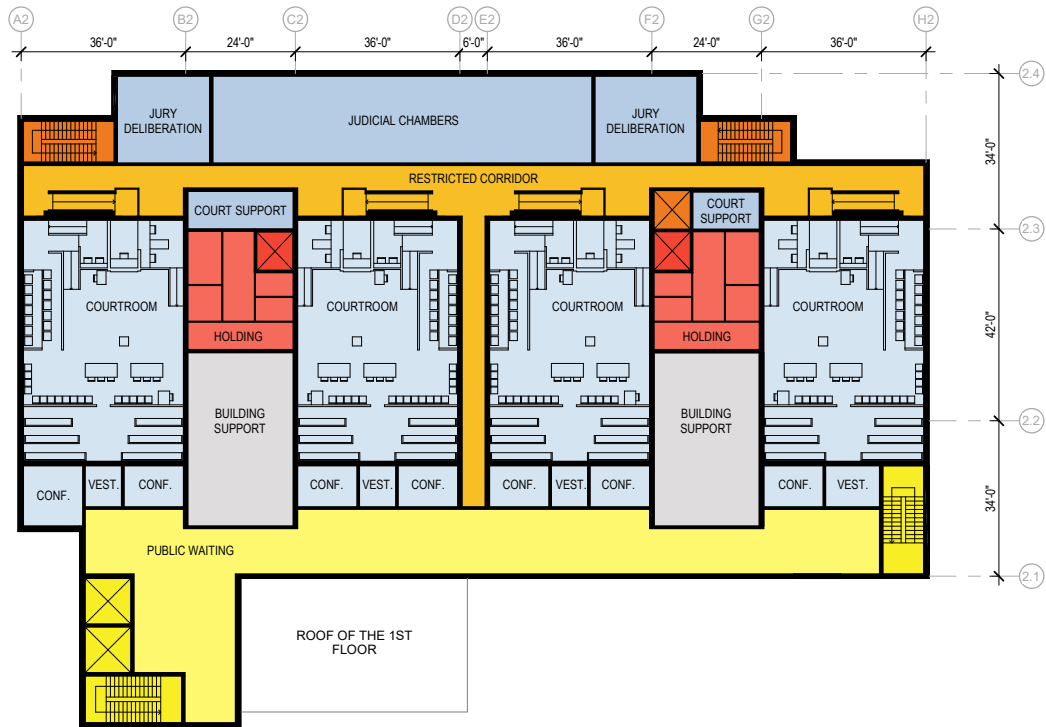
OPTION 2 FLOOR PLAN | Level 1



Level 1 is organized into a horizontal layer of program and circulation spaces. All Public Areas are located at the south of the building, including the single-story Public Entry Lobby and Secure Screening, the Public Waiting Area and Public Vertical Circulation. Courthouse users, including non-able-bodied individuals enter the building from the east via the main entrance. Judicial Services including Jury Services, Clerks Office, Self-Help, and Family Court, Civil and Alternative Dispute Resolution spaces are located at the center of the building together with Building Support spaces. A Restricted Corridor bisects the Clerks Office and Family Court, Civil and Alternative Dispute Resolution spaces to the east of the floorplate and links to the Public Waiting Area.

This configuration enables the efficient organization of program spaces and establishes clear separation between public, restricted, and secure spaces. This also allows for opportunities to integrate daylighting and views to the outdoors within the Public Waiting Area, Jury Services, and Family Court, Civil and Alternative Dispute Resolution spaces.

OPTION 2 FLOOR PLAN | Level 2



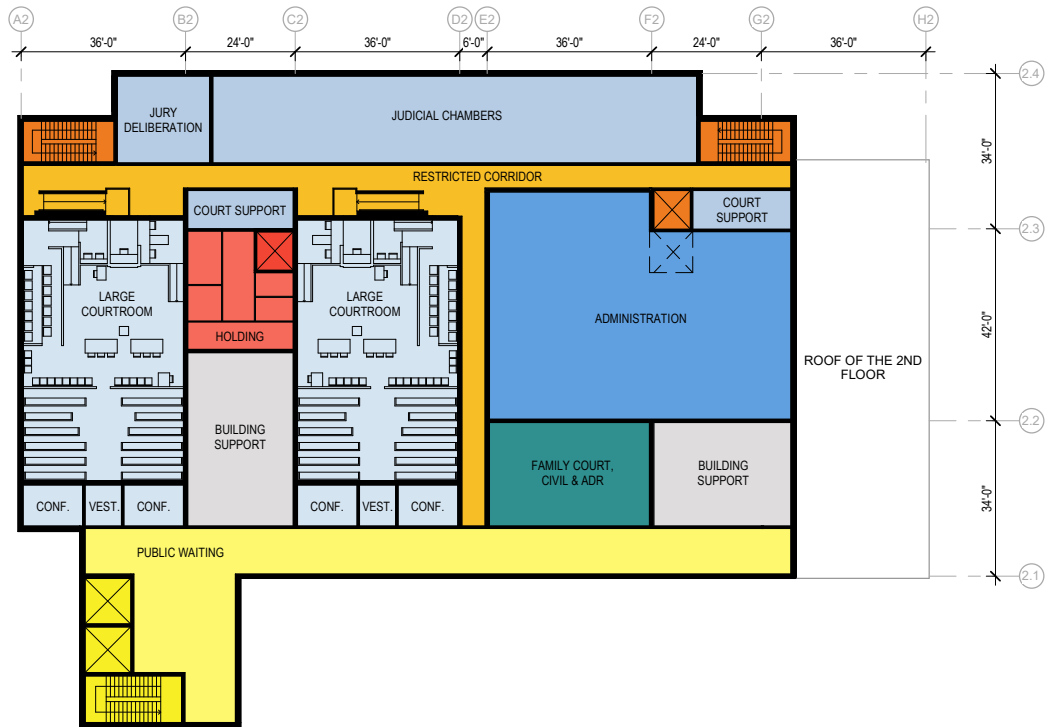
LEGEND

Courts building

- BUILDING SUPPORT
- CIRCULATION - PUBLIC, VERTICAL
- CIRCULATION - STAFF, VERTICAL
- COURTS - HOLDING CELL
- CENTRAL HOLDING
- CIRCULATION - SECURE, VERTICAL
- COURT SUPPORT
- COURT FUNCTIONS
- COURTS
- CIRCULATION - PUBLIC
- CIRCULATION - STAFF

Similar to Level 1, Level 2 is organized into a horizontal layer of program and circulation spaces. Public Areas are located at the south of the floorplate, including the Public Waiting Area and Public Vertical Circulation. Four Courtrooms are located at the center of the floorplate, each separated by a Holding Area, Building Support, and Court Support Spaces. A Restricted Corridor bisects the Courtrooms and Judicial Chambers at the center of the floorplate and links to the Public Waiting Area. A second Restricted Corridor bisects the Judicial Chambers, Jury Deliberation spaces and Courtroom spaces to the north of the floorplate.

OPTION 2 FLOOR PLAN | Level 3



LEGEND

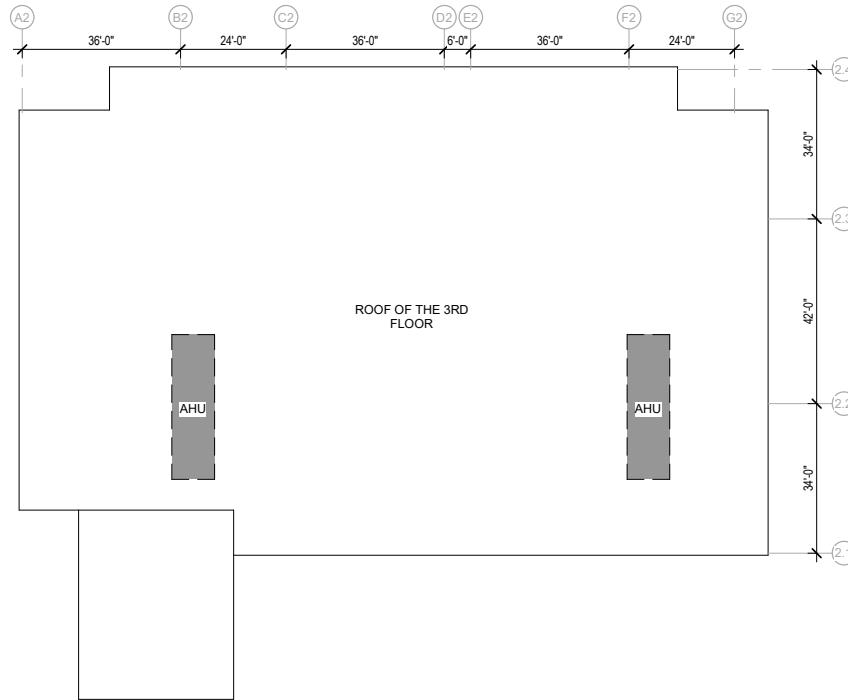
Courts building

- | | | | |
|---|---|--|--|
| ADMINISTRATION | CIRCULATION - PUBLIC, VERTICAL | CIRCULATION - STAFF, VERTICAL | COURTS - HOLDING CELL |
| BUILDING SUPPORT | CIRCULATION - SECURE, VERTICAL | COURT FUNCTIONS | FAMILY COURT, CIVIC AND ADR |
| CIRCULATION - PUBLIC | CIRCULATION - STAFF | COURTS | |

Similar to Levels 1 and 2, Level 3 is organized into a horizontal layer of program and circulation spaces. Public Areas are located at the south of the floorplate, including the Public Waiting Area and Public Vertical Circulation. Two Large Courtrooms are located to the west of the floorplate, each separated by a Holding Area, Building Support and Court Support Spaces. Administration, Family Court, Civil and Alternative Dispute Resolution and Building Support spaces are located to the west of the floorplate. A Restricted Corridor bisects the Courtrooms and Judicial Chambers to the east of the floorplate and links to the Public Waiting Area. A second Restricted Corridor bisects the Judicial Chambers, Jury Deliberation spaces and Courtroom spaces to the north of the floorplate.

SECTION 2 | Option 2

OPTION 2 FLOOR PLAN | Roof Plan

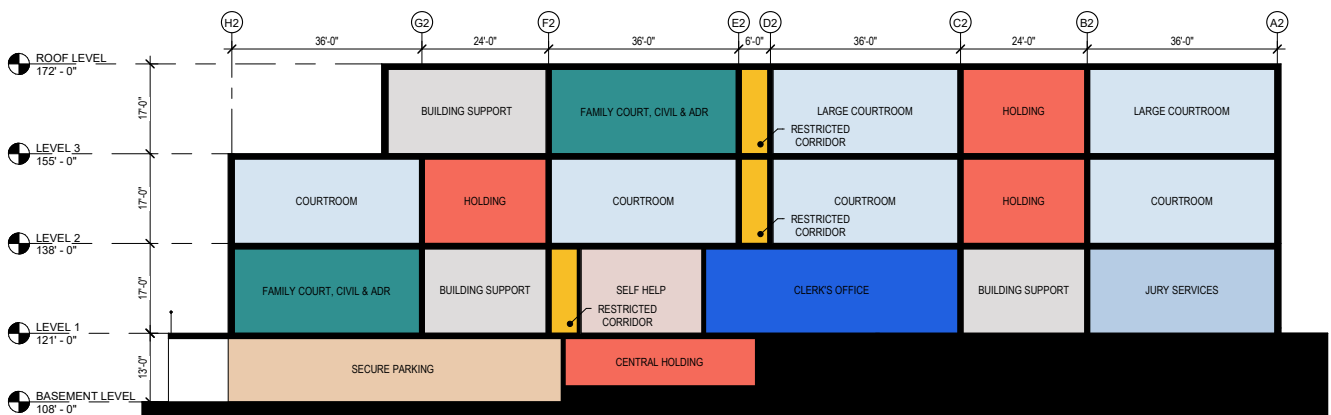


Building systems equipment are located on the roof.

Building Section

Option 2 encompasses the construction of a new Courthouse on the original site. As a result, there are no level changes on all floors above ground. This option reduces the grade changes on the Basement Level from two changes to one and eliminates all grade changes above-ground.

OPTION 2 | Building Section



Site / Civil Engineering

Site Access, Parking and Site Improvements

New accessible paths will be required for the Courthouse building, per California Building Code. Improvements shall meet applicable State and Federal requirements.

Because of the site's terrain, new accessible ramps and handrails are anticipated to be required.

An accessible path of travel from the new parking garage to the Courthouse will be located along Main Street. The path of travel will be raised above grade relative to Main Street, providing access to the main entry on Church Street. Existing sidewalks near the building will be replaced to allow for construction of the building.

The existing parking area near the Washington and Pine Street intersection will be converted into a utility yard for new electrical equipment. The accessible parking spaces within this area will be relocated into the new parking garage.

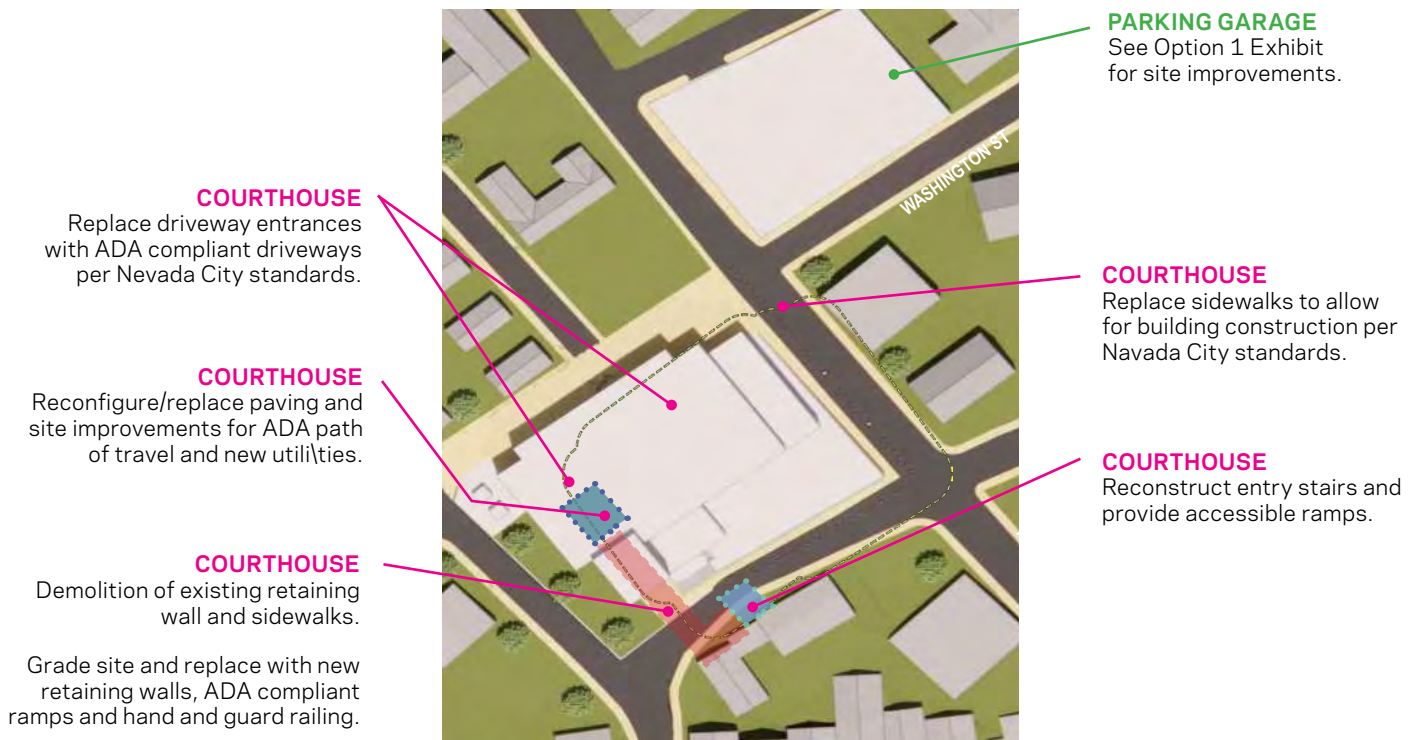
A new parking garage will provide new parking including accessible stalls for the facility in an yet to be determined location. The parking is expected to be provided on a multi-story garage with access to each level provided by two separate entrances. Significant excavation will be required to construct the garage, and the new facility will retain soil depths of approximately 20 to 25 feet.

Based on an existing geotechnical report prepared for the courthouse site, weathered rock and boulders are expected to be encountered during excavation.

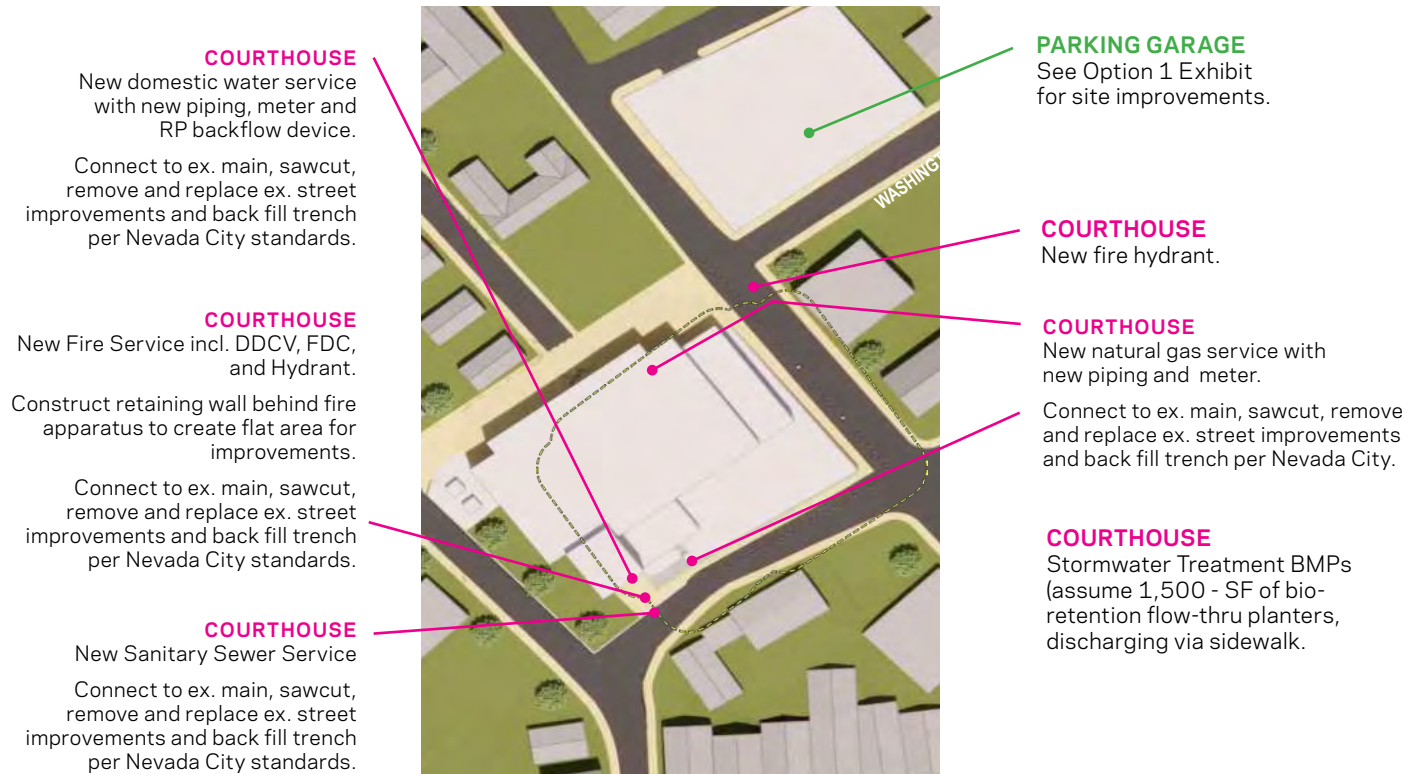
Washington Street will be closed to vehicular traffic adjacent to the site. Removable bollards or other improvements will be placed on either end of the street that can be removed for fire access.

New bollards offset 10 feet from the face of curb along Main Street will be required.

OPTION 2 | Site Improvements Concept



OPTION 2 | Site Utilities Concept



Proposed Utilities

Sanitary Sewer

The new Courthouse will require a sanitary sewer connection connecting to the existing public infrastructure in nearby streets. The system is anticipated to flow via gravity and will be sized to accommodate the sewer demands of the building in accordance with the California Plumbing Code.

The new parking garage will require a sewer connection serving garage drainage, connecting to public mains. The system will include a sand/oil separator.

Storm Drainage

Storm drainage requirements are prescribed by Nevada County Land Use and Development Code.

Projects in the City are typically required to install detention and treatment facilities to mitigate peak increases in stormwater runoff. Per Nevada County Code, where determined necessary, retention/detention facilities shall be designed to protect downstream users and ensure that the water surface returns to its base elevation within 24 hours after the storm event.

Stormwater treatment and detention shall be provided to meet Nevada City stormwater requirements.

Judicial Council of California (JCC) California Trial Court Facilities Standards has a design objective for projects to achieve LEED Silver or greater. Additional stormwater treatment goals may be necessary, up to treatment of the 98th Percentile storm runoff in order to achieve Rainwater Management (SS C4) LEED points.

If the site improvements result in an acre or more of disturbed area, the project will require a Stormwater Pollution Prevention Plan (SWPPP) be processed with the State of California to obtain coverage under the Construction General Permit prior to construction.

Domestic Water and Fire

The new Courthouse will require a new fire suppression sprinkler system. The new system shall conform with the Nevada City Code of Ordinances, California Fire Code, and NFPA 13.

Separate fire service connections will be required for the new Courthouse and parking garage. The connections will include a Double Detector Check Valve assembly at the connection to the public main and Fire Department Connection.

Private fire service mains shall conform with NFPA 24, capable of supplying the required fire flow for fire protection.

The fire service will require a new fire department connection (FDC). FDC's shall be installed in accordance with the NFPA standard applicable to the system design and shall be located unobstructed from a fire lane. A fire hydrant shall be located near the FDC per Nevada City Fire and California Fire Code requirements.

Additional fire hydrants will be required in order to provide coverage around the building and near Fire Department Connections per Nevada City Fire and California Fire Code.

The Courthouse building will require a new domestic water service connecting to the public water system within the street. The new service will include a meter and reduced pressure backflow assembly at the connection to the public main, adequately sized for the building. Meter and backflow locations should be coordinated with Nevada City.

Gas Distribution

A new gas service will be required for the new Courthouse building including piping and meters adequately sized for the buildings. The improvements shall be in accordance with PG&E standards. The meter location will require coordination with PG&E.

Structural Engineering

APPROACH

The structural approach for Option 2 is to maximize the site by installing perimeter retaining walls where needed to establish off site and on-site grades suitable for the improvements. These retaining walls are incorporated into the Plaza-level structural system. Above this level, the approach is to provide a straightforward and efficient structural system to meet the 2020 California Trial Court Facilities Standards and accommodate the needs of the other design disciplines in one building structure.

CONCEPT DESIGN

Option 2 utilizes reinforced concrete slabs, retaining walls and foundations at the Basement and the Plaza level and a steel moment resisting frame structure for the levels above.

The Basement Level includes 12-inch-thick reinforced concrete walls and retaining walls along the perimeter with integral concrete pilasters aligned with the steel frame columns above. Interior walls are 8-inch-thick reinforced concrete walls dividing the secure spaces. The floor at the ground level is a 5-inch-thick reinforced concrete slab on ground tied into necessary short retaining walls for the grade differences.

The Plaza-level slab over parking below has mild reinforcing and is approximately 10 to 12 inches thick. It has integral concrete beams to transfer out the gravity frame lines above to perimeter and interior walls below. Beams may also be necessary where planters or thickened seating areas occur at the plaza level above. The perimeter of the Plaza has an integral cast in place concrete guardrail / wall that is approximately 6 inches thick along its elevated edges. The west half of the plaza level is on-grade and consists of a concrete slab on grade installed over 4 inches of crushed rock over vapor retarder with shallow spread footings and grade beams at the framed resistance lines above. Some additional retaining walls may be required at the south stairways and at the elevator pits.

The three levels of structural system above the Plaza level are anticipated to consist of a structural steel framed system with Special Steel Moment-Resisting Frames (SSMRF) for resisting lateral forces. An advantage of this system is its flexibility from the architectural perspective while providing a high performance, ductile lateral force resisting system. The SSMRF system provides an open floor plate by not requiring interior structural walls and allows for the most flexibility future space planning. The SSMRF system also integrates optimally with mechanical, electrical, and telecommunications systems, allowing associated ductwork and conduits located above the ceilings to run more freely. All of the special requirements of a courthouse building, including progressive collapse prevention, are met with this open system.

To accommodate the long spans required due the geometry of the courtrooms, the steel framing option consists of reinforced composite concrete floor decks. Typical floors have 4½-inch-thick concrete fill over 3-inch metal deck for a total slab thickness of 7½ inches. This slab section spans to structural steel floor beams and provides the required two-hour fire rating without applying fireproofing to the underside of the deck. The slab system provides appropriate vibration characteristics due to the mass and stiffness of the composite metal deck and concrete. The beams are likely W18 beams spaced at 10 feet on center maximum and spanning about 30 feet. The girders are likely W27 or W30 members spanning approximately 22 feet to 39 feet.

Elevated Floors at Mechanical Equipment Rooms are likely comprised of 7-inch normal weight concrete fill over 3-inch metal deck (total slab thickness of 10 inches) spanning a maximum of 10 feet to composite steel wide-flange beams. This provides a three-hour fire rating without any sprayed-on fireproofing at the underside of the metal deck and satisfies the acoustical recommendations for mechanical equipment above and below occupied spaces. Beams, girders, and columns are fireproofed throughout the building.

The main roof assembly is likely comprised of concrete over metal deck, rigid insulation and surface roofing material. The steel framing slopes to the roof drains to minimize crickets and tapered insulation. The roof deck is likely comprised of 4-inch normal weight reinforced concrete fill over 2-inch metal deck (total slab thickness of 6 inches) spanning a maximum of 8 feet to composite steel wide-flange beams. This provides a 1½ hour fire rating without any sprayed-applied fireproofing at the underside of the metal deck. Typical roof beams are W16 or W18 members spanning approximately 30 feet. Roof girders are W21 or W24 members spanning approximately 22 feet to 39 feet. Beams, girders, and columns are fireproofed throughout the building.

The lateral force resisting frames are located along the building perimeter and at an interior building line near the mid-length of the building. Three frames are anticipated on each of the building sides with two frames at the center gridline in the transverse direction (Grid D3). The lateral resisting frames are likely comprised of W33 beams and W24 columns. Roof moment frame beams shall be no deeper than W30 members. The SSMRF members at the perimeter satisfy the progressive collapse requirements at the perimeter of the building. Steel beams and girders would be utilized as collector and chord members throughout the structure.

The structural system is designed to resist progressive collapse per the current California Trial Court Facilities Standards for structures greater than two stories tall. Alternate-path analysis methods for demonstrating a structure's resistance to progressive collapse shall conform to Unified Facilities Criteria (UFC) 4-023-03. These requirements will work efficiently with the ductile structural steel moment frames located around the perimeter of the structure as noted previously. Additional steel columns can be added around the perimeter to help mitigate the effects on the structure. In addition, a Threat Assessment study is provided that will inform whether a performance-based design is required for a direct blast load, the level of protection shall meet the Protective Design Center PDC-TR 06-08 Single Degree of Freedom Structural Response Limits for Antiterrorism Design requirements.

Mechanical and Plumbing Engineering

CONCEPT DESIGN

Central Utility Plant

The new building will be served by a new central utility plant with indoor water-cooled chillers, and gas-fired boilers, anticipated at a similar location to the current units in the basement. Equipment sizing is anticipated to be similar to Option 1.

Air-Handling Systems

The building will be served by two new (approx. 38,000 cfm) air-handling units located on the roof.

HVAC Distribution

Duct distribution will be via vertical shafts to terminal vav boxes. Hot water reheat will be provided for perimeter boxes. Ductwork will be lined downstream of fans and vav boxes for noise control. No smoke control systems are anticipated to be required. Hydronic heating hot water and chilled water system piping will be steel or copper piping and designed for low-pressure loss.

HVAC Controls

A new HVAC Building Management System (BMS) control system will be provided to serve all mechanical systems. The system will be compliant with the JCC BMS specification requirements with all points graphically displayed on the front-end computer system.

Central Plumbing Equipment

A central gas water heater and circulation pump distributes domestic hot water to the fixtures at both buildings.

Plumbing Fixtures

Low-flow, wall-hung commercial grade fixtures are used with 1.28 gallons per flush for water closets, 0.125 gallons per flush urinals. All toilet room fixtures are sensor operated. Holdroom areas are provided with stainless steel institutional combination toilet / lavatory fixtures.

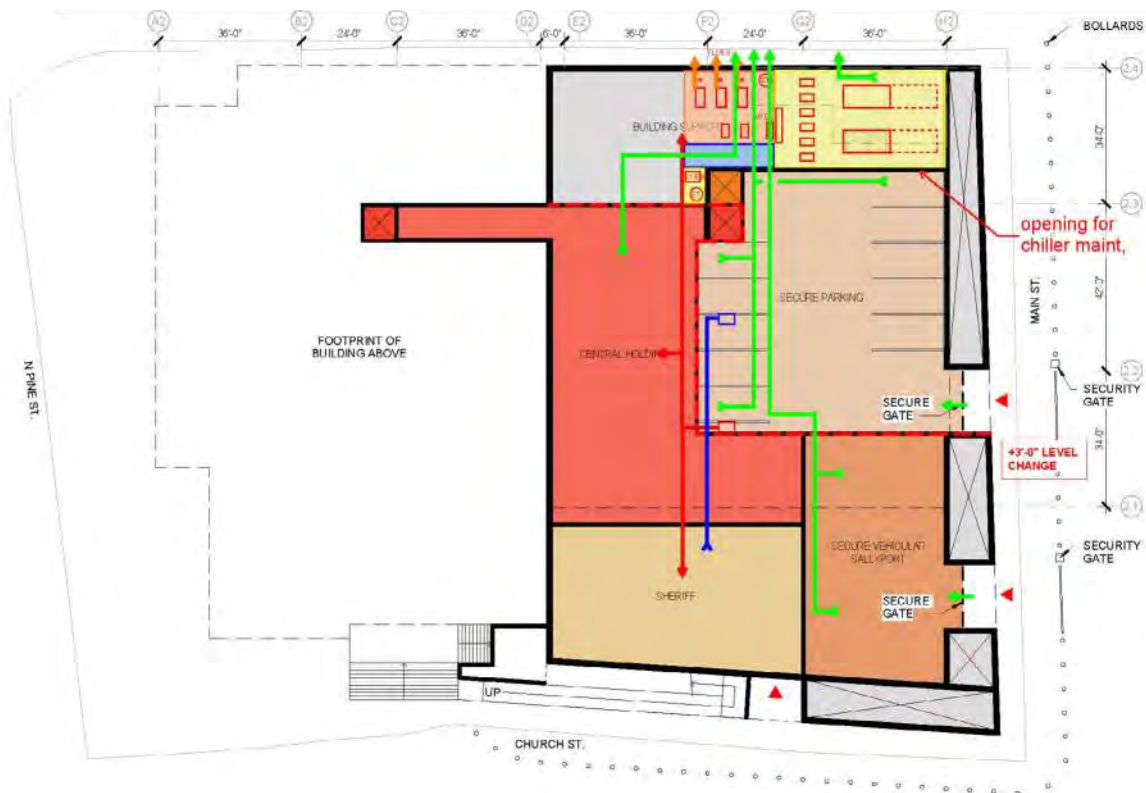
Piping systems

The roof drainage system, designed for a 2-inch per hour rainfall rate, is provided along with overflow piping. Domestic water piping is provided to all fixtures and sized in accordance with CPC and ASPE requirements. Domestic water piping is extended to site main connection points. Natural gas piping is extended to serve the boilers and domestic water heater in the basement. Fire sprinkler piping is extended from the site water main. All areas of the building and attached overhangs are fully protected with an automatic wet fire sprinkler system in accordance with NFPA-13 requirements. Sprinkler heads are semi-recessed or concealed type. Holdroom areas are provided with institutional heads.

Comparison with Other Options

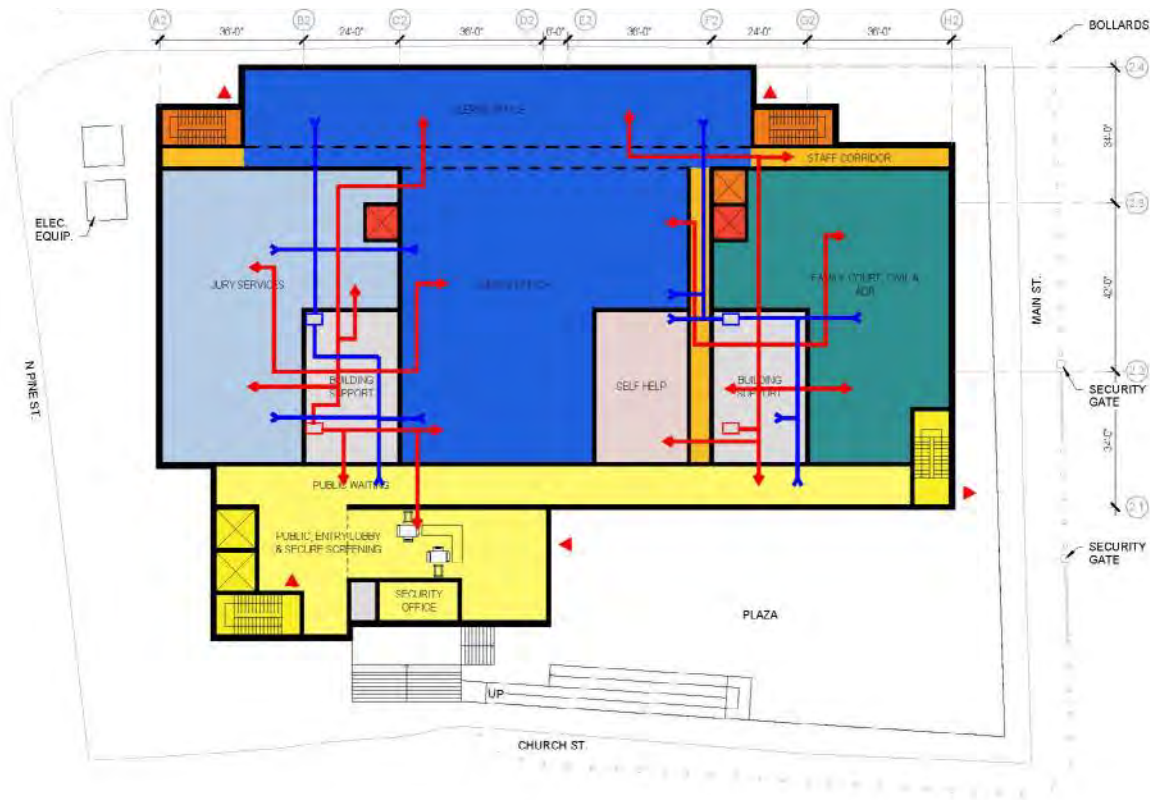
- Each of the options uses similar mechanical systems and equipment.
- Option 2 has a building shell that is new construction and therefore likely to be more energy efficient than Option 1.
- Option 2 can optimize air-handler placement and sizing only requiring (2) units rather than (3) required with Option 1.
- Option 2 uses all available site area, so that the cooling towers are likely required to be located on the roof, resulting in more pumping energy and additional rooftop structural weight.

OPTION 2 MECHANICAL AND PLUMBING PLAN | Basement Level

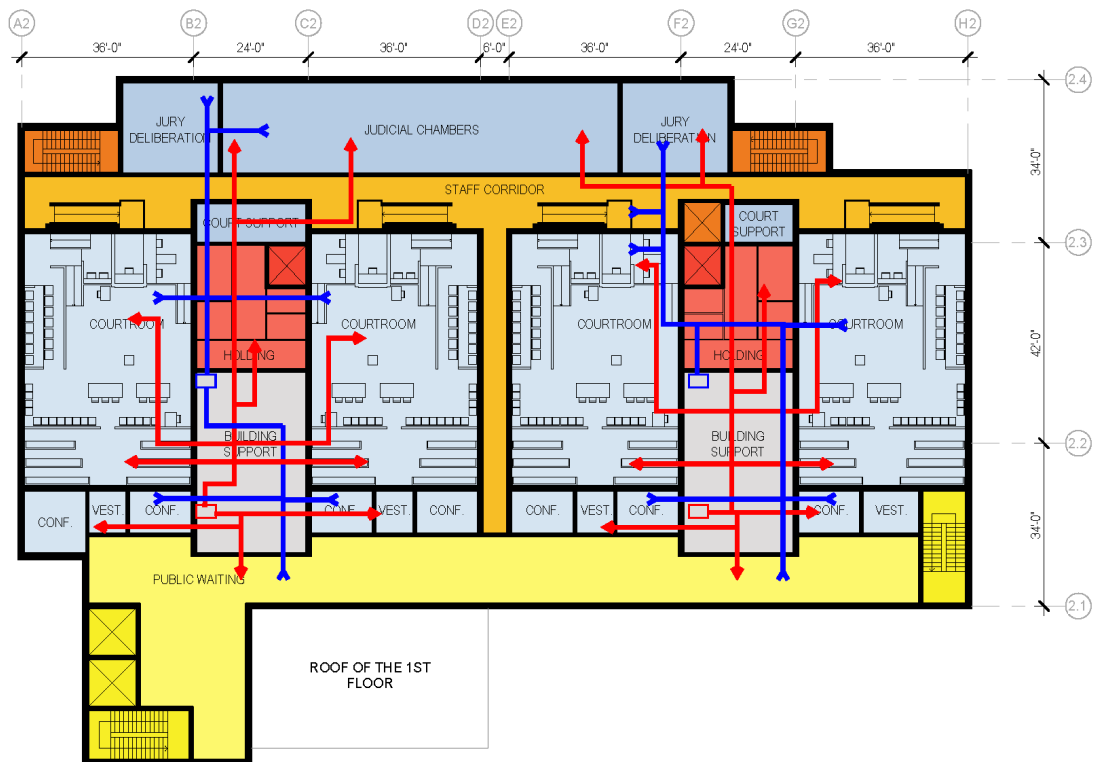


SECTION 2 | Option 2

OPTION 2 MECHANICAL AND PLUMBING PLAN | Level 1

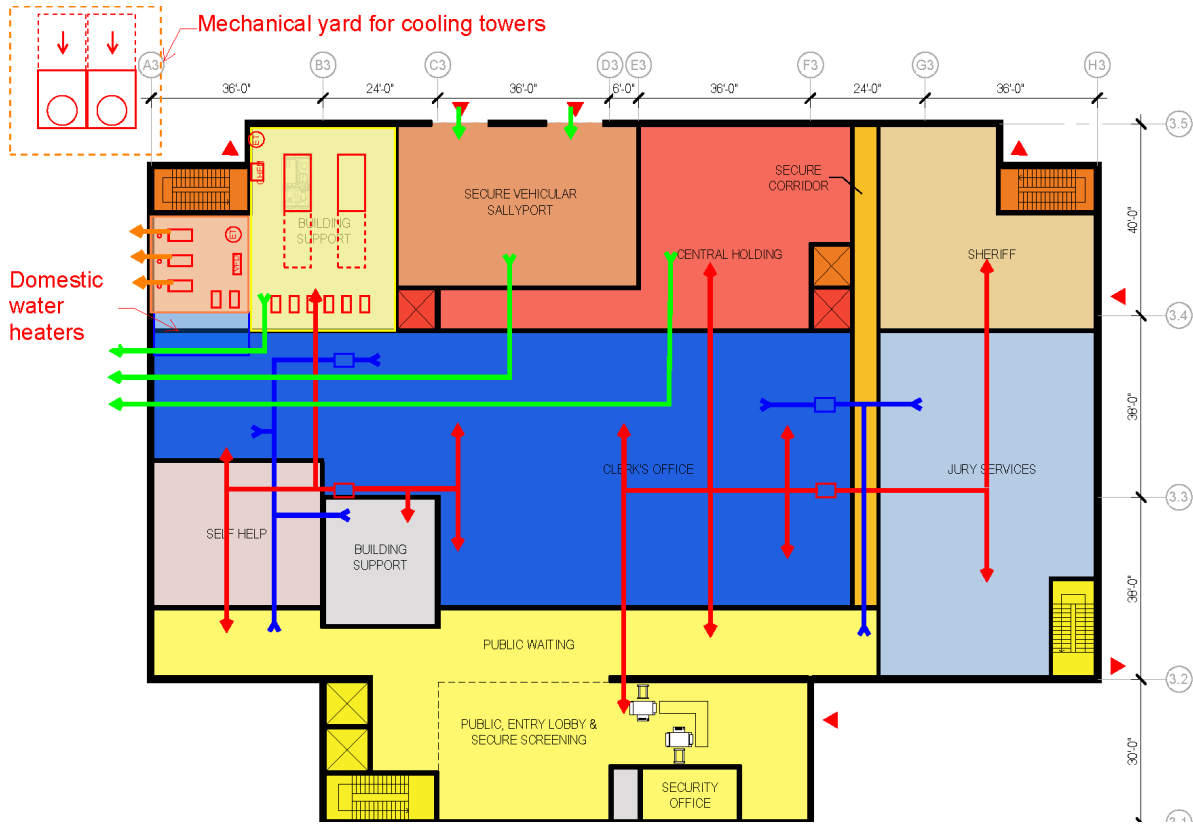


OPTION 2 MECHANICAL AND PLUMBING PLAN | Level 3

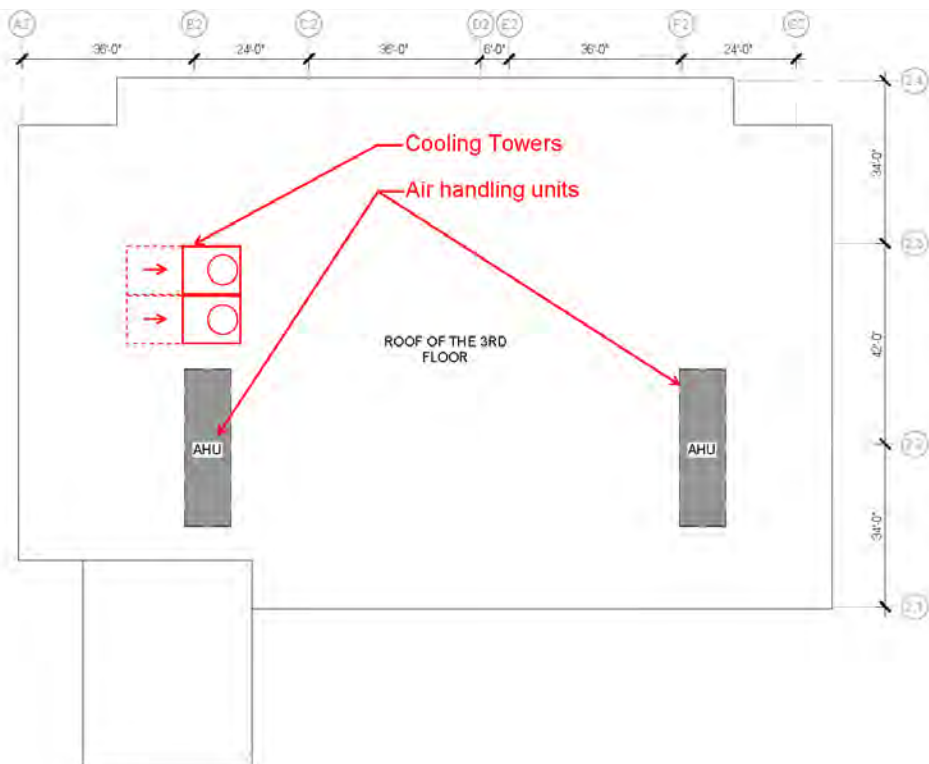


SECTION 2 | Option 2

OPTION 2 MECHANICAL AND PLUMBING PLAN | Level 3



OPTION 2 MECHANICAL AND PLUMBING PLAN | Roof



Electrical Engineering

The California Trial Court Facilities Standards (CTCFS) are referenced throughout this narrative and should be utilized as a basis of design.

APPROACH

Demolition

The entire electrical system shall be demolished. This includes incoming power service, switchgear, panels, conduit and wire, devices, light fixtures, etc.

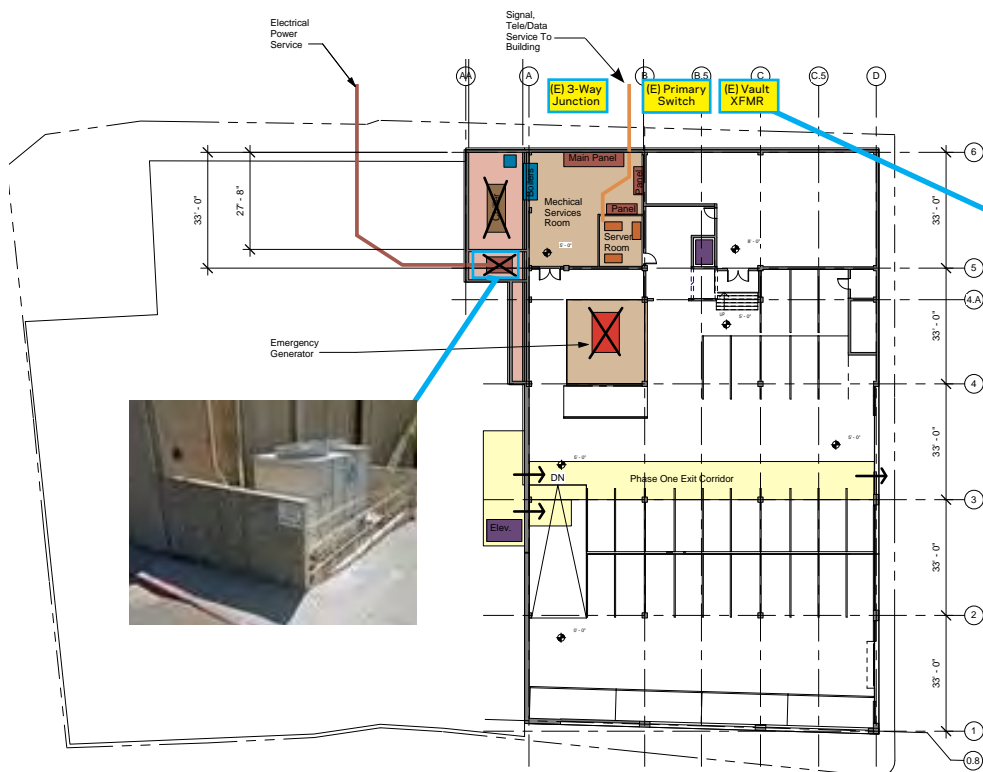
SITE

Power

Provide utility power to the building by Pacific Gas and Electric Company (PG&E) via a new pad mounted utility transformer. Currently, the primary power comes out of the underground 3-way junction switch on Washington Street. It serves a pad mounted transformer in the loading area vault/pit. This transformer and its feeder will be demolished.

A new connection shall be provided from the existing 3-way junction to the new PG&E transformer, which shall be located outside the building on the Northwest corner. Transformer shall be provided by the PG&E and be installed per their standards. Provide duct structure (conduits, pullboxes, trenching, etc.) as required. The power shall step down to building voltage (277/480V) via the utility pad mounted transformer. From the transformer, provide five 5" feeder conduits into the 1600A, 277/480V, 3 phase, 4-wire main switchboard per PG&E Standards. Service feeder conductors will be provided by PG&E.

OPTION 2 | Existing PG&E Infrastructure



Currently the primary comes out of the 3 way junction. It served a XFMR at the loading area that is in a vault or a pit. We will remove the existing primary, XFMR and secondary. We would provide new connection to the 3-way and serve a new pad mounted XFMR back in this area. We would need to account for a 10'x10' pad with 3' clear on sides and back and 8' clear in front.

Power Distribution

Normal Power

As described above, the building will have a 1600A, 277/480V, 3 phase 4 wire main switchboard (MSB), located in the basement main electrical room. The MSB will contain the PG&E meter, the main circuit breaker and the feeder circuit breakers.

Feeders will be provided from the MSB to the satellite electrical rooms, serving the lighting panels and the step-down transformers for the 120/208V panels.

Provide spare load and breaker capacity per the CTCFS.

Loads shall be desegregated per Title 24 and the CTCFS. Each load category shall be metered per system and floor as described in CTCFS, Section 15B.

Standby/Emergency Power

Provide a generator to provide standby/emergency power to the building. Assume the generator is 100kW/125kVA. The following items shall be considered:

- Location: The CTCFS requires that the generator be located at least 50 feet from the power source. In this scheme, this will be very difficult. We anticipate the generator will be located near the PG&E transformer, which violates this requirement. Alternatively, the area between the buildings could be assessed for the generator location.
- Based on the location and proximity to residences, the generator shall be provided with sound attenuated enclosure.
- Provide a permanent load bank.

UPS Power

The building will not be provided with a central system. Provide UPS power per the CTCFS, utilizing in-rack UPS units.

BMS Interface

Provide BMS interface per CTCFS and as described below:

- Electrical / power meters
- Emergency / standby generator
- UPS
- Fire alarm
- Lighting controls

Lighting and Lighting Controls

Lighting Illumination Levels:

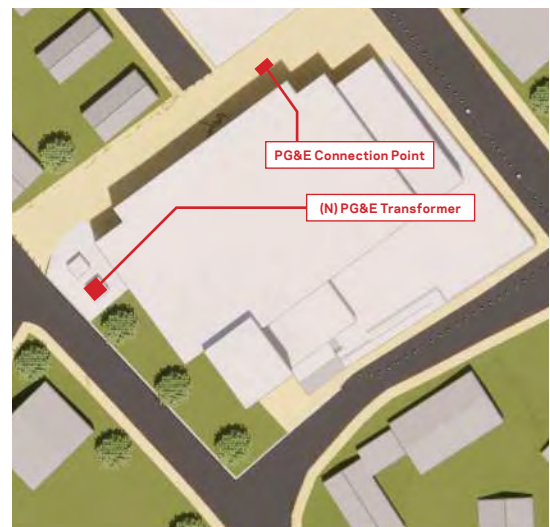
The lighting system will provide illumination levels in accordance with CTCFS Table 16.1.

Light Fixtures:

Provide interior light fixtures per CTCFS , Section 16.C.

Typical Exterior light fixtures per CTCFS , Section 16.C. Consider utilizing the protective bollards on the East side of the building as a light source.

OPTION 2 | New PG&E Infrastructure



Controls:

Provide lighting controls as described in the CTCFS, Section 16.D.

Fire Alarm

The fire alarm and notification system shall be UL listed, California State Fire Marshal approved, and manufactured by firms regularly engaged in manufacturing fire detection, alarm, and communications systems; of types, sizes, and electrical characteristics required; and whose products have been in satisfactory use in similar service for not less than five years. The fire alarm system shall be a fully addressable system. The system shall include voice notification, with automatic voice messaging.

Refer to CTCFS, Section 20 for additional information.

Transportation Engineering

Option 2 considers a scenario where the existing courthouse is demolished and reconstructed at its existing location at 201 Church Street.

Pedestrian Accessibility

As described under Option 1, the current site is impacted by aging infrastructure and physical barriers to people walking. Similar to Option 1, the existing pedestrian accessibility and pedestrian destinations are maintained in Option 2. However, by providing a new accessible path of travel along Main Street, the Courthouse' accessible path of travel is improved compared to Option 1.

Bicycle Accessibility

Bicycle accessibility is limited under Option 2. There are currently no dedicated bicycle facilities in Downtown Nevada City. In addition, the steep topography downtown hinders comfortable bicycle riding when taking the lane for those who are not very confident riders.

Transit Accessibility

The courthouse is currently accessible via transit and located less than 500 feet from stops at City Hall serving routes 1 and 7. Route 1 serves Grass Valley to Nevada City with 1-hour headways. Route 7 serves regional travel from North San Juan to Grass Valley with 5- to 6-hour headways. Under Option 2, existing transit would remain unchanged.

Vehicle Travel

Parking

As under Option 1, Nevada City is considering some changes to parking strategies to improve parking provisions under Options 2. With the options provided, there is the potential for substantially improved parking access over existing conditions.

Vehicle Circulation

Vehicle Circulation under Option 2 would be very similar to that under Option 1. Pick-up and drop-off procedures would likely be slightly improved through enhanced site plan considerations. Vehicle Miles Traveled Similar to Option 1, under Option 2 there would likely be little to no change from existing baseline conditions. Many employees and visitors would still have the option to walk or ride transit to access nearby eateries or run other errands downtown. Staff and visitors that may be dropped off at the courthouse may benefit from drivers chaining trips, and potentially carpooling before going to their next destination.

Sustainability

APPROACH

By building the new courthouse on previously developed land, the project attains LEED credits under the “Location and Transportation” category at no cost. Regarding the new courthouse electric vehicle (EV) charging stations, CALGreen requires designated parking for any combination of low-emitting, fuel efficient, or carpool/van pool vehicles as referenced in table A5.106.5.1.1. The Mandatory Tiers require designated parking for 10% (Tier 1) and 12% (Tier 2) of total parking as referenced in the table in the code. LEED requires 5% designated carpool parking above and beyond the parking reduction requirements for any off-street parking. LEED also gives options for EV Charging Stations, and Liquid, gas or battery facilities (one must be chosen) that CALGreen mandatory measures do not address.

The LEED categories that will differ the most for this Option are “Energy and Atmosphere”, “Water Efficiency”, and “Indoor Environmental Quality”. Installing all new systems for the new courthouse building in Option 2 is positively impacted under the LEED “Energy and Atmosphere” category “Optimize Energy Performance” credit (up to 18 points) and it is expected that the new courthouse will have a much higher overall improvement of energy performance compared to Option 1. Energy Performance Optimization is attained by demonstrating a Performance Cost Index (PCI) below the Performance Cost Index Target. For each energy source serving the building, the GHG emission factors must be identical for the Baseline and Proposed building models. For project percent improvement for the cost metric, on-site renewable energy may be subtracted from proposed energy cost prior to calculating proposed building performance per ASHRAE Standard 90.1. The new windows used for Option 2 have increased insulation that reduces the HVAC load by at least 5% and results in lower operational carbon (the emissions from a building’s energy consumption). California Energy Code requires a minimum wall insulation of R-19 or greater on new construction. As stated under Option 1, installing solar photovoltaic (PV) panels over the entire roof area of the annex results in at least 3 points if the PV provides over 10% of the demand.

To attain the LEED “Indoor Environmental Quality” category (16 points possible) “Enhanced Indoor Air Quality Strategies” credit, it is recommended that the team install permanent entryway systems at least 10 feet (3 meters) long in the primary direction of travel to capture dirt and particulates entering the building at regularly used exterior entrances. Acceptable entryway systems include permanently installed grates, grilles, slotted systems that allow for cleaning underneath, rollout mats, and any other materials manufactured as entryway systems with equivalent or better performance. Each ventilation system that supplies outdoor air to occupied spaces must have particle filters or air-cleaning devices with minimum efficiency reporting value (MERV) of 13 or higher, in accordance with ASHRAE Standards. The “Acoustical Performance” credit is costly to achieve since it requires an evaluation of the HVAC background noise levels, sound isolation, reverberation time, and sound reinforcement/masking systems.

The “Outdoor Water Use Reduction” credit under LEED “Water Efficiency” category (11 possible points), can be attained by saving an additional 20% of water to reach a total of 50% outdoor water reduction using smart scheduling technologies (EPA WaterSense Water Budget Tool). Additional points can be attained on the cooling tower and condensers by conducting a one-time potable water analysis.

Similar to Option 1, the “LEED for Neighborhood Development Location” credit can be attained since the courthouse is located within the boundary of a development certified under LEED for Neighborhood Development. The “High-Priority Site and Equitable Development” new LEED credit and “Surrounding Density and Diverse Uses” credit will also be attainable as in Option 1.

Historic Preservation

APPROACH

Option 2 intends to maintain the historic court functions on the downtown site in Nevada City while providing these functions in a new facility. This option proposes complete demolition of the Courthouse and Annex Buildings. The massing of the replacement building can mimic the existing building's massing (e.g. tower entry) to provide a reminder of the original building.

PROJECT COMPLIANCE

Option 2 will not retain the Courthouse or Annex buildings and will therefore result in complete loss of the original buildings.

GENERAL RECOMMENDATIONS FOR DOCUMENTATION

As Option 2 will remove the buildings and site as currently constructed, the structures should be documented before any changes that would cause a loss of integrity or loss of continued eligibility. The documentation shall adhere to the Secretary of the Interior's Standards and Guidelines for Architectural and Engineering Documentation. The level of documentation shall be proportionate with the level of significance of the resource – possibly HABS Level II for Nevada City Courthouse. The documentation shall be made available for inclusion in the Historic American Building Survey (HABS) or the Historic American Engineering Record (HAER) Collections in the Library of Congress and the California Historical Resources Information System, as well as local libraries and historical societies.

Economic Impact

Option 2 would contribute approximately 8.5 percent of downtown business activity (\$2.6 million) and that any diminution in tourism activity due demolition of existing courthouse would be minimal.

The economic impact of replacing the existing courthouse with a new modern facility is unclear. This option retains the key spatial relationship between the courthouse and downtown, enabling people to continue to walk back and forth so it is assumed that there would be no change in the economic support that the courthouse related activities contribute to downtown businesses. However, some local stakeholders are concerned that removing the original facade would detract from the integrity of the historic district, and thus create a decline in tourism activity and related expenditures. There is no evidence in the literature or in the experience from other small California cities to suggest that such an impact could occur. In fact, the literature reinforces the benefit to retaining the primary use or a similar reuse at the site without reference to historic character or a related decline in tourism-related activity.

A complete Economic Impact Report is included in the Appendix (see Section 3.2).

SECTION 2 | Option 2

OPTION 2 | Detailed Criteria Evaluation

CRITERIA	WEIGHT (%)	SCORE (0-100)	WEIGHTED SCORE (%)
Courthouse Function			
Safety and Security	30%	95	29
Program Requirements	25%	100	25
Circulation Patterns	15%	100	15
Functional Adjacencies	15%	100	15
Building Efficiencies	15%	100	15
Score			99
Site Function			
Safety and Security	20%	80	16
Site at Program Location	20%	70	14
Access to Site	20%	70	14
Site Functionality	20%	80	16
Accessibility	20%	50	10
Score			70
Local Community Goals			
Public Image of Building	20%	90	18
Economic Impact	30%	100	30
Historic Aspects / 338	15%	80	12
Useful Life of Building	15%	100	15
Broader Regional Goals	20%	85	17
Score			92
Judicial Council Goals			
County Title / Divestment	25%	80	20
Long-range Goals	25%	95	24
Meets Judicial Council Facility Standards	25%	100	25
Remaining Useful Life	25%	100	25
Score			94
Project Delivery			
Schedule	25%	50	13
Disruption of Services	30%	60	18
Community Impacts / Construction	15%	55	8
Environmental Considerations	20%	77	15
Deed restrictions and Others	10%	95	10
Score			64

CRITERIA EVALUATION

Courthouse Function

The shortcomings of Option 1 are completely addressed in Option 2 due in part to the flexibility of construction of a new building. This significant improvement is reflected in a high overall score for this option.

Safety and Security – Score: 95

This option mostly fulfills the Safety & Security criterion with the exception of the generator being located 50 feet away from the building. This impacts safety and security of the building.

Program Requirements – Score: 100

This option fully meets the Program Requirements.

Overall Court Functionality : Circulation Patterns – Score: 100

The circulation patterns meet all functionality requirements.

Overall Court Functionality : Functional Adjacencies – Score: 100

This option fulfills the Functional Adjacencies criterion.

Overall Court Functionality : Building Efficiencies – Score: 100

This option fulfills the Building Efficiencies criterion.

Site Function

Option 2 encompasses the construction of a new courthouse on the original site and shares similar attributes with Option 1. However, this option improves upon the shortcomings inherent to Option 1. Although Option 2 cannot address the inadequate size of the site or the lack of available parking within the site, it addresses the topographical challenges of the site and implements creative design measures to improve overall functionality.

Safety and Security – Score: 80

This option significantly improves the site's Safety and Security as compared to Option 1. The proposed layout meets the 25-foot standoff requirement and locates the Judicial Chambers at the north of the building resulting in increased privacy as compared to Option 1. However, there are security vulnerabilities identified with the street entrance to the Sheriff's Office at the basement level. Furthermore, the location of the Judicial Chambers to the north of the building enables an unhindered line of sight from the sidewalk and adjacent properties. The two-level security gates for the Secure Vehicular Circulation are not ideal.

Site at Program Location – Score: 70

Similar to Option 1, the major consideration of the Site Program is parking. The first critical element is secure parking for Judicial Staff and secure transportation for those in-custody provided by the County Sheriff's Office. Option 1 adequately accommodates both functions. The second critical element is visitor, juror and non-secure staff parking. It is clear that a centralized parking lot will not be available for this option. The Judicial Council will seek to locate parking to match the programmatic needs of the Courthouse but since the complete parking needs have not yet been identified, there is risk involved with this. Additionally, the parking that has been confirmed is not located adjacent to the courthouse and is located in different locations. This approach allows the site to support the entire programmatic needs. However, the site does not accommodate the program holistically. It needs to be parsed out into pieces and provides suboptimal adjacencies.

Access to Site – Score: 70

Access to the building, site and new parking is significantly improved compared to current conditions due to Nevada City's willingness to provide adjacent lots for parking. However, as noted above, these parking lots are disparately

located and may result in a non-intuitive path of travel. Moreover, the location of the parking lots results in long and inconvenient paths of travel on steep sidewalks to the main Courthouse entrance for able and non-able-bodied persons. The Courthouse is currently accessible via transit and located less than 500 feet from the transit stop. However, the Team recommends adding a bus stop that coordinates with the improved accessible path of travel. Furthermore, due to the steep terrain, pedestrian and bicycle access are poor. Although the Sheriff's office needs to transport in-custody from a remote location, other related functions, like the District Attorney's office and Juvenile Probation are located nearby.

Option 2 has one important advantage over Option 1: both the accessible and able-bodied paths of travel are provided on the plaza parallel to main street. This path of travel is shorter, more intuitive, and universal.

Site Functionality – Score: 80

Similar to Option 1, this option can accommodate the critical site needs of the Court, including transfer of persons in-custody and secure judicial parking, and can accommodate operational and maintenance circulation needs. However, the Sheriff's Office must transport those in-custody from the County Jail to the Courthouse.

The addition of the raised Plaza on the ground level creates a site amenity that can be activated for community use, landscaping and/or public art.

Accessibility – Score: 50

This option reduces the path of travel from the adjacent parking lots to the building entry. The path of travel for disabled and able-bodied persons is the same. The addition of the raised Plaza on the ground level aims to improve overall site access and to accommodate access for non-able-bodied users.

Local Community Goals

Public Image of Building – Score: 90

Although the original building is not a historically registered building and is slated for demolition in this option, the building will add to the diversity of Nevada City's historic district. The proposed option mimics the massing of the existing tower and integrates a raised plaza that enables accessible circulation to the main entrance and has the potential to improve upon the current building's relationship with the neighboring buildings and preserve the historic fabric of downtown Nevada City.

Economic Impact – Score: 100

As Courthouse functions increase, the number of visitors to the downtown area is anticipated to increase slightly. As a result, the downtown area should receive a small economic benefit.

The addition of the raised Plaza on the ground level creates a site amenity that can be activated for community use, landscaping and/or public art.

Historic Aspects / Ordinance 338 – Score: 80

This option meets the local community's historic goals. The proposed option mimics the massing of the existing tower and has the potential to improve upon the current building's relationship with the neighboring buildings and preserve the historic fabric of downtown Nevada City.

Useful Life of Existing Building – Score: 100

This option ensures that the new courthouse building will be built to meet this criterion.

Broader Regional Goals – Score: 85

The downtown Courthouse has significant value to Nevada City and slightly less value to Nevada County. However, its significance to the region is not as high and any cost premium required for this option would not be of value to some residents in the region.

Judicial Council Goals

County Title/Divestment - Score: 80

The Judicial Council has a strong desire to hold title of court properties. Currently the Courthouse title is shared between Nevada County and the Judicial Council. The titles for the proposed parking spaces are either county owned or privately owned. Although it is very likely that the Judicial Council will be able to gain title to these properties, there is no guarantee that this will occur, leading to potential risk associated with this.

Long-range Goals – Score: 95

This option supports the Judicial Council’s long-range goals to promote buildings that are functional, durable, maintainable and efficient and that provide long-term value to the public, the judicial branch, courthouse occupants, the community in which they reside, court users, and taxpayers of California. The option is flexible enough to accommodate future program expansion.

Meets Judicial Council Facility Standards – Score: 100

This option meets the Judicial Council Facilities Standards with the intent of maximizing value to the State of California by balancing the aesthetic, functional and security requirements of courthouse design with the budget realities of initial construction costs and the long-term life cycle costs of owning and operating institutional buildings. However, the lack of on-site parking is not ideal.

Remaining Useful Life of New Building – Score: 100

This option ensures that the new courthouse building will be built to meet this criterion. The option is flexible enough to accommodate future program expansion.

Project Delivery

Schedule – Score: 50

This project will take 87 months to complete.

OPTION 2 | Project Delivery Schedule

87 Months	Q3 2022	Q4 2022	Q1 2023	Q2 2023	Q3 2023	Q4 2023	Q1 2024	Q2 2024	Q3 2024	Q4 2024	Q1 2025	Q2 2025	Q3 2025	Q4 2025	Q1 2026	Q2 2026	Q3 2026	Q4 2026	Q1 2027	Q2 2027	Q3 2027	Q4 2027	Q1 2028	Q2 2028	Q3 2028	Q4 2028	Q1 2029	Q1 2030	Q1 2031
COBCP PROCESS	█	█	█	█																									
Site Selection/Prelim. Due Diligence/ CCOA					█	█	█	█																					
Site Acquisition / Due Diligence/ CCOA									█	█	█	█																	
Performance Criteria / Select Design Builder														█	█	█													
Initiate Design Build (Design/Permit)																	█	█	█	█									
Swing Space Procurement													█	█															
Swing Space Completion															█	█													
Move Court Functions to Swing Space																	█	█											
Construction																					█	█	█	█	█	█	█	█	█

Disruption of Services – Score: 60

This option requires Judicial Staff to move and provide services at a temporary facility for a three-year period and to move into the new facility a second time after project completion. This is not only disruptive to the courts and the community, but also to the courthouse visitors.

Community Impacts – Score: 55

This option will require significant disruption to the community during construction, including traffic, noise, and other demolition and construction-related issues. The community will also be required to access judicial services at a temporary location during construction.

Environmental Considerations – Score: 77

Construction for option is more extensive as compared to Option 1 and will involve slightly more CEQA risks.

Deed Restrictions and Others – Score: 95

The project will involve significant risk compared to the construction of a new courthouse at a different location.

COST ESTIMATE

The estimated cost for Option 2 is \$246,682,542. See Appendix for a detailed Cost Evaluation (Section 3.6).

COST MODEL	OPTION 2
Construction Costs	\$148,816,000
Project Costs	\$40,180,320
Property Acquisition Costs	\$4,997,500
Escalation Costs (May 2022 to midpoint)	\$52,688,722
Total Cost	\$246,682,542
Score	72

2.3 OPTION 3 — NEW CONSTRUCTION ON A NEW SITE

GENERIC SITE

For the purpose of this Study, Option 3 is located on a generic site. While there are reasonable sites under consideration, a generic site is used because the site selection process has not yet occurred. Furthermore, the use of a “proxy” site could potentially create more project specificity than reasonable that can skew the evaluation results.

As a result, Option 3 uses a generic site with plausible and average site elements and conditions. There are a few reasonable site options near the existing Nevada County Government Center on Highway 49, approximately 1.25 miles from the existing courthouse. The generic site uses the attributes of these locations without being specific. This allows for a fair evaluation and cost model that will result in a likely outcome. All site options off Highway 49 are large enough to meet the Courthouse needs. The site uses the minimum size required for the Courthouse—approximately 4.2 acres.

The different site options are discussed at the end of this section.

Site / Civil Engineering

Existing Site Topography

The actual site location for Option 3 has not been determined. The site is assumed to be a vacant site located along Highway 49. Generally, sites within Nevada City have moderately steep terrain, are undeveloped and contain large trees. Soil site conditions would be expected to contain rocks or larger boulders.

Existing Site Access

The site is assumed to be adjacent to Highway 49. Existing frontage improvements are assumed to consist of unimproved shoulder without driveway entrances or curb, gutter, and sidewalk.

Existing Utilities

It is assumed that utilities do not exist at the site and public mains would require extension to the site to serve the project. Water and sewer main extensions are expected, including a new sewer pumping station.

Structural Engineering

Existing Conditions

This site is proposed as a new development site. No structurally related existing conditions are significant for this option. The site is anticipated to be relatively level with no significant grade changes.

Option 3 assumes the following: (1) no specific site hazards or weaknesses such as liquefaction, weak soils, flooding, land sliding, or soil movement; (2) no site remediation of site soil conditions.

Mechanical and Plumbing Engineering

Yard Area

It is assumed that the proposed site will have adequate site area available to locate a mechanical yard to house the cooling towers.

Site Pressure

Site pressure is assumed to be low resulting in a fire pump and a domestic water booster pump being required. An approximately 50 HP fire pump with a small jockey pump is assumed. A triplex domestic water booster pump package is assumed to be required.

CONCEPT DESIGN

Architecture

APPROACH

The approach for Option 3 involves the construction of a new Courthouse at a new location in proximity to the Nevada County Government Center. Option 3 provides the Superior Court of Nevada County with a facility that meets the operational, security, and space needs of the Court without the constraints of the original site and building.

SITE

The new site can easily accommodate the 25-foot standoff requirement and includes a surface parking lot with 240 parking spaces. Vehicular access to Secure Parking and the Secure Vehicular Sallyport is located at the rear of the building.

OPTION 3 | Site Diagram



Building Massing

The building massing for Option 3 is a three-story building that aligns with an economically and functionally efficient Courthouse. Similar to Option 2, the new building features a tower entry that is taller than the rest of the building, establishing a civic presence and a welcoming entry experience. The tower and two-story main entrance extend from the rest of the building.

OPTION 3 | Axonometric Massing Diagram



OPTION 3 | Massing Diagram



Floor Plans

OPTION 3 FLOOR PLAN | Level 1



LEGEND

Courts building

- | | | | |
|--------------------------------|--------------------------------|-----------------------|------------------|
| BUILDING SUPPORT | CIRCULATION - SECURE, VERTICAL | CLERK'S OFFICE | SECURE SALLYPORT |
| CIRCULATION - PUBLIC | CIRCULATION - STAFF | COURTS - HOLDING CELL | SELF HELP |
| CIRCULATION - PUBLIC, VERTICAL | CIRCULATION - STAFF, VERTICAL | JUDICIAL FUNCTION | SHERIFF'S OFFICE |

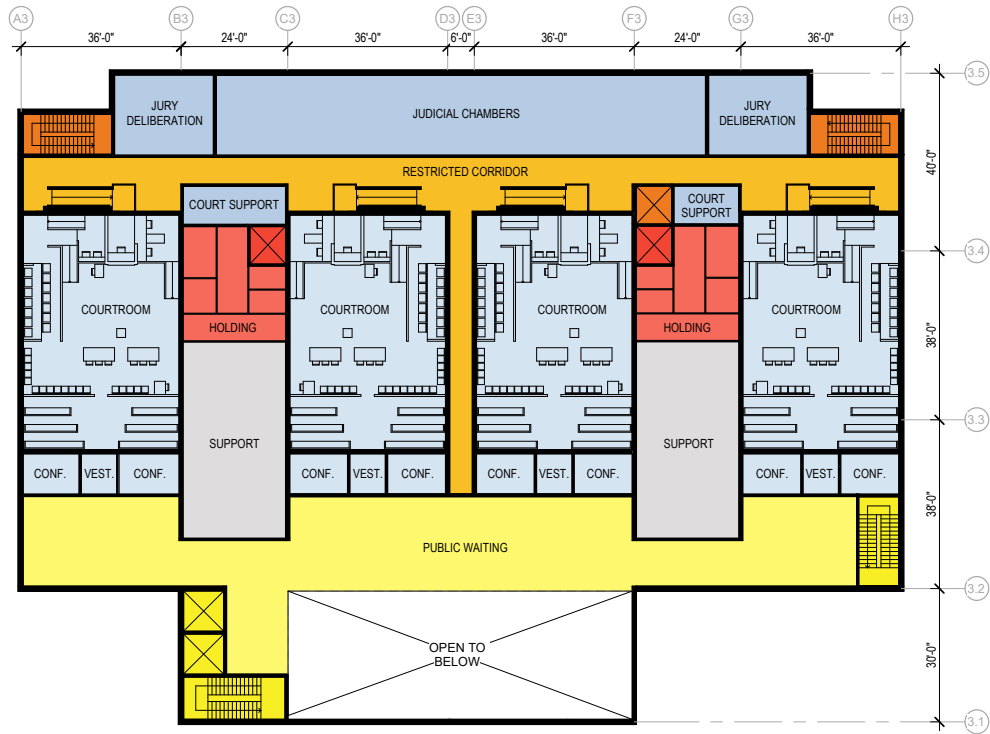
Level 1 is organized into a horizontal layer of program and circulation spaces. All Public Areas are located at the front of the building, including the two-story Public Entry Lobby and Secure Screening, the Public Waiting Area and Public Vertical Circulation. Courthouse users, including non-able-bodied individuals enter the building from the front via the main entrance. Jury Services, Clerks Office, Self-Help and Building Support spaces are located at the center of the building. The Secure Vehicular Sallyport, Central Holding, Sheriff's Office and additional Building Support spaces are located at the rear of the building.

This configuration enables the efficient organization of program spaces and established clear separation between public, restricted, and secure spaces. This also allows for opportunities to integrate daylighting and views to the outdoors within the Public Waiting Area, Jury Services, and Self-Help spaces.

Vehicular circulation to the Secure Vehicular Sallyport is located at the rear of the building.

Secure Vertical Circulation at the Central Holding leads to two separate Holding Areas on Level 2 and one Holding Area on Level 3. This ensures that the transportation of individuals in custody is secure and separated from Public and Judicial spaces. A Restricted Corridor along the right of the floorplate links to the Public Waiting Area and includes Staff Vertical Circulation to Restricted Corridors on Levels 2 and 3.

OPTION 3 FLOOR PLAN | Level 2



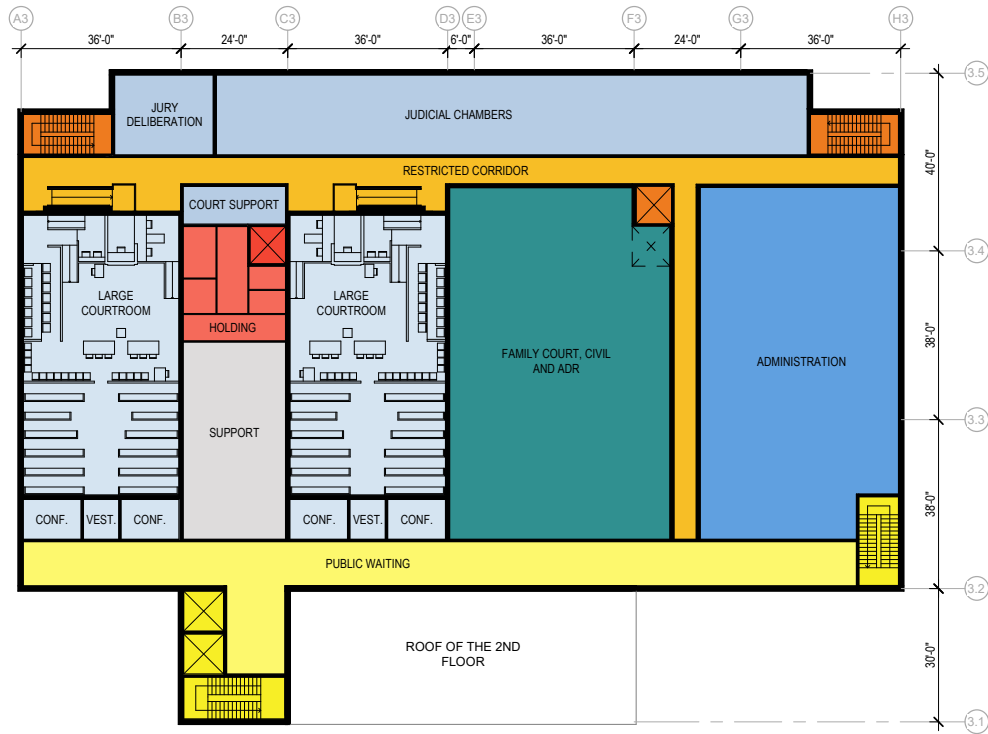
LEGEND

Courts building

- | | | | |
|--------------------------------|--------------------------------|-----------------|-----------------------|
| BUILDING SUPPORT | CIRCULATION - SECURE, VERTICAL | COURT FUNCTIONS | COURTS - HOLDING CELL |
| CIRCULATION - PUBLIC | CIRCULATION - STAFF | COURTS | JUDICIAL FUNCTION |
| CIRCULATION - PUBLIC, VERTICAL | CIRCULATION - STAFF, VERTICAL | | |












Similar to Option 2, Level 2 is organized into a horizontal layers of program and circulation spaces. Public Areas are located at the front of the floorplate, including the Public Waiting Area and Public Vertical Circulation. Four Courtrooms are located at the center of the floorplate, each separated by a Holding Area, Building Support and Court Support Spaces. A Restricted Corridor bisects the Courtrooms and Judicial Chambers at the center of the floorplate and links to the Public Waiting Area. A second Restricted Corridor bisects the Judicial Chambers, Jury Deliberation spaces and Courtroom spaces to the rear of the floorplate.

OPTION 3 FLOOR PLAN | Level 3



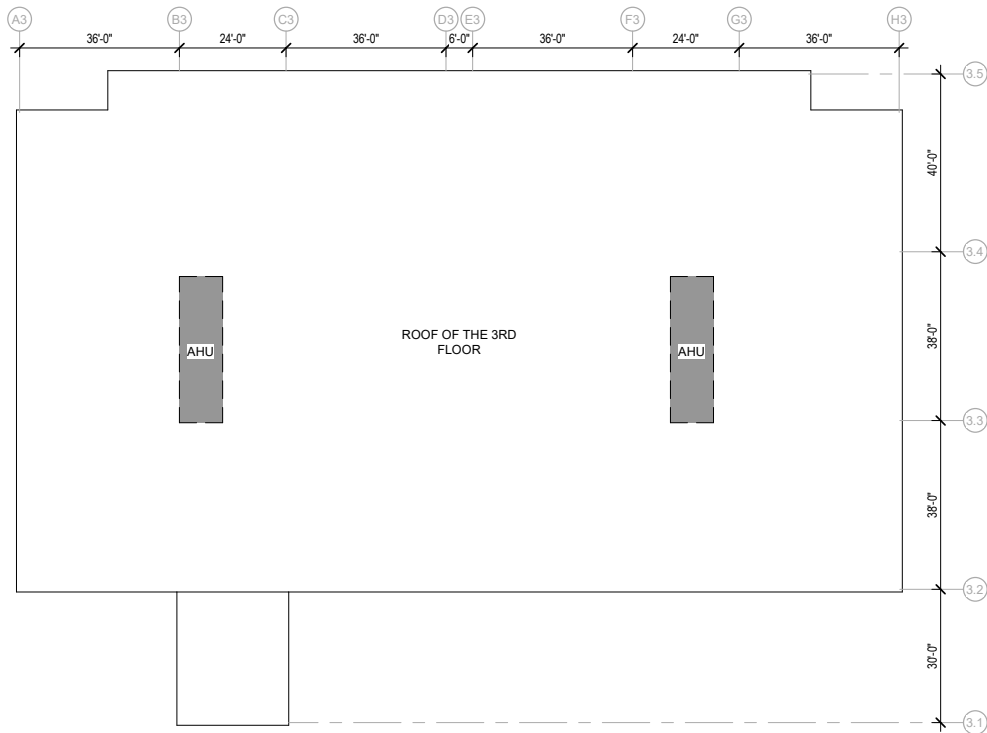
LEGEND

Courts building

 ADMINISTRATION	 CIRCULATION - PUBLIC, VERTICAL	 CIRCULATION - STAFF	 COURTS
 BUILDING SUPPORT	 CIRCULATION - SECURE, VERTICAL	 COURT FUNCTIONS	 COURTS - HOLDING CELL
 CIRCULATION - PUBLIC			 FAMILY COURT, CIVIC AND
			 JUDICIAL FUNCTION

Similar to Option 2, Level 3 is organized into a horizontal layers of program and circulation spaces. Public Areas are located at the front of the floorplate, including the Public Waiting Area and Public Vertical Circulation. Two Large Courtrooms are located to the left of the floorplate, each separated by a Holding Area, Building Support and Court Support Spaces. Family Court, Civil and Alternative Dispute Resolution and Administration spaces are located to the right of the floorplate. A Restricted Corridor bisects the Courtrooms and Judicial Chambers to the right of the floorplate and links to the Public Waiting Area. A second Restricted Corridor bisects the Judicial Chambers, Jury Deliberation spaces and Courtroom spaces to the rear of the floorplate.

OPTION 3 FLOOR PLAN | Roof

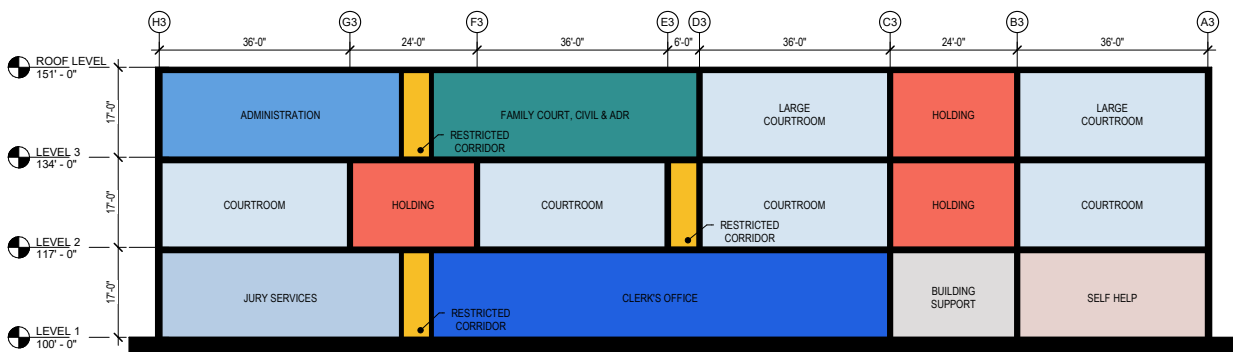


Building systems equipment are located on the roof.

Building Section

Option 3 encompasses the construction of a new Courthouse on a new site. As a result, there are no level changes on all the floors.

OPTION 3 | Building Section



Site / Civil Engineering

CONCEPT

Site Access, Parking and Site Improvements

The site improvements will consist of paved parking and drive lanes including parking spaces for approximately 240 vehicles. ADA parking shall be provided in accordance with California Building Code. Paving shall be designed based on recommendations by a geotechnical engineer.

Fire lanes shall be located near the building and fire apparatus, designed to support truck loading per local and State fire code.

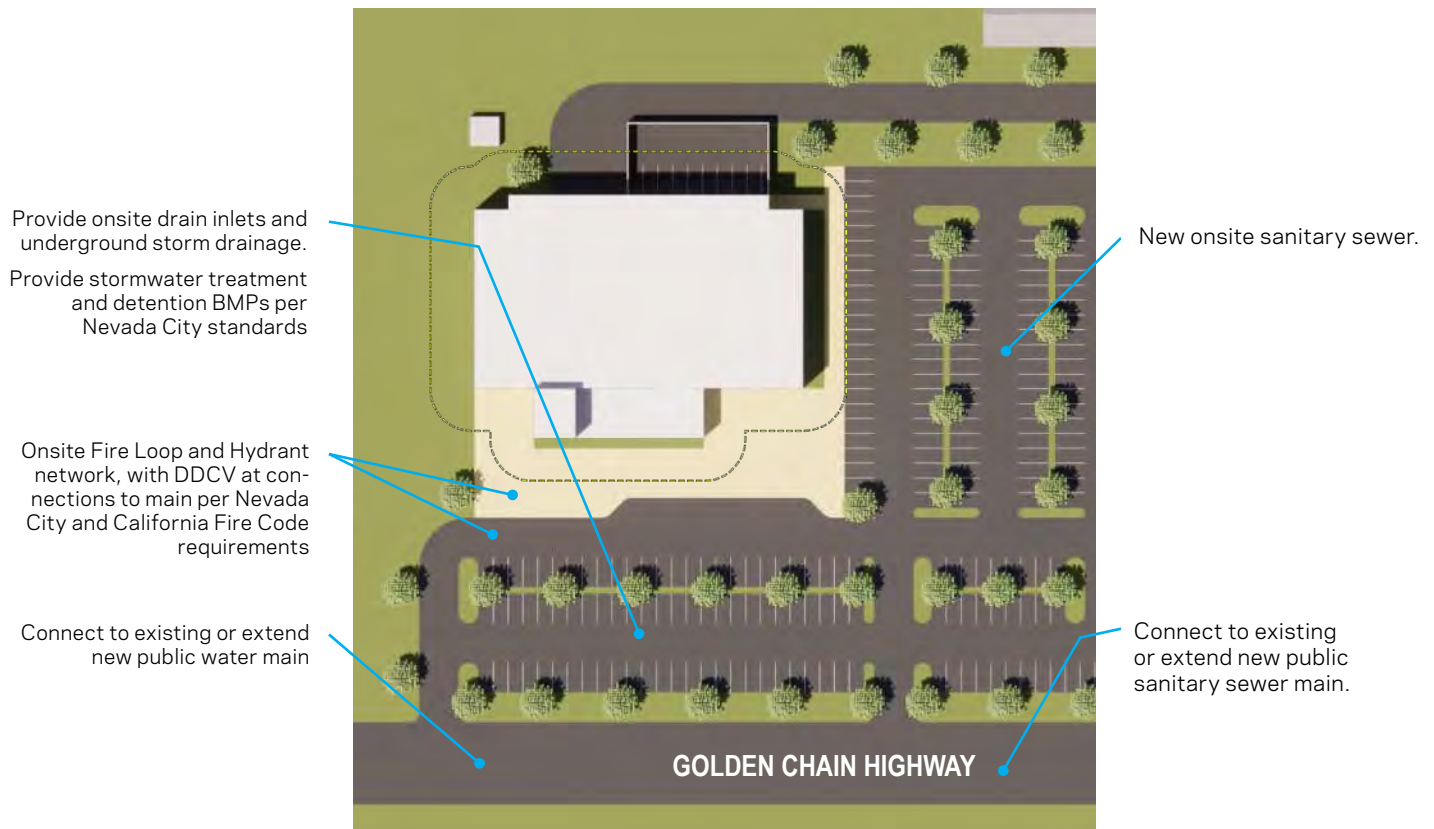
Frontage improvements will include two new driveway entrances connecting to Highway 49, and new public curb, gutter, and sidewalk along the project frontage.

New accessible paths to the building, accessible parking and public right-of-way will be required for the Courthouse building, per California Building Code. Improvements shall meet applicable State and Federal requirements.

Weathered rock and boulders are expected to be encountered during excavation.

Site grading shall direct stormwater runoff away from the building and provide overland release for the site. Grading slopes shall be sloped per geotechnical recommendations.

OPTION 3 | Site Utilities Concept



Proposed Utilities

Sanitary Sewer

The new Courthouse will require a sanitary sewer connection connecting to the existing public infrastructure in nearby streets. The system is anticipated to flow via gravity and will be sized to accommodate the sewer demands of the building in accordance with the California Plumbing Code.

Sewer manholes and cleanouts shall be provided per Nevada City and California Building Code requirements.

Storm Drainage

Storm drainage requirements are prescribed by Nevada County Land Use and Development Code.

Projects in the City are typically required to install detention and treatment facilities to mitigate peak increases in stormwater runoff. Per Nevada County Code, where determined necessary, retention/detention facilities shall be designed to protect downstream users and ensure that the water surface returns to its base elevation within 24 hours after the storm event.

Stormwater treatment and detention shall be provided to meet Nevada City stormwater requirements.

Judicial Council of California (JCC) California Trial Court Facilities Standards has a design objective for projects to achieve LEED Silver or greater. Additional stormwater treatment goals may be necessary, up to treatment of the 98th Percentile storm runoff in order to achieve Rainwater Management (SS C4) LEED points.

The site improvements will result in an acre or more of disturbed area, so the project will require a Stormwater Pollution Prevention Plan (SWPPP) be processed with the State of California to obtain coverage under the Construction General Permit prior to construction.

The onsite storm drainage will connect to the existing public system within the adjacent streets.

Domestic Water and Fire

The new Courthouse will require a new fire suppression sprinkler system. The new system shall conform with the Nevada City Code of Ordinances, California Fire Code, and NFPA 13.

The connections will include a Double Detector Check Valve assembly at the connection to the public main and Fire Department Connection. The system is anticipated to be a looped system with two connections to the public system. Flow data for the public system is unknown and should be verified.

Private fire service mains shall conform with NFPA 24, capable of supplying the required fire flow for fire protection.

The fire service will require a new fire department connection (FDC). FDC's shall be installed in accordance with the NFPA standard applicable to the system design and shall be located unobstructed from a fire lane. A fire hydrant shall be located near the FDC per Nevada City Fire and California Fire Code requirements.

Onsite fire hydrants will be required in order to provide coverage around the building and near Fire Department Connections per Nevada City Fire and California Fire Code.

The Courthouse building will require a new domestic water service connecting to the public water system within the street. The new service will include a meter and reduced pressure backflow assembly at the connection to the public main, adequately sized for the building. Meter and backflow locations should be coordinated with Nevada City.

Gas Distribution

A new gas service will be required for the new Courthouse building including piping and meters adequately sized for the buildings. The improvements shall be in accordance with PG&E standards. The meter location will require coordination with PG&E.

Structural Engineering

APPROACH

The structural approach for Option 3 is to provide a straightforward and efficient structural system to meet the current California Trial Court Facilities Standards and accommodate the needs of the other design disciplines in one building structure and without excessive site excavation or preparation.

CONCEPT DESIGN

Option 3 utilizes reinforced concrete shallow foundations using spread footings at the primary building columns. At the lateral load resisting frames, it is anticipated that steel wide flange members will be embedded and encased in concrete grade beams. The Level 1 floor is a concrete slab on grade installed over 4 inches of crushed rock over vapor retarder.

The selection of the structural system is primarily driven by the requirement for progressive collapse prevention. The above grade construction is anticipated to consist of a structural steel framed system with Special Steel Moment-Resisting Frames (SSMRF) for resisting lateral forces. An advantage of this system is its flexibility from the architectural perspective while providing a high performance, ductile lateral force resisting system. The SSMRF system provide an open floor plate by not requiring interior structural walls and allows for the most flexibility future space planning. The SSMRF system also integrates optimally with mechanical electrical, and telecommunications systems, allowing associated ductwork and conduits located above the ceilings to run more freely. All of the special requirements of a courthouse building, including progressive collapse prevention, are met with this open structural steel SMRF system.

To accommodate the long spans required due the geometry of the courtrooms, the steel framing option consists of reinforced composite concrete floor decks. Typical floors will have 4½-inch thick concrete fill over 3-inch metal deck for a total slab thickness of 7½ inches. This slab section spans to structural steel floor beams and provides the required two-hour fire rating without applying fireproofing to the underside of the deck. The slab system provides appropriate vibration characteristics due to the mass and stiffness of the composite metal deck and concrete. The beams are likely W18 beams spaced at 10 feet on center maximum and spanning about 30 feet. The girders are likely W27 or W30 members spanning approximately 22 feet to 39 feet.

Elevated Floors at Mechanical Equipment Rooms are likely comprised of 7-inch normal weight concrete fill over 3-inch metal deck (total slab thickness of 10 inches) spanning a maximum of 10 feet to composite steel wide-flange beams. This provides a three-hour fire rating without any sprayed-on fireproofing at the underside of the metal deck and satisfies the acoustical recommendations for mechanical equipment above and below occupied spaces. Beams, girders, and columns are fireproofed throughout the building.

The main roof assembly is likely comprised of concrete over metal deck, rigid insulation and surface roofing material. The steel framing slopes to the roof drains to minimize crickets and tapered insulation. The roof deck is likely comprised of 4-inch normal weight reinforced concrete fill over 2-inch metal deck (total slab thickness of 6 inches) spanning a maximum of 8 feet to composite steel wide-flange beams. This provides a 1½ hour fire rating without any sprayed-applied fireproofing at the underside of the metal deck. Typical roof beams are W16 or W18 members spanning approximately 30 feet. Roof girders are W21 or W24 members spanning approximately 22 feet to 39 feet. Beams, girders, and columns are fireproofed throughout the building.

The lateral force resisting frames are located along the building perimeter and at an interior building line near the mid-length of the building. Three frames are anticipated on each of the building sides with two frames at the center gridline in the transverse direction (Grid D3). The lateral resisting frames are likely comprised of W33 beams and W24 columns. Roof moment frame beams shall be no deeper than W30 members. The SSMRF members at the perimeter satisfy the progressive collapse requirements at the perimeter of the building. Steel beams and girders would be utilized as collector and chord members throughout the structure.

The structural system is designed to resist progressive collapse per the current California Trial Court Facilities Standards for structures greater than two stories tall. Alternate-path analysis methods for demonstrating a structure's resistance to progressive collapse shall conform to Unified Facilities Criteria (UFC) 4-023-03. These requirements will work efficiently with the ductile structural steel moment frames located around the perimeter of the structure as noted previously. Additional steel columns can be added around the perimeter to help mitigate the effects on the structure. In addition, a Threat Assessment study is provided that will inform whether a performance-based design is required for a direct blast load, the level of protection shall meet the Protective Design Center PDC-TR 06-08 Single Degree of Freedom Structural Response Limits for Antiterrorism Design requirements.

Mechanical and Plumbing Engineering

CONCEPT DESIGN

Central Utility Plant

The new building is served by a new central utility plant with indoor water-cooled chillers and gas-fired boilers at a similar location to the current units in the basement. Equipment sizing is anticipated to be similar to the previous options.

Air-Handling Systems

The building is served by two (2) new (approximately 38,000 cfm) air-handling units located on the roof.

HVAC Distribution

Duct distribution will be via vertical shafts to terminal vav boxes. Hot water reheat will be provided for perimeter boxes. Ductwork will be lined downstream of fans and vav boxes for noise control. No smoke control systems are anticipated to be required. Hydronic heating hot water and chilled water system piping will be steel or copper piping and designed for low-pressure loss.

HVAC Controls

A new HVAC Building Management System (BMS) control system is provided to serve all mechanical systems. The system is compliant with the Judicial Council BMS specification requirements with all points graphically displayed on the front-end computer system.

Central Plumbing Equipment

A central gas water heater and circulation pump distribute domestic hot water to the fixtures at both buildings.

Plumbing Fixtures

Low-flow, wall-hung commercial grade fixtures are used with 1.28 gallons per flush for water closets, 0.125 gallons per flush urinals. All toilet room fixtures are sensor operated. Holdroom areas are provided with stainless steel institutional combination toilet / lavatory fixtures.

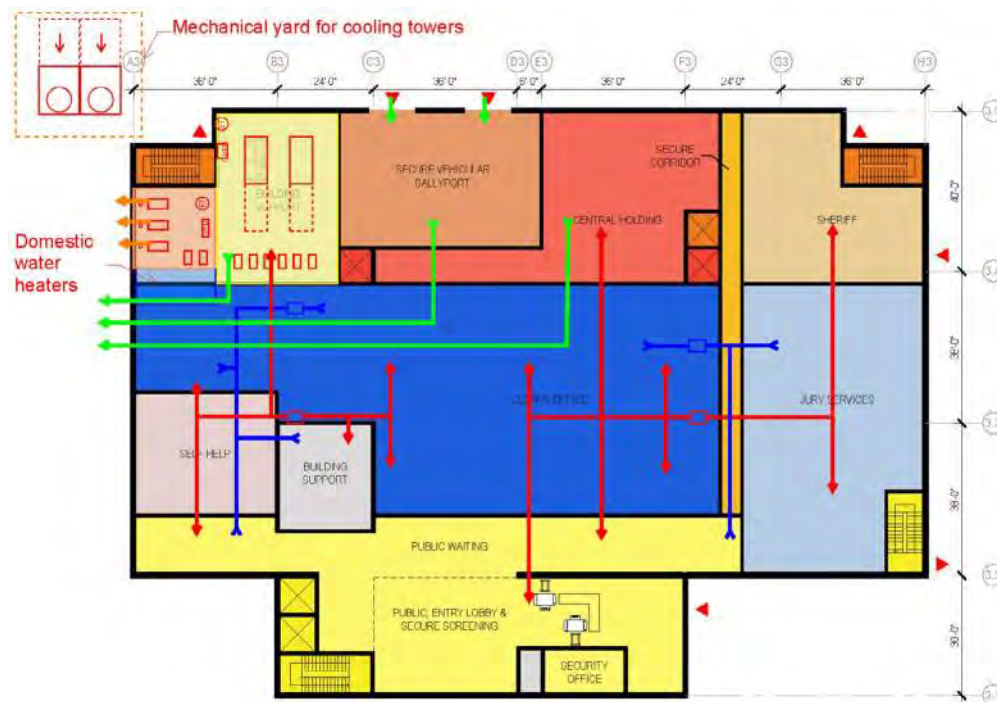
Piping systems

Roof drainage system designed for 2-inches per hour rainfall rate will be provided along with overflow piping. Domestic water piping will be provided to all fixtures and sized in accordance with CPC and ASPE requirements. Domestic water piping will be extended to site main connection points. Natural gas piping will be extended to serve the boilers and domestic water heater in the basement. Fire sprinkler piping will be extended from the site water main. All areas of the building and attached overhangs will be fully protected with an automatic wet fire sprinkler system in accordance with NFPA-13 requirements. Sprinkler heads will be semi-recessed or concealed type. Hold Room areas will be provided with institutional heads.

Comparison with Other Options

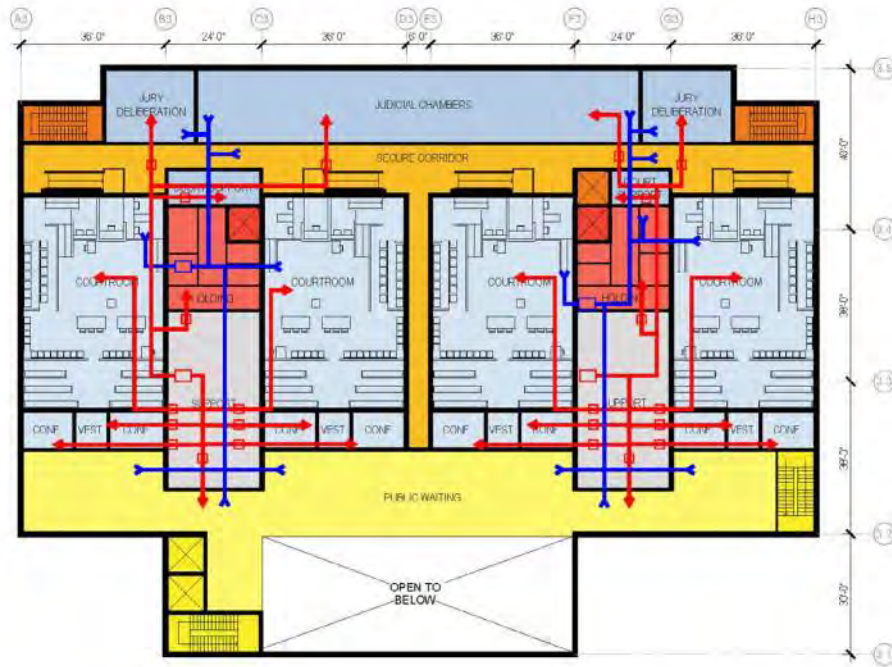
- Each of the options uses similar mechanical systems and equipment.
- Option 3 has a building shell that is new construction with an orientation that might be able to be optimized for energy efficiency and therefore likely to be the most energy efficient option.
- Option 3 will likely have site area available for a mechanical yard to house the cooling towers at grade.
- Option 3 has the secure parking located outside resulting in no exhaust fan and associated energy required to ventilate the space.
- It is anticipated that Option 3 will have low site water pressure, resulting in a building fire pump and domestic water booster system being required.

OPTION 3 MECHANICAL AND PLUMBING PLAN | Level 1

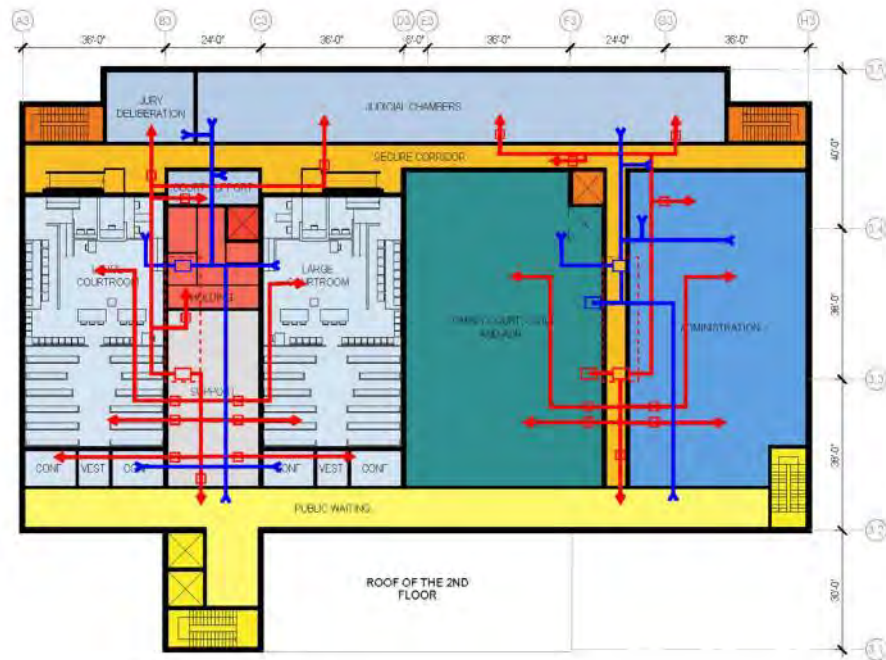


SECTION 2 | Option 3

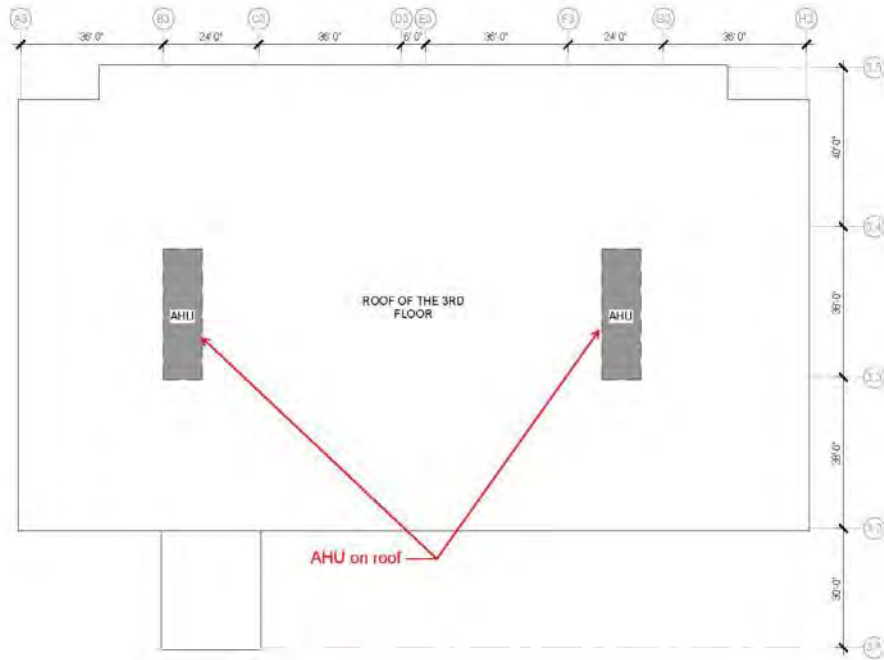
OPTION 3 MECHANICAL AND PLUMBING PLAN | Level 2



OPTION 3 MECHANICAL AND PLUMBING PLAN | Level 3



OPTION 3 MECHANICAL AND PLUMBING PLAN | Level 3



Electrical Engineering

Site

Power

Provide utility power to the building by Pacific Gas and Electric Company (PG&E) via a new pad mounted utility transformer. Provide a new primary connection from existing PG&E pullbox to a new PG&E transformer. Transformer shall be provided by the PG&E and be installed per their standards. Provide duct structure (conduits, pullboxes, trenching, etc.) as required. The power shall step down to building voltage (277/480V) via the utility pad mounted transformer. From the transformer, provide five 5-inch feeder conduits into the 1600A, 277/480V, 3 phase, 4-wire main switchboard per PG&E Standards. Service feeder conductors will be provided by PG&E.

Power Distribution

Normal Power

As described above, the building will have a 1600A, 277/480V, 3 phase 4 wire main switchboard (MSB), located in the level 1 main electrical room. The MSB will contain the PG&E meter, the main circuit breaker and the feeder circuit breakers.

Feeders will be provided from the MSB to the satellite electrical rooms, serving the lighting panels and the step down transformers for the 120/208V panels.

Provide spare load and breaker capacity per the CTCFS.

Loads shall be desegregated per Title 24 and the CTCFS. Each load category shall be metered per system and floor as described in CTCFS, Section 15B.

Standby/Emergency Power

Provide a generator to provide standby/emergency power to the building. Assume the generator is 100kW/125kVA. The following items shall be considered:

- Location: The CTCFS requires that the generator be located at least 50 feet from the power source, which should not be an issue in this option.
- Provide a permanent load bank.

UPS Power

The building will not be provided with a central system. Provide UPS power per the CTCFS, utilizing in-rack UPS units.

BMS Interface

Provide BMS interface per CTCFS and as described below:

- Electrical / power meters
- Emergency / standby generator
- UPS
- Fire alarm
- Lighting controls

Lighting and Lighting Controls

Lighting Illumination Levels

The lighting system will provide illumination levels in accordance with CTCFS Table 16.1.

Light Fixtures

Provide interior light fixtures per CTCFS, Section 16.C.

Typical Exterior light fixtures per CTCFS, Section 16.C. Consider utilizing the protective bollards on the East side of the building as a light source.

Controls

Provide lighting controls as described in the CTCFS, Section 16.D.

Fire Alarm

The fire alarm and notification system shall be UL listed, California State Fire Marshal approved, and manufactured by firms regularly engaged in manufacturing fire detection, alarm, and communications systems; of types, sizes, and electrical characteristics required; and whose products have been in satisfactory use in similar service for not less than five years. The fire alarm system shall be a fully addressable system. The system shall include voice notification, with automatic voice messaging.

Refer to CTCFS, Section 20 for additional information.

Transportation Engineering

Option 3 considers a scenario where a new site is identified for construction of a new courthouse in Nevada City. For this discussion, a generic site was considered along SR 49.

Pedestrian Accessibility

Compared to Options 1 and 2, Option 3 would have improved pedestrian accessibility directly surrounding the site, however would have far fewer destinations accessible by walking. There are few eateries on Highway 49 under Option 3, and it is likely that employees, visitors, and jurors would drive into Downtown Nevada City for lunch.

Bicycle Accessibility

There are currently no dedicated bicycle facilities along Highway 49. There are recreational bicycle trails that might be utilized for access to the courthouse in Option 3. Hirschman Pond Trailhead connects directly to the County Jail and local parks via Helling Way.

Transit Accessibility

Limited transit options would be available under Option 3. Only Route 7 provides transit service to SR 49. Route 7 serves regional travel from North San Juan to Grass Valley with 5- to 6-hour headways. Option 3 provides less transit access than Options 1 and 2.

Vehicle Travel

Parking

In addition to best practices for parking management and design, we have taken into account considerations unique to courthouses. For example, there are limited options for underground parking onsite, due to the potential for bomb threats or other security breaches.

Vehicle Circulation

Option 3 provides the greatest flexibility for vehicle circulation and pick-up / drop-off procedures, and can be designed using the state of the practice ideas for courthouse operations.

Vehicle Miles Traveled

Option 3 presents the potential for increased VMT compared to the existing baseline, due to the distance between local destinations. This may require individuals to drive, rather than walk, to lunch spots, increasing total vehicle miles traveled. There is unlikely to be a benefit to VMT from locating the courthouse on Highway 49, due to the limited housing options west of the courthouse. On the contrary, employees may live in Downtown Nevada City that would need to commute a further distance to a relocated courthouse. More data would be needed to form a quantitative assessment.

Sustainability

APPROACH

For Option 3, the new courthouse will be built in a manner that is more energy efficient than Options 1 and 2. The “Energy and Atmosphere” category will score significantly higher for this Option. The LEED Credit “Optimize Energy Performance” will most likely get closer the maximum number of points since the design will be based on energy models maximizing performance. The “Renewable Energy Production Credit” will also be more cost-effective and score higher in this scenario since there is ample space for solar photovoltaic systems under this option. Additionally, the “Advanced Energy Metering” LEED credit will be more cost-effective in this scenario since this Option will include installation of energy metering and for end uses. Inherently, the “Demand Response” credit will be achieved with the smart meters.

Under the LEED “Indoor Environmental Quality” category, the Team will most likely be able to take advantage of the “Construction Indoor Air Quality Management Plan” by developing and implementing an indoor air quality (IAQ) management plan for the construction and pre-occupancy phases of the building. During construction the team will not be allowed to operate permanently installed air-handling equipment unless filtration media with a minimum efficiency reporting value (MERV) of 8, as determined by ASHRAE 52.2-2007, are installed at each return air grille and return or transfer duct inlet opening such that there is no bypass around the filtration media.

The “Sensitive Land Protection” credit can be attained by locating the development footprint on land that has been previously developed or that does not meet the following criteria for sensitive land: prime farmland, floodplains, habitat, water bodies, or wetlands.

Historic Preservation

APPROACH

Option 3 intends to relocate the courts facilities to a new site outside of downtown Nevada City. In this option, the downtown Courthouse and Annex Building will be vacated by the courts once the new facility is ready.

PROJECT COMPLIANCE

The new site for Option 3 is not determined to have any potentially historic resources within. Option 3 does not include a project at the historic downtown Courthouse site, therefore there is no evaluation against the Secretary of the Interior’s Standards.

GENERAL RECOMMENDATIONS FOR MOTHBALLING

When a building is vacated without a determined next productive use, it may be necessary to mothball the building until a new use is identified. Mothballing controls the long-term deterioration of a building while it is unoccupied. This process also stabilizes the building and protects the structure from fire, vandalism, and sudden loss. Mothballing requires periodic ongoing inspection and maintenance of waterproofing, ventilation, and exclusion/security systems.

Economic Impact

Option 3 could result in an approximately 6% (\$1.9 million) decline in downtown economic activity.

In the event of a courthouse relocation, it is expected that the majority of courthouse-related sales at many downtown businesses would be eliminated or significantly reduced because the new courthouse location is not close enough to downtown to facilitate the easy walking distance between the courthouse and downtown. Therefore, if jurors or others who use the courthouse have to get in their car and drive to someplace to shop or get lunch, they may either skip the trip, or could drive anywhere including Grass Valley to eat or shop. While this decline in weekday sales activity may appear relatively small as a percentage of total sales, according to local businesses, this amount is sufficient to provide a stabilizing presence to downtown businesses during seasons of slow tourism traffic. Due to the lack of commercial sites or zoning in proximity to the proposed new courthouse site, it is not expected that these downtown sales losses would be offset by economic gains in other parts of Nevada City.

A complete Economic Impact Report is included in the Appendix (see Section 3.2).

SECTION 2 | Option 3

OPTION 3 | Detailed Criteria Evaluation

CRITERIA	WEIGHT (%)	SCORE (0-100)	WEIGHTED SCORE (%)
Court Function			
Safety and Security	30%	100	30
Program Requirements	25%	100	25
Circulation Patterns	15%	100	15
Functional Adjacencies	15%	100	15
Building Efficiencies	15%	100	15
Score			100
Site Function			
Safety and Security	20%	100	20
Site at Program Location	20%	95	19
Access to Site	20%	70	14
Site Functionality	20%	95	19
Accessibility	20%	90	18
Score			90
Local Community Goals			
Public Image of Building	20%	20	4
Economic Impact	30%	25	8
Historic Aspects / 338	15%	25	4
Useful Life of Building	15%	20	3
Broader Regional Goals	20%	70	14
Score			32
Judicial Council Goals			
County Title / Divestment	25%	95	24
Long-range Goals	25%	100	25
Meets Judicial Council Facility Standards	25%	100	25
Remaining Useful Life	25%	100	25
Score			99
Project Delivery			
Schedule	25%	100	25
Disruption of Services	30%	100	30
Community Impacts / Construction	15%	85	13
Environmental Considerations	20%	70	14
Deed restrictions and Others	10%	95	10
Score			91

CRITERIA EVALUATION

Courthouse Function

Option 3 encompasses the construction of a new building on an appropriately sized lot. As a result, the new Courthouse can be built exactly to specifications. This is reflected in its overall score.

Safety and Security – Score: 100

The proposed layout provides a safe and secure courthouse. The layout meets all safety and security requirements.

Program Requirements – Score: 100

This option fully meets the Program Requirements.

Overall Court Functionality : Circulation Patterns – Score: 100

The circulation patterns meet all functionality requirements.

Overall Court Functionality : Functional Adjacencies – Score: 100

This option fulfills the Functional Adjacencies criterion.

Overall Court Functionality : Building Efficiencies – Score: 100

This option fulfills the Building Efficiencies criterion.

Site Function

Option 3 encompasses the construction of a new courthouse building on an appropriately sized lot. This is reflected in its overall score.

Safety and Security – Score: 100

This option meets all Site Safety and Security requirements.

Site at Program Location – Score: 95

This option meets all Site Program requirements.

Access to Site – Score: 70

This option situates the new Courthouse building at a new, yet to be determined location in proximity to the Nevada County Government Center. The site is accessible by vehicle and public transportation.

Site Functionality – Score: 95

Similar to Options 1 and 2, this option can accommodate the critical site needs of the Court, including transfer of persons in-custody and secure judicial parking, and can accommodate operational and maintenance circulation needs. However, the Sheriff's Office will likely need to transport those in-custody from the County Jail to the Courthouse.

Accessibility – Score: 90

This option meets all Site Accessibility requirements.

Local Community Goals

Public Image of Building – Score: 20

The Courthouse will leave the downtown site and sell their interest in the building. The end-use of the existing buildings will not be under the Judicial Council’s control. There is a high risk associated with this and therefore this criterion receives a very low score.

Economic Impact – Score: 25

With the Courthouse no longer in the downtown area, there will be a clear reduction in economic benefit. This will have a negative impact on the local business economy and therefore this criterion receives a very low score.

Historic Aspects / Ordinance 338 – Score: 25

Moving the court to a new location will likely create major challenges with the existing building. There is potential for the existing building to be adaptively reused with a new function. But this is far from certain and therefore this criterion receives a very low score.

Useful Life of Existing Building – Score: 20

The Courthouse will leave the downtown site and sell their interest in the building. The end-use of the existing buildings will not be under the Judicial Council’s control. There is a high risk associated with this.

Broader Regional Goals – Score: 70

Although this option is detrimental to the local Nevada City goals, it has a less than significant impact to the broader region. However, there is still an impact to the region overall and therefore this criterion receives a low score.

Judicial Council Goals

County Title/Divestment - Score: 95

The Judicial Council has a strong desire to hold title of court properties. Currently the courthouse title is shared between the County and the Judicial Council. The title for the proposed sites are either county owned or privately owned. Although it is very likely that the Judicial Council will be able to gain title to these properties, there is still some risk associated with this.

Long-range Goals – Score: 100

This option supports the Judicial Council’s long-range goals to promote buildings that are functional, durable, maintainable, and efficient and that provide long-term value to the public, the judicial branch, courthouse occupants, the community in which they reside, court users, and taxpayers of California.

Meets Judicial Council Facility Standards – Score: 100

This option meets the Judicial Council Facilities Standards with the intent of maximizing value to the State of California by balancing the aesthetic, functional, and security requirements of courthouse design with the budget realities of initial construction costs and the long-term life cycle costs of owning and operating institutional buildings.

Remaining Useful Life – Score: 100

This option ensures that the new courthouse building will be built to meet this criterion.

Project Delivery

Schedule- Score: 100

This project will take 66 months to complete, and is significantly quicker than the other two options.

OPTION 3 | Project Delivery Schedule

66 MONTHS	Q3 2022	Q4 2022	Q1 2023	Q2 2023	Q3 2023	Q4 2023	Q1 2024	Q2 2024	Q3 2024	Q4 2024	Q1 2025	Q2 2025	Q3 2025	Q4 2025	Q1 2026	Q2 2026	Q3 2026	Q4 2026	Q1 2027	Q2 2027	Q3 2027	Q4 2027	
COBCP PROCESS																							
Site Selection/Prelim. Due Diligence/ CCOA																							
Site Acquisition / Due Diligence/ CEQA																							
Performance Criteria / Select Design Builder																							
Design Build (Design/Permit)																							
Construction																							

Disruption of Services – Score: 100

This option requires Judicial Staff to move into the new building after construction is completed. Courthouse functions will remain in the current downtown location until construction is completed. This is a best case scenario for a construction project.

Community Impacts – Score: 85

Disruption to traffic will be much easier to mitigate on any site near the County Government Center compared to the existing downtown site.

Environmental Considerations – Score: 70

Although there are no known major environmental concerns since the site has not yet been selected, there are risks associated with this. Therefore it scores slightly lower than the other options.

Deed Restrictions and Others – Score: 95

Although the project will not consider sites with prohibitive deed restrictions, there are some minor risks that the score acknowledges.

COST ESTIMATE

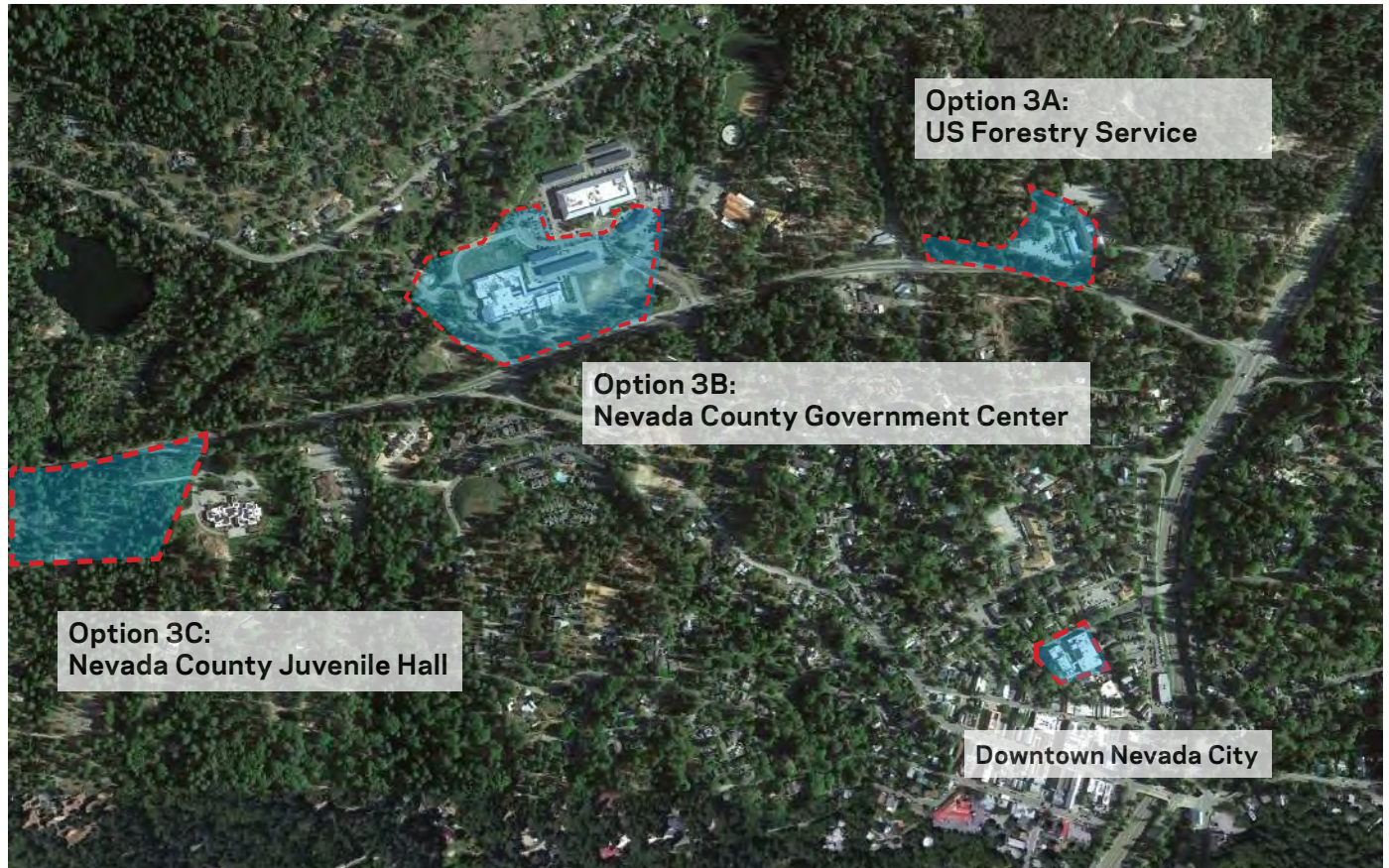
The estimated cost for Option 3 is \$176,832,060. See Appendix for a detailed Cost Evaluation (Section 3.6).

COST MODEL	OPTIONS
Construction Costs	\$112,798,000
Project Costs	\$30,455,460
Property Acquisition Costs	\$4,550,000
Escalation Costs (May 2022 to midpoint)	\$29,028,600
Total Cost	\$171,832,060
Score	100

Potential Sites

Option 3 makes the most efficient use of a new, undefined site situated along the Golden Chain Highway in proximity to the Nevada County Government Center. Three (3) potential sites have been identified for this Option: (3A) 631 Coyote Street in proximity to the United States Department of Agriculture Forest Service; (3B) 925 Maidu in proximity to the Nevada County Government Center and County Jail; and (3C) 15434 State Highway 49 in proximity to the Nevada County Juvenile Hall.

OPTION 3 - Option 3 Site Location Diagram

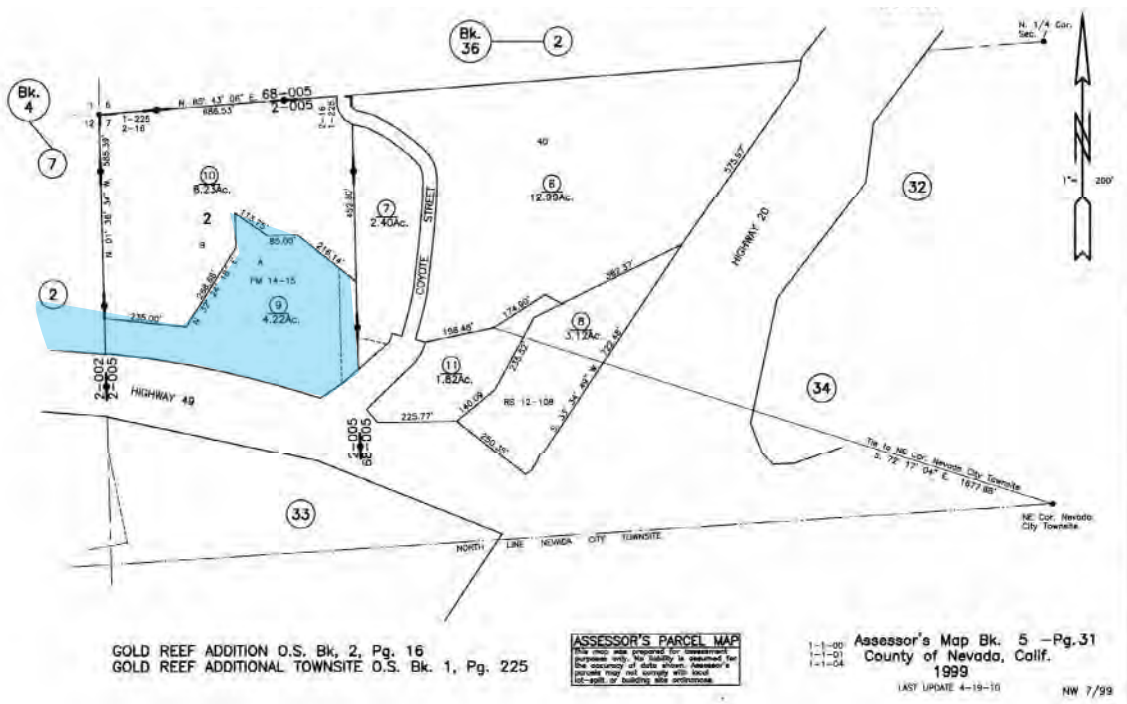


Option 3A US Forestry Service Site Location

OPTION 3A - 631 Coyote Street US Forestry Service Site Location



OPTION 3A - 631 Coyote Street US Forestry Service Parcel Map

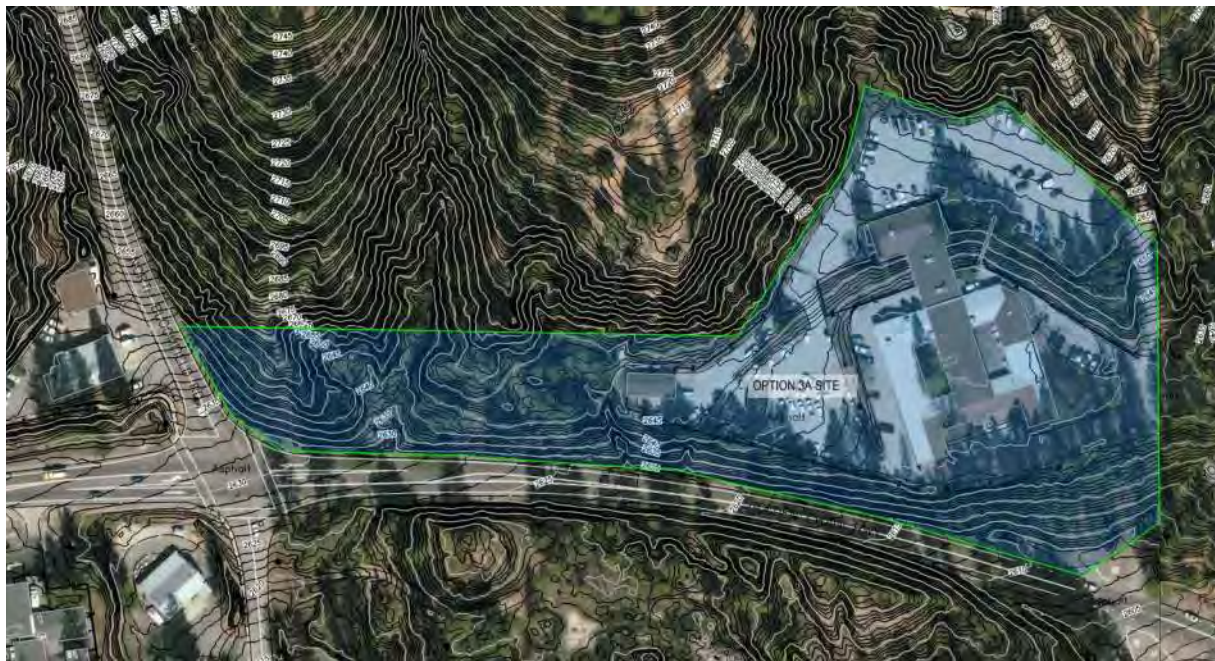


EXISTING CONDITIONS

Existing Site Topography

The Option 3A site is a developed site adjacent to Highway 49 currently occupied by the US Forestry Service. The existing improvements include a building, paved parking and drive lanes, and driveway access to Coyote Street. The site is steeply sloped towards Highway 49 with elevations ranging roughly 50 feet across the site.

Site Topography for Option 3A Site



Existing Site Access

Site access is provided onto Coyote Street. The site is near Highway 49, and significant grading would be needed to create access to this street from the site.

Existing Utilities

All utilities shall comply with the applicable Authority Having Jurisdiction (AHJ) within the City of Nevada City or the County of Nevada.

All proposed utility systems, any necessary design calculations and applicable County or City permits shall be designed by the Design-Build entity. All proposed utilities connections to existing infrastructure, verification of existing utilities, survey of existing underground utility locations, sizes and inverts shall be the responsibility of the approved Design-Build entity.

Proposed Utilities

Sanitary Sewer

The new courthouse will require a sanitary sewer connection. The existing onsite system is a 6-inch gravity system and is expected to have adequate capacity for the new courthouse. Onsite sewer is anticipated to connect into the adjacent system on the site and utilize the existing piping that ultimately connects to the public system.

Easements and agreements may be necessary to utilize the existing sewer system onsite.

Storm Drainage

The site improvements are anticipated to include onsite underground storm drainage and drain inlets to collect and convey runoff from the site. Runoff from the site is expected to sheet flow from the site into existing roadside ditches, daylight piping into the ditches, or connect to underground storm drain system extended to the site.

Site runoff should be managed to reduce risk of erosion or other issues resulting from concentrated flow.

Storm drainage requirements are prescribed by Nevada County Land Use and Development Code.

Projects in the City are typically required to install detention and treatment facilities to mitigate peak increases in stormwater runoff. Per Nevada County Code, where determined necessary, retention/detention facilities shall be designed to protect downstream users and ensure that the water surface returns to its base elevation within 24 hours after the storm event.

Stormwater treatment and detention shall be provided to meet Nevada City stormwater requirements.

Judicial Council of California (JCC) California Trial Court Facilities Standards has a design objective for projects to achieve LEED Silver or greater. Additional stormwater treatment goals may be necessary, up to treatment of the 98th Percentile storm runoff in order to achieve Rainwater Management (SS C4) LEED points.

The site improvements will result in an acre or more of disturbed area, so the project will require a Stormwater Pollution Prevention Plan (SWPPP) be processed with the State of California to obtain coverage under the Construction General Permit prior to construction.

Domestic Water and Fire

The existing water system onsite may be undersized to utilize as a connection point for the courthouse. The system may require replacement to upsize the system to increase capacity in order to serve the courthouse system and onsite hydrants. Providing a looped system by connecting to the public system in two locations or providing a fire pump may be necessary.

The new Courthouse will require a new fire suppression sprinkler system. The new system shall conform with the Nevada City Code of Ordinances, California Fire Code, and NFPA 13.

The connections will include a Double Detector Check Valve assembly at the connection to the public main and Fire Department Connection. Flow data for the public system is unknown and should be verified.

Private fire service mains shall conform with NFPA 24, capable of supplying the required fire flow for fire protection.

The fire service will require a new fire department connection (FDC). FDC's shall be installed in accordance with the NFPA standard applicable to the system design and shall be located unobstructed from a fire lane. A fire hydrant shall be located near the FDC per Nevada City Fire and California Fire Code requirements.

Onsite fire hydrants will be required in order to provide coverage around the building and near Fire Department Connections per Nevada City Fire and California Fire Code.

The Courthouse building will require a new domestic water service connecting to the public water system within the street. The new service will include a meter and reduced pressure backflow assembly at the connection to the public main, adequately sized for the building. Meter and backflow locations should be coordinated with Nevada City.

New easements and agreements related to a shared water system may be necessary.

Gas Distribution

The existing gas system at the site is unknown. A new gas service may require extending service to the site or utilizing alternatives such as propane.

Cost

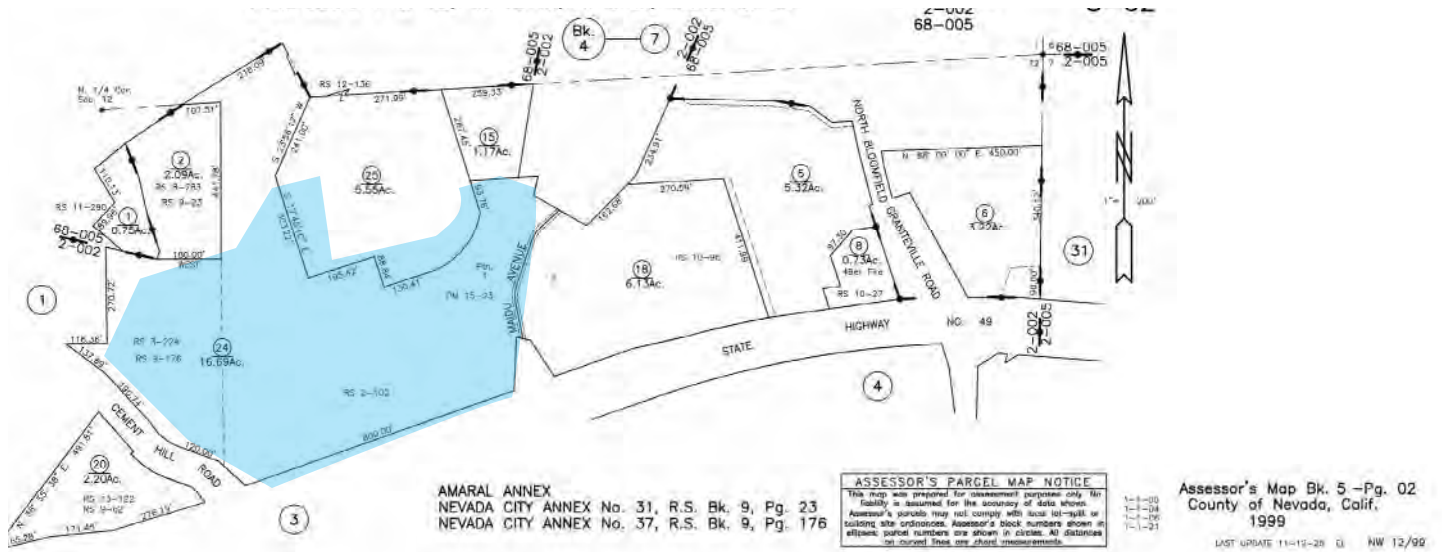
Option 3A will show a slight reduction in cost compared to the generic model. The estimated cost is \$176,417,642.

Option 3B – Nevada County Government Center

OPTION 3B | 925 Maidu the Nevada County Government Center location



OPTION 3B | 925 Maidu the Nevada County Government Center Location



EXISTING CONDITIONS

Existing Site Topography

The Option 3B site is a developed site adjacent to Highway 49 currently occupied by the Nevada County Government Center. The existing improvements include multiple buildings, paved parking and drive lanes, and driveway access to Highway 49 via Maidu Avenue and Cement Hill Road. The site is sloped towards Highway 49 with elevations ranging roughly 30 feet across the site.

OPTION 3B | Site Topography



Existing Site Access

Site access is provided onto Cement Hill Road and Maidu Avenue, connecting to Highway 49. A series of onsite access drive lanes provide circulation throughout the Government Center.

Existing Utilities

All utilities shall comply with the applicable Authority Having Jurisdiction (AHJ) within the City of Nevada City or the County of Nevada.

All proposed utility systems, any necessary design calculations and applicable County or City permits shall be designed by the Design-Build entity. All proposed utilities connections to existing infrastructure, verification of existing utilities, survey of existing underground utility locations, sizes and inverts shall be the responsibility of the approved Design-Build entity.

OPTION 3B | Existing Sewer and Water Infrastructure Map



Existing Sanitary Sewerage System

The site contains an onsite gravity sewer system connecting to the public system which crosses Highway 49 and is conveyed towards the south of the site.

Existing Storm Drainage System

The existing storm drain system at the site is unknown.

Existing Domestic Water and Fire Distribution System

The site connects to an existing public water system near the southeast corner of the site. The public system runs towards the south across Highway 49. The existing system is a looped system with a connection near Maidu Avenue, and a second connection near Helling Way.

Existing Gas Distribution System

The existing gas system at the site is unknown.

CONCEPT

Option 3B takes advantage of its proximity to the existing Nevada County Government Center, including the opportunity to reinforce access to the different buildings onsite and share onsite parking and utilities. Option 3B will require thoughtful design work to ensure that the Courthouse will fit within the government complex.

Furthermore, this option takes advantage of its proximity to the Nevada County Jail, which enables the expedient and secure transportation of persons in custody to and from the Courthouse. A new tunnel connecting the Courthouse and Jail is proposed to facilitate this and will result in changes to the Courthouse program, specifically a reduction in the number of holding cells required. This will significantly reduce operational costs since persons in custody will no longer be transported to a disparate location. Site Access, Parking and Site Improvements

Proposed Utilities

Sanitary Sewer

The new courthouse will require a sanitary sewer connection. The onsite sewer is anticipated to connect into the adjacent system on the site and utilize the existing piping that ultimately connects to the public system.

Easements and agreements may be necessary to utilize the existing sewer system onsite.

Storm Drainage

The site improvements are anticipated to include onsite underground storm drainage and drain inlets to collect and convey runoff from the site. Runoff from the site is expected to sheet flow from the site into existing roadside ditches, daylight piping into the ditches, or connect to underground storm drain system on the site.

Site runoff should be managed to reduce risk of erosion or other issues resulting from concentrated flow.

Storm drainage requirements are prescribed by Nevada County Land Use and Development Code.

Projects in the City are typically required to install detention and treatment facilities to mitigate peak increases in stormwater runoff. Per Nevada County Code, where determined necessary, retention/detention facilities shall be designed to protect downstream users and ensure that the water surface returns to its base elevation within 24 hours after the storm event.

Stormwater treatment and detention shall be provided to meet Nevada City stormwater requirements.

Judicial Council of California (JCC) California Trial Court Facilities Standards has a design objective for projects to achieve LEED Silver or greater. Additional stormwater treatment goals may be necessary, up to treatment of the 98th Percentile storm runoff in order to achieve Rainwater Management (SS C4) LEED points.

Site improvements will result in an acre or more of disturbed area, so the project will require a Stormwater Pollution Prevention Plan (SWPPP) be processed with the State of California to obtain coverage under the Construction General Permit prior to construction.

Domestic Water and Fire

The existing water system onsite is a looped connection and may be suitable to service the new courthouse. Flow data is not known and should be investigated further.

The new Courthouse will require a new fire suppression sprinkler system. The new system shall conform with the Nevada City Code of Ordinances, California Fire Code, and NFPA 13.

The connections will include a Single Check Valve assembly at the connection to the onsite system and Fire Department Connection.

Private fire service mains shall conform with NFPA 24, capable of supplying the required fire flow for fire protection.

The fire service will require a new fire department connection (FDC). FDC's shall be installed in accordance with the NFPA standard applicable to the system design, and shall be located unobstructed from a fire lane. A fire hydrant shall be located near the FDC per Nevada City Fire and California Fire Code requirements.

Onsite fire hydrants will be required in order to provide coverage around the building and near Fire Department Connections per Nevada City Fire and California Fire Code.

The Courthouse building will require a new domestic water service connecting to the public water system within the street. The new service will include a meter and reduced pressure backflow assembly at the connection to the public main, adequately sized for the building. Meter and backflow locations should be coordinated with Nevada City.

New easements and agreements related to a shared water system may be necessary.

Gas Distribution

The existing gas system at the site is unknown. A new gas service may require extending service to the site or utilizing alternatives such as propane.

COST

Option 3B will show a slight increase in cost compared to the generic model. The estimated cost is \$177,868,106.

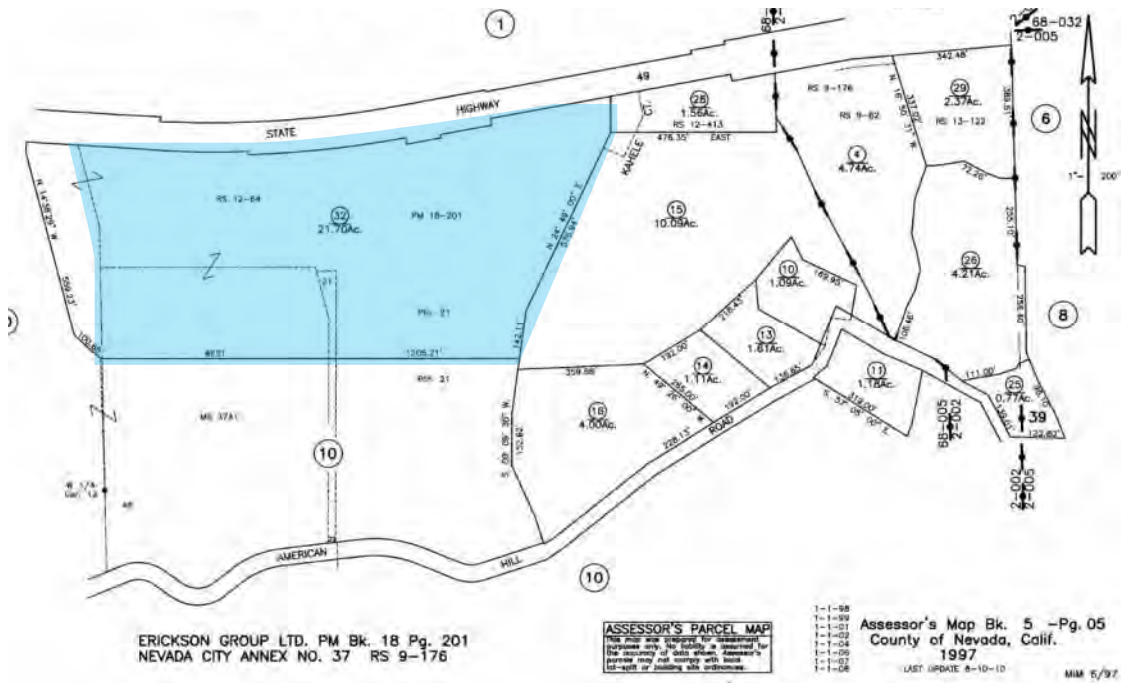
Option 3C – Site in proximity to the Nevada County Juvenile Hall

EXISTING CONDITIONS

OPTION 3C | 15434 State Highway 49 Nevada County Juvenile Hall Site Location



OPTION 3C | 15434 State Highway 49 Nevada County Juvenile Hall Site Location



Existing Site Topography

The Option 3C site is an undeveloped site adjacent to Highway 49 located outside the Nevada City city limits. The site slopes towards the south away from Highway 49. An existing access road is located onsite, connecting to the adjacent Juvenile Hall facility.

Existing Site Access

Site access is provided onto the Juvenile Hall driveway entrance that connects to Highway 49.

OPTION 3C - Site Topography



Existing Utilities

All utilities shall comply with the applicable Authority Having Jurisdiction (AHJ) within the City of Nevada City or the County of Nevada.

All proposed utility systems, any necessary design calculations and applicable County or City permits shall be designed by the Design-Build entity. All proposed utilities connections to existing infrastructure, verification of existing utilities, survey of existing underground utility locations, sizes and inverts shall be the responsibility of the approved Design-Build entity.

Existing Sanitary Sewerage System

Underground sanitary sewer at the site is not shown on record maps and is not believed to exist at the site.

Existing Storm Drainage System

Underground storm drainage at the site is not shown on record maps and is not believed to exist at the site.

Existing Domestic Water and Fire Distribution System

The underground water system at the site is not shown on record maps and is not believed to exist at the site.

Existing Gas Distribution System

The existing gas system at the site is unknown.

SITE / CIVIL ENGINEERING

Site Access, Parking and Site Improvements

Site access, parking, and site improvements for this site are expected to closely resemble the Option 3 site since both sites are undeveloped.

Proposed Utilities

Sanitary Sewer

The new courthouse will require a sanitary sewer connection. The onsite sewer is anticipated to connect into the adjacent system on the site and utilize the existing piping that ultimately connects to the public system.

Easements and agreements may be necessary to utilize the existing sewer system onsite.

Storm Drainage

The site improvements are anticipated to include onsite underground storm drainage and drain inlets to collect and convey runoff from the site. Runoff from the site is expected to sheet flow from the site into existing roadside ditches, daylight piping into the ditches, or connect to underground storm drain system on the site.

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New easements and agreements related to a shared water system may be necessary.

Gas Distribution

The existing gas system at the site is unknown. A new gas service may require extending service to the site or utilizing alternatives such as propane.

COST

Option 3C will show a slight increase in cost compared to the generic model. The estimated cost is \$179,836,593.

2.4 — OPTION COMPARISONS

SCORE SUMMARY

WEIGHT (%)		OPTION 1 Renovate Existing		OPTION 2 Rebuild On-Site		OPTION 3 Build on New Site	
Weight	Item	Score	Weight	Score	Weight	Score	Weight
70.0%	Criteria Evaluation Weighted Score	64	45	86	60	87	61
30.0%	Cost Weighted Score	80	24	72	22	100	30
100.0%	Final Score	69		82		91	

CRITERIA EVALUATION MATRIX

WEIGHT (%)		OPTION 1 Renovate Existing		OPTION 2 Rebuild On-Site		OPTION 3 Build on New Site	
Weight	Item	Score	Weight	Score	Weight	Score	Weight
35.0%	Court Function	58	20	99	34	100	35
20.0%	Site Function	45	9	70	14	90	18
15.0%	Local Community Goals	96	14	92	14	32	5
15.0%	Judicial Council Goals	70	11	94	14	99	15
15.0%	Project Delivery	64	10	64	10	91	14
100.0%	Final Criteria Score	64		86		87	

SECTION 2 | Option Comparisons

DETAILED CRITERIA EVALUATION

CRITERIA		Score	Weighted Score	Score	Weighted Score	Score	Weighted Score
Courthouse Function							
Safety and Security	30%	60	18	95	29	100	30
Program Requirements	25%	55	14	100	25	100	25
Circulation Patterns	15%	60	9	100	15	100	15
Functional Adjacencies	15%	55	8	100	15	100	15
Building Efficiencies	15%	60	9	100	15	100	15
	Score		58		99		100

Site Function							
Safety and Security	20%	35	7	80	16	100	20
Site at Program Location	20%	70	14	70	14	95	19
Access to Site	20%	50	10	70	14	70	14
Site Functionality	20%	50	10	80	16	95	19
Accessibility	20%	20	4	50	10	90	18
	Score		45		70		90

Local Community Goals							
Public Image of Building	20%	100	20	90	18	20	4
Economic Impact	30%	100	30	100	30	25	8
Historic Aspects / 338	15%	100	15	80	12	25	4
Useful Life of Building	15%	90	14	100	15	20	3
Broader Regional Goals	20%	85	17	85	17	70	14
	Score		96		92		32

Judicial Council Goals							
County Title / Divestment	25%	80	20	80	20	95	24
Long-range Goals	25%	60	15	95	24	100	25
Meets Judicial Council Facility Standards	25%	60	15	100	25	100	25
Remaining Useful Life	25%	80	20	100	25	100	25
	Score		70		94		99

Project Delivery							
Schedule	25%	45	11	50	13	100	25
Disruption of Services	30%	60	18	60	18	100	30
Community Impacts / Construction	15%	60	9	55	8	85	13
Environmental Considerations	20%	79	16	77	15	70	14
Deed restrictions and Others	10%	100	10	95	10	95	10
	Score		64		64		91

COST MODEL

OPTION 1 Renovate Existing		OPTION 2 Rebuild On-Site		OPTION 3 Build on New Site	
Cost	Score	Cost	Score	Cost	Score
\$219,780,230	80	\$246,682,542	72	\$176,832,060	100

COST MODEL SCORING

ITEM	OPTION 1 Renovate Existing	OPTION 2 Rebuild On-Site	OPTION 3 Build on New Site
Construction Costs	\$133,820,000	\$148,816,000	\$112,798,000
Project Soft Costs	\$36,131,400	\$40,180,320	\$30,455,460
Property Acquisition Costs	\$5,005,000	\$4,997,500	\$4,550,000
Escalation Costs (May 2022 to midpoint)	\$44,823,830	\$52,688,722	\$29,028,600
Total Cost	\$219,780,230	\$246,628,542	\$176,832,060
Score	80	72	100

SECTION 3.0

Appendices

SECTION 3.1

Program of Spaces

Superior Court of California, County of Nevada
 New Nevada City Courthouse
 FINAL Study Projected Staff and Space Requirements Summary
 February 02, 2022



Space Program Summary		CURRENT NEED			
		Courtrooms	Total Staff	Total NSF²	Total CGSF³
1.0	Public, Entry Lobby & Security Screening	-	4	2,148	2,578
2.0	Court Sets	6	6	18,215	22,769
3.0	Chambers & Courtroom Support	-	7	3,350	4,188
4.0	Court Operations & Courtroom Clerks	-	3	259	324
5.0	Clerk's Office	-	28	5,238	7,071
6.0	Family Court, Civil & ADR	-	11	2,831	3,822
7.0	Self Help	-	3	797	1,036
8.0	Administration	-	12	2,747	3,434
9.0	Jury Services	-	3	2,519	3,149
10.0	Sheriff	-	3	1,255	1,569
11.0	Central Holding	-	-	2,750	4,125
12.0	Building Support	-	-	2,380	2,975
Subtotal		6	80	44,489	57,038
Grossing Factor¹					1.40
Total Gross Square Feet (GSF)					79,853
GSF per Courtroom					13,309

Table Footnote:

1. The Grossing Factor includes space for staff and public restrooms, janitor's closets, electrical rooms, mechanical shafts, circulation, etc.
2. NSF = Net Square Feet.
3. CGSF = Component Gross Square Feet.

Public Parking Requirements (Surface Parking)	240 Spaces
Secure Parking (Judges, Sheriff, Staff (Surface Parking))	9 Spaces

Superior Court of California, County of Nevada
 New Nevada City Courthouse
 FINAL Study Projected Staff and Space Requirements Summary

Space/Component	Unit/Area Std.	No. of Staff	No. of Spaces	NSF	Comments
1.0 Public Area - Lobby & Security Screening					
1.0.1	Entry Vestibule		1	200	sized for approx. 20 persons
1.0.2	Security Screening Queuing		20	280	sized for approx. 20 persons, 2 screening stations
1.0.3	Weapons Screening Station	4	2	540	2 Sheriff Deputies per station
1.0.4	staging/line				
1.0.5	x-ray machines				
1.0.6	metal detectors				
1.0.7	retrieval				
1.0.8	secondary screening/recovery area				
1.0.9	Secure Public Lobby		1	1,000	
1.0.10	Information Kiosk		1	48	Kiosk only
1.0.12	Security Staff Storage		1	80	Includes law enforcement gun lockers
Subtotal Staff and NSF			4	2,148	
Grossing Factor		20%		430	
Total CGSF				2,578	

Superior Court of California, County of Nevada
 New Nevada City Courthouse
 FINAL Study Projected Staff and Space Requirements Summary

Space/Component	Unit/Area Std.	No. of Staff	No. of Spaces	NSF	Comments
2.0 Court Sets					
2.0.1 Courtroom, Large Trial	2,250		2	4,500	Includes ADA ramping and entry vestibule
2.0.2 Courtroom, Multipurpose	1,850		4	7,400	Includes ADA ramping and entry vestibule
2.0.3 Courtroom Clerk Copy/Supply/Workroom	100		3	300	1 per 2 courtrooms
2.0.4 Courtroom Clerk Workstation			12		Loated in courtroom
2.0.5 Bailiff (CSO) Workstation		6		-	Locate in courtroom, no additional work areas.
2.0.6 Exhibit/Evidence Storage	50		6	300	
2.0.7 Courtroom A/V Server Closet	30		6	180	
2.0.8 Courtroom Holding/Attorney Interview (Holding Core B)	605		3	1,815	Rated capacity 7 plus 1 interview room.
2.0.9 Attorney/Client conference rooms	100		12	1,200	2 per each courtroom, final quantity TBD based on courtroom types utilized.
2.0.10 Jury Deliberation Room (includes toilet)	400		3	1,200	1 per 2 courtrooms
2.0.11 Courtroom Waiting	220		6	1,320	
Subtotal Staff and NSF		6		18,215	
Grossing Factor	25%			4,554	
Total CGSF				22,769	

Superior Court of California, County of Nevada
 New Nevada City Courthouse
 FINAL Study Projected Staff and Space Requirements Summary

Space/Component	Unit/Area Std.	No. of Staff	No. of Spaces	NSF	Comments
3.0 Chambers & Courtroom Support					
3.0.1	Judicial Chambers (includes restroom, closet)	400	6	2,400	
3.0.2	Chambers Waiting/Reception	200	1	200	
3.0.3	Law Library/Judges' Conference Room	350		350	Counter, AV System, 8-10 people
3.0.4	Copy/Supply Alcove	80		160	One per floor
3.0.5	Staff Toilet Room	60		240	2 per floor within secure corridor
Subtotal Staff and NSF			7	3,350	
Grossing Factor		25%		838	
Total CGSF				4,188	

Superior Court of California, County of Nevada
 New Nevada City Courthouse
 FINAL Study Projected Staff and Space Requirements Summary

Space/Component	Unit/Area Std.	No. of Staff	No. of Spaces	NSF	Comments
4.0 Court Operations					
4.1 Court Reporters					
4.1.1	Court Reporter Workstation	48	3	3	144 Collocate near courtroom clerks. Provide sound privacy.
4.1.2	Court Reporter Production Area	100		1	100
4.1.3	Shared Network Printer Area	15		1	15
4.2 Interpreters					
					Interpreters housed offsite
				-	
<hr/>					
Subtotal Staff and NSF			3		259
Grossing Factor		25%			65
Total CGSF					324
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Superior Court of California, County of Nevada
 New Nevada City Courthouse
 FINAL Study Projected Staff and Space Requirements Summary

Space/Component	Unit/Area Std.	No. of Staff	No. of Spaces	NSF	Comments
5.0 Clerk's Office					
Service Counter - Public					
5.0.1	Public Queuing Area	14	20	280	
5.0.2	Public Seating	14	20	280	
5.0.3	Copier/Drop Box/Forms Counter	100	1	100	
5.0.4	Public Records Viewing Room	200	1	200	
Service Counter					
5.0.5	Counter Workstation - Unassigned	48	7	336	
5.0.6	Work Counter/Forms Storage	80	1	80	
5.0.7	Network Printer/Fax/Copier	15	1	15	
Staff					
5.0.8	Manager Office	120	2	240	
5.0.9	Court Services Assistants	64	24	1,536	
5.0.10	Traffic Safety Institute Clerk	64	1	64	
5.0.11	Collection Clerk	64	1	64	
Shared Support					
5.0.12	File Scanning Station	64	1	64	
5.0.13	File Staging Area	80	2	160	
5.0.14	Sorting Workstation	64	1	64	
5.0.15	File Cart Area	6	12	72	
5.0.16	Death Penalty File Storage	150	1	150	
5.0.17	Active Files	500	1	500	Centralized High-Density File Room, Confirm existing capacity requirements.
5.0.18	Exhibits Storage	300	1	300	
5.0.19	CLETS workstation	48	1	48	
5.0.20	Copy/Work Room / Supplies	250	1	250	Includes supplies storage
5.0.21	Cash Safe Area	10	1	10	
5.0.22	Mail Box Area	60	1	60	
5.0.23	Network Printer Area	15	3	45	
5.0.24	Forms Storage Area	80	2	160	
5.0.25	Staff Toilet Room	60	2	120	
5.0.26	Coffee Counter Area	40	1	40	
Subtotal Staff and NSF			28	5,238	
Grossing Factor		35%		1,833	
Total CGSF				7,071	

Superior Court of California, County of Nevada
 New Nevada City Courthouse
 FINAL Study Projected Staff and Space Requirements Summary

Space/Component	Unit/Area Std.	No. of Staff	No. of Spaces	NSF	Comments
6.0 FAMILY COURT, CIVIL ADR					
6.1 Public Areas - Separate Waiting					
6.1.1	Waiting Area 1	14	10	140	Should not be separate enclosed rooms, court requests this waiting be open to public circulation.
6.1.2	Waiting Area 2	14	10	140	
6.2 Public and Counter Areas					
6.2.1	Queuing Area	14	10	140	Shared among all functions
6.2.2	Counter Workstation	48	2	96	
6.3 Public & Staff Meeting Area					
6.3.1	Workshop/Orientation Room	375	1	375	10-12 people, multiuse training room
6.3.2	Mediation Conference room	150	2	300	4-6 people
6.4 Office Areas					
6.4.1	Family Court Services Director office	150	1	150	Mediators on line 7.1.5.3 are independent contractors
6.4.2	Family Law Facilitator	150	1	150	
6.4.3	Mediator Assistant	120	2	240	
6.4.4	Mediation Secretary	48	1	48	Family Court Services
6.4.5	Legal Assistant	48	2	96	Facilitator
6.4.6	Court Services Assistant	48	1	48	Facilitator
6.4.7	Shared Network Printer Area	15	1	15	Shared, see Staff Support Area
6.4.8	Copy/Work Room		0	-	Shared, see Staff Support Area
CIVIL SETTLEMENT UNIT / ALTERNATIVE DISPUTE RESOLUTION					
6.6 Public Areas:					
6.5.1	Waiting/Reception Area	120	1	120	Includes waiting and wkst
6.6 Litigation Rooms:					
6.6.1	Settlement Conference Room	300	1	300	Shared among all functions, 8-10 people
6.7 Staff Areas:					
6.7.1	Legal Process Clerk Workstation	48	1	48	volunteer staff
6.7.2	ADR Administrator Workstation	48	1	48	
6.7.3	Dispute Resolution Officer Office	150	1	150	
6.8 Staff Support Areas					
Shared among all functions					
6.8.1	Bulk Form Storage	64	1	64	
6.8.2	Copy/Supply	100	1	100	
6.8.3	Shared Network Printer Area	15	1	15	
6.8.4	File Unit Area	12	4	48	
Subtotal Staff and NSF			11	2,831	
Grossing Factor		35%		991	
Total CGSF				3,822	

Superior Court of California, County of Nevada
 New Nevada City Courthouse
 FINAL Study Projected Staff and Space Requirements Summary

Space/Component	Unit/Area Std.	No. of Staff	No. of Spaces	NSF	Comments
7.0 Self Help					
Public Area					
7.1.1	Public Law Center Director	120	1	-	120
7.1.2	Legal Assistant	64	1	-	64
7.1.3	Court Services Assistant	48	1	-	48
7.1.4	Waiting Room	15	-	8	120
7.1.5	Computer Workstation	20	-	4	80 Public use, includes printers
7.1.6	Work Table	40	-	2	80 Public use
7.1.7	Form Display	25	-	2	50
Staff Support					
-					
7.1.8	Bulk Form Storage	25	-	1	25
7.1.9	Copy/Printer/Supply (Staff Support)	100	-	1	100
7.1.10	Interview Room	100	-	1	100 Confidential conversation with staff and public
7.1.12	Cash Safe	10	-	1	10
Subtotal Staff and NSF			3		797
Grossing Factor		35%			239
Total CGSF					1,036

Superior Court of California, County of Nevada
 New Nevada City Courthouse
 FINAL Study Projected Staff and Space Requirements Summary

Space/Component	Unit/Area Std.	No. of Staff	No. of Spaces	NSF	Comments
8.0 COURT ADMINISTRATION					
8.1 Shared Support #1 - Reception Waiting Area					Shared by all Court Administration functions
8.1.1 Reception Waiting Area w/counter	100		1	100	w/counter
Subtotal Shared Support Reception Wtg. - DGSF & Staff		-		100	
8.2 Court Executive Office					
8.2.1 Court Executive Officer Office	300	1	1	300	
8.2.2 Operations Director	150	1	1	150	
8.2.3 Principal Analyst	64	1	1	64	
<i>Fiscal Areas</i>				-	
8.2.4 Accounting Technician	48	2	2	96	
8.2.5 Senior Financial Analyst	64	1	1	64	
8.2.6 Accounting Manager	120	1	1	120	Retiring
8.2.7 Shared Network Printer Area	15		2	30	OK to combine into workroom
Subtotal Court Executive Office - DGSF & Staff		7		824	
8.3 Human Resources					
8.3.1 Payroll and Benefits Coordinator	64	1	1	64	
8.3.2 HR Manager Office	150	1	1	150	
Subtotal Human Resources - DGSF & Staff		2		214	
8.4 Information Technology					
<i>Staff Areas</i>					
8.4.1 Systems Administrator	64	1	1	64	Overall area secured and separate from other staff areas, located near admin staff
8.4.2 Systems Analyst	64	1	1	64	
8.4.3 Information Technology Director Office	150	1	1	150	
8.4.4 File Unit Area	12		1	12	
8.4.5 Shared Network Printer Area	15		1	15	
<i>Computer Areas</i>					
8.4.6 IT Work Room	200		1	200	Locate Adjacent
8.4.7 IT Secure Equipment Storage	100		1	100	
8.4.5 Central Computer Room - <i>Secure</i>	400		1	400	
Subtotal Information Technology - DGSF & Staff		3		1,005	
8.5 Shared Support #2					
8.5.1 Copy/Work Room	180		1	180	Include money/mail room
8.5.2 File Unit	120		1	120	
8.5.3 Secure File Room	100		1	100	HR Employee Records
8.5.4 Safe	24		1	24	Can be a locked closet w/ a secured cabinet
8.5.5 Conference Room	180		1	180	

Superior Court of California, County of Nevada
 New Nevada City Courthouse
 FINAL Study Projected Staff and Space Requirements Summary

Space/Component	Unit/Area Std.	No. of Staff	No. of Spaces	NSF	Comments
Subtotal Shared Support #2 - DGSF & Staff		-		604	
<hr/>					
Subtotal Staff and NSF		12		2,747	
Grossing Factor	35%			687	
Total CGSF				3,434	
<hr/>					

Superior Court of California, County of Nevada
 New Nevada City Courthouse
 FINAL Study Projected Staff and Space Requirements Summary

Space/Component	Unit/Area Std.	No. of Staff	No. of Spaces	NSF	Comments	
9.0	JURY SERVICES					
	Jury Administration					
9.0.1	Jury Coordinator	100	1	0	100	
9.0.2	Jury Services Staff	48	1	0	48	
	Jury Processing					
9.0.3	Reception/ Entry	100	1	1	100	
9.0.4	Check-in Counter Station	48	0	2	96	1 station can address hardships
9.0.5	Queuing Area	10	0	25	250	25% of jury call
9.0.6	Forms Counter	5	0	10	50	10% of jury call
9.0.7	Copy/Printer/Supply Room	100	0	1	100	
	Jury Assembly/Waiting					
9.0.8	General Seating	12	0	100	1,200	Total jury call is 150, yields average 75
9.0.9	Table Seating	20	0	5	100	5 tables w/seating
	Juror Support					
9.0.10	Vending Area	115	0	1	115	Includes sink/ counter/ water bottle filler
9.0.11	Storage Room	100	0	1	100	for chairs, tables, equipment
9.0.12	Women's Restroom	160	0	1	160	3 toilets
9.0.13	Men's Restroom	100	0	1	100	1 toilet/2 urinals
Total Staff and NSF			3		2,519	
Grossing Factor		25%			630	

Superior Court of California, County of Nevada
 New Nevada City Courthouse
 FINAL Study Projected Staff and Space Requirements Summary

Space/Component	Unit/Area Std.	No. of Staff	No. of Spaces	NSF	Comments
10.0 SHERIFF OPERATIONS					
Staff					
10.0.1 Deputy Work Area	25	-	3	75	3 work carrels at 25 SF each
10.0.2 Management Office (Lieut, Sergeant)	120	1	1	120	
10.0.3 Copy/Work/Supply Alcove	80		1	80	
				-	
Support					
				-	
10.0.4 Central Control Room	240	2	1	240	Combined for building security and in-custody holding areas
10.0.5 Security Equipment Closet	100		1	100	
10.0.6 Weopens Storage Locker	40		1	40	
10.0.7 Men's Locker/Shower/Toilet Room	250		1	250	
10.0.8 Women's Locker/Shower/Toilet Room	150		1	150	
10.0.9 Ready Room	200		1	200	Briefings, breaks
<hr/>					
Subtotal Staff and NSF		3		1,255	
Grossing Factor	25%			314	
Total CGSF				1,569	

Superior Court of California, County of Nevada
 New Nevada City Courthouse
 FINAL Projected Staff and Space Requirements Summary

Space/Component	Unit/Area Std.	No. of Staff	No. of Spaces	NSF	Comments
11.0 Central In-Custody Holding¹					
11.0.1 Vehicular Sallyport /Patrol Vehicle Parking	800		2	1,600	Locate inside or outside the building envelope with capacity for two large transport vans. Confirm vehicle size with Sheriff.
11.0.2 Pedestrian Sallyport	80		1	80	
11.0.3 Detainee Staging	100		1	100	
11.0.4 Remand Booking Station	80		1	80	For remands
11.0.5 Remand Holding Cell	70		1	70	For remands total capacity: 4
Central Holding, Adult²	Total Cells		3	ADT: 12 / Total Rated Capacity: 16	
11.0.6 Large Holding Cell - Male ³	110	0	1	110	Total rated capacity: 8
11.0.7 Large Holding Cell - Female	110	0	0	0	Total rated capacity: XX
11.0.8 Small Holding Cell - Male ³	70	0	1	70	Total rated capacity: 4
11.0.9 Small Holding Cell - Female	70	0	1	70	Total rated capacity: 4
11.0.10 Individual Holding - Male	50	0	0	0	Total rated capacity: XX
11.0.11 Individual Holding - Female	50	0	0	0	Total rated capacity: XX
Central Holding, Juvenile (with sight/sound separation)	Total Cells		2	ADT: 2 / Total Rated Capacity: 8	
11.0.12 Small Holding Cell - Male	70	0	1	70	Total rated capacity: 4
11.0.13 Small Holding Cell - Female	70	0	1	70	Total rated capacity: 4
11.0.14 Individual Holding	50	0	0	0	Total rated capacity: XX
Attorney Visitation Areas					
11.0.15 Attorney Vestibule/Waiting	80	0	1	80	controlled access from public corridor/lobby
11.0.16 Attorney-Client Interview Room	80	0	2	160	
Holding Support					
11.0.17 Food Storage - In-custodies	20	0	1	20	Refrigerator for lunches
11.0.18 Storage Room	60	0	1	60	
11.0.19 Staff Restroom	60	0	1	60	
11.0.20 Janitor Closet	50	0	1	50	
Total Staff and NSF				2,750	
Grossing Factor	50%			1,375	
Total CGSF				4,125	

Superior Court of California, County of Nevada
 New Nevada City Courthouse
 FINAL Projected Staff and Space Requirements Summary

Space/Component	Unit/Area Std.	No. of Staff	No. of Spaces	NSF	Comments
-----------------	-------------------	-----------------	------------------	-----	----------

1. Net square feet (NSF) and rated capacity is based on the JCC's metric-based calculation for holding capacity and cells, modified to address this facility's specific Hold-separates in-custody population. Current percentage for Hold-separates classification is XX percent of in-custody population.

2. Total number of holding cells and rated capacity is based on an Average Daily Transport (ADT) determined from in-custody transport data from the court. Current ADT is XX persons. Current percentage for Hold-separates classification is XX percent of in-custody population.

3. Four persons is the rated capacity for Small Cells and eight persons is the rated capacity for Large Cells as defined by the JCC's metric. The cell sizes are determined by the California Code of Regulations Titles 15 and 24 for temporary holding facilities, which requires 40 NSF for a single occupant and 10 NSF for each additional occupant.

Superior Court of California, County of Nevada
 New Nevada City Courthouse
DRAFT Projected Staff and Space Requirements Summary

Space/Component	Unit/Area Std.	No. of Staff	No. of Spaces	NSF	Comments
12 BUILDING SUPPORT					
12.1 Children's Waiting Room					
Confirm if space is required.					
12.1.1	Secure Check-in Station	60	0	0	
12.1.2	Play Area	200	0	0	0 Reading, television, computer areas, accom. 10 children
12.1.3	Restroom	64	0	0	
12.2 Staff Support					
12.2.1	Video Conference/Training Room	300	0	1	300 15 persons @ 20 sf/ea
12.2.2	Staff Break Room	300	0	1	300
12.2.3	Staff Lactation Room	50	0	1	50
12.2.4	Staff Shower/Restroom	80	0	2	160
12.3 Public Area Support					
12.3.1	Public Vending Alcove	80	0	1	80 4 machines, located near the lobby or in a central location.
12.3.2	Public Lactation Room	50	0	1	50
12.4 Related Justice Agency Space					
12.4.1	Multipurpose Room (Hoteling)	150	0	1	150 e.g., day use by justice partners
12.5 Building Operations					
12.5.1	Loading/Receiving Area	60	0	1	60
12.5.2	Trash/Recycling Collection Area	80	0	1	80
12.5.3	Mailroom	80	0	1	80
12.5.4	General Building Storage (Court)	300	0	1	300 for Court's furniture, equipment, etc.
12.5.5	UPS Room	120	0	1	120 per Standards (p. 17.4): UPS Room should not be adjoining MDF Room
12.5.6	Main Electrical Room ¹	150	0	1	150
12.5.7	Main Telecommunications/MDF Room	200	0	1	200 first floor near loading dock; room size per Standards Table 17.1
12.5.8	Custodian Staff Area	100	0	1	100
12.5.9	Housekeeping Storage	100	0	1	100
12.5.11	Building Maintenance Storage	100	0	1	100 equipment, materials
12.6 Secure Parking²					
12.6.1	Secured Judges Parking	300	0	6	0 provide secure parking at grade (not in NSF)
12.6.2	Secured Court Management Staff Parking	300	0	2	0 provide secure parking at grade (not in NSF)
12.6.3	Secured Law Enforcement Staff Parking	300	0	1	provide secure parking at grade (not in NSF); X stalls Probation and X stalls Sheriff 0 Sheriff
Total Staff and NSF			0	2,380	

Superior Court of California, County of Nevada
 New Nevada City Courthouse
 FINAL Projected Staff and Space Requirements Summary

Space/Component	Unit/Area Std.	No. of Staff	No. of Spaces	NSF	Comments
Grossing Factor	25%			595	
Total CGSF				2,975	

Footnotes:

1. Grossing Factor includes space for Electrical Closets (one per floor) and Janitor Closets (one per floor).

NSF calculation) is to be determined based on site conditions.

SECTION 3.2

Economic Impact Report



NEVADA CITY COURTHOUSE ECONOMIC IMPACT ANALYSIS

NEVADA CITY, CALIFORNIA

Prepared for:



Date:

6/3/2022

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COURTHOUSE ECONOMIC IMPACT ANALYSIS

Introduction

PROJECT OVERVIEW

The Nevada City Courthouse has stood at its current location of 201 Church St. in Nevada City since 1864. The courthouse was remodeled in 1900 and 1937, and expanded in 1964 to include the Courthouse Annex. However, the current Nevada City Courthouse is in poor condition: it has fire and seismic deficiencies, is not ADA compliant, and is not meeting the operational and capacity needs of the court. In response to these challenges, the Judicial Council of California has commissioned HOK to evaluate alternatives for renovation, re-building, or relocating the courthouse to better meet the needs of its users. The three options being considered are as follows:

- Option 1: Renovate the existing courthouse facility while maintaining the existing façade.
- Option 2: Replace the existing courthouse facility with a new courthouse on the same site.
- Option 3: Relocate the courthouse to a new site, expected to be somewhere in the area of the current Nevada County Government Center.

As a prominent employer and distinctive building within downtown Nevada City, the current courthouse is a focal point for the local business community. Because of this role, the local community requested that the economic implications of a potential courthouse relocation be considered as part of the alternatives analysis. For this purpose, Strategic Economics was engaged to evaluate the role of the existing courthouse within the Nevada City economy and how each of the potential options might impact economic activity within the city.

PROJECT APPROACH

Economic impact analyses often rely on complex economic models to measure the monetary value that new economic inputs contribute to a local economy. These models are structured to measure the impact of very large public investments, such as a new highway; and the impacts are typically reported for a relatively large geography, such as a county. Given that the courthouse replacement options do not represent a significant new input to the Nevada City economy, a standardized economic impact assessment model is not applicable to measuring the economic differences among the three courthouse replacement options. In addition, the three options represent the same development program, i.e., facility size and activities, and all three would retain these activities in Nevada City. Therefore, the most salient difference among the three options is their location. Options 1 and 2 would retain the courthouse in its historic location while Option 3 would entail moving the courthouse to a site in the vicinity of the Nevada County Government Center located on Maidu Avenue. While a specific site has not yet been selected, it is likely that any new location would be within approximately one mile of the existing courthouse and downtown. This distance would require about a five-minute drive to downtown, or an approximately 15-minute walk.

According to local stakeholders and key informants, the primary benefit to having the courthouse at its current location is the easy walk to downtown. Courthouse employees and visitors patronize many downtown businesses, especially during the time of day, days of the week, and seasons of the year when there are fewer tourists and other local visitors to downtown. Based on the economic relationship created by such proximity, this economic impact analysis focuses on the potential impact the three

replacement options would have on downtown Nevada City businesses as measure by retail sales activity.

Retail sales are the only quantifiable data available by business and location, although the data have some limitations in that they are not reported by time of day or day of week, only by month. To understand more specifically what impact the courthouse has on downtown businesses, Strategic Economics conducted a series of focus groups and stakeholder interviews. Participants were asked to estimate the “order of magnitude” percentage of their business represented by courthouse employees and visitors. Because different types of businesses had varying levels of support from the courthouse, the analysis has been structured to reflect these differences as well.

To help further calibrate the stakeholder estimates of the courthouse on their business, Strategic Economics gathered information from other studies, and used communities in California that have experienced similar courthouse relocations as case studies.

REPORT OVERVIEW

The economic impact analysis was conducted in four parts. First, Strategic Economics reviewed the existing Nevada City economy, analyzed trends in seasonal retail spending, identified the role of downtown Nevada City within the city’s economy, and described the real estate and business context within which the courthouse operates. In this analysis, quarterly sales tax collections data were used to identify the extent to which the courthouse may help balance downtown sales tax activity in a tourism-dependent economy. The second section presents the findings from the stakeholder meetings and interviews. As part of this analysis, stakeholders were asked to respond to a structured interview protocol and provide data about fluctuations in their businesses’ sales throughout the day by time of the week. Section three provides a summary of the literature review and case studies. Lastly, Strategic Economics combined the findings from the previous three sections into the economic impact analysis, based on a combination of the quantitative data related to downtown sales activity and business owner accounts related to how the court impacts their daily sales. which are also informed by other research topics o such as building vacancy, tourism, and pedestrian accessibility. However, the primary economic impact calculation focused exclusively on the quantitative data related to the courthouse’s impact on business sales.

PROJECT FINDINGS

The following key takeaways were revealed throughout the first three parts of analysis:

- The courthouse is an important economic generator for downtown Nevada City and helps balance business revenue, which fluctuates seasonally because of tourism, the other major economic generator for downtown.
- Downtown Nevada City is a vital part of the city’s identity, with its cultural district and historic district designations.
- The pandemic has resulted in the closure of some restaurant and retail establishments in downtown Nevada City, as well as reducing demand for office space.
- Based on their business accounts and anecdotal estimations, downtown restaurant owners estimated that approximately 15 percent of weekday restaurant sales are attributable to the courthouse, and nearly 11 percent of annual sales.
- A prominent concern among stakeholders in Nevada City and the comparison community of Sonora was the potential vacancy or re-use of the courthouse building in the event of a courthouse move. This was not a concern in the comparison community of Susanville, where

the old courthouse has been used by the County Government and is currently undergoing renovations.

- Lastly, the economic impact findings were as follows:
- The presence of the courthouse currently accounts for approximately \$2.4 million in annual sales for downtown Nevada City Businesses. These sales would be expected to be retained under Options 1 and 2.
- Moving the courthouse is projected to result in an estimated 8.4 percent reduction in sales for downtown Nevada City restaurants, and 6.3 percent of restaurant sales citywide. While it should be emphasized that this is an estimate, it could lead to significant economic impacts for the city.
 - More than 75 percent of Nevada City’s total restaurant sales come from downtown.
 - Restaurants make up around 17 percent of Nevada City’s total sales.
- In total, the direct economic impacts of a courthouse move would be nearly \$1.8 million in lost sales, or roughly 5.8 percent of all downtown sales.
 - While impacts of this scale would not decimate downtown businesses, they could further disrupt a market that has already faced challenges with the pandemic and the Great Recession. For example, approximately 40 percent of all downtown retail establishments closed in 2020 or 2021.
- These negative impacts could be substantially alleviated through successful redevelopment of the existing courthouse building, though the extent of this alleviation would depend on the type of building use.

NEVADA CITY ECONOMY

Nevada City was founded in the mid-19th century primarily as mining and logging community. But unlike many other Sierra foothill communities with similar origin stories, Nevada City was, and continues to be, the Nevada County seat. This role as the County’s administrative center has shaped Nevada City both economically and physically since the city’s earliest years, accounting for both its distinct economic base and exceptional built environment, which includes an extensive downtown historic district with most of the historic buildings still in use today. As the extractive industries that were essential to the city’s founding have declined, tourism has filled the economic vacuum. However, the county courthouse has remained an economic constant over the years, creating its own economic ecosystem located in downtown including other public agencies related to the courts, such as the district attorney’s offices, the juvenile probation office, many local law offices, and other related businesses. Courthouse-related economic activity and tourist traffic in Nevada City thus appear to complement each other—as local Nevada County residents provide weekday spending and visitors supply weekend spending to support downtown’s many shops, restaurants, cafés and other small businesses.

METHODOLOGY

To measure the significance of the courthouse to downtown economic activity, and the significance of downtown economic activity to the city as a whole, Strategic Economics examined several data sources. First, U.S. Census Bureau sources were utilized to identify trends in population growth and economic activity across industries in the city. Second, quarterly sales tax data from the California Department of Tax and Fee Administration (CDTFA) and HdL Companies (HdL) were examined to identify the spatial distribution of businesses in Nevada City, assess seasonal variation in economic activity, and identify the impact of the pandemic on Nevada City’s restaurants and retail

establishments. Though weekday data on sales fluctuations were not available, these seasonal variations help reveal the extent to which Nevada City's volatile tourism-based economy is balanced by institutions such as the courthouse. This was done by comparing Nevada City to Truckee—a nearby highly tourism-dependent city—and reference geographies of Nevada County and the state of California.

In addition, Strategic Economics compared economic activity within “downtown” to the rest of Nevada City. For purposes of this analysis, downtown has been defined as the Historic District boundary and four additional blocks extending from Broad Street to Main Street to the south of Cottage Street. These boundaries are displayed in Figures 1 and 2.

The economic analysis selected several different industries as focal points due to their prominence in Nevada City's economy and presumed connections to the activities of the Nevada City Courthouse. These selections were based upon delineations of the North American Industry Classification System (NAICS), which groups businesses into industries based on their common business activities. Prominent economic sectors driving downtown business activity include Public Administration, Accommodation and Food Services, Retail Trade, and Professional, Technical, and Scientific Services. Because of the size of Nevada City's population and the confidentiality requirements associated with economic data sources, it was not possible to provide highly detailed analysis of specific industries within each sector. However, identifying the trends at the sector level still provides meaningful insights into the role that the courthouse plays in the context of Nevada City's overall economy.

FINDINGS

Employment data indicates that Nevada City's economy has been growing more slowly and has recovered less fully from the 2008 recession than its peer communities in Nevada County. While the city's Professional, Scientific, and Technical Services sector (a sector which would include legal professionals) has grown since 2002, Nevada City has experienced significant declines in Manufacturing, Retail, and Public Administration employment. The first year of the pandemic exacerbated some of these challenges, as a significant number of retail and restaurant businesses in downtown Nevada City closed. In this context, Public Administration employment, including the jobs the courthouse provides, plays a critical role in the employment picture for downtown Nevada City and the community as a whole—as illustrated by Figures 3-13.

These figures make the following key points:

- Nevada City's population is growing more slowly than its Nevada County peers. While Grass Valley's population grew by nine percent between 2010 and 2020, Nevada City's population grew only by 2.7 percent. (Figure 3)
- As of 2019, Nevada City's overall employment had still not fully recovered from the 2008 recession.
 - Overall, employment in Nevada City declined by around 40 percent during the recession. The city's total employment in 2019 was 14 percent lower than employment in 2008. (Figure 4)
- Relative to the rest of Nevada County, Nevada City is highly reliant on Public Administration employment. However, employment in this sector has been declining over the past 20 years. (Figure 5)
- Employment in Public Administration likely plays an important role in stabilizing and diversifying Nevada City's economy. Nevada City appears to be less exclusively dependent on

tourism activity for its economic vitality than Truckee or other similar small historic communities, especially those located in the Sierra foothills.

- Seasonal variation in sales activity in Nevada City is larger than the California average—as would be expected for a tourism-based economy—but smaller than that of Truckee. In Truckee, there is a 56 percent difference between the highest and lowest sales quarters. In Nevada City, the difference is 35 percent. (Figure 6)
- The majority of retail establishments in Nevada City are clustered in two locations: downtown Nevada City and the Seven Hills commercial area on the southwest side of the city. (Figures 7 and 8).
- The pandemic put increased pressure on restaurants and stores in Nevada City’s downtown that had already been hard hit by the 2008 recession.
- However, the downtown businesses play a significant role in overall sales tax collection in the city.
 - Prior to the pandemic, downtown retail accounted for approximately 40 percent of all retail sales in Nevada City. However, since the pandemic began, this has dropped to around 20-30 percent. (Figure 9)
 - Around 75 percent of Nevada City’s restaurant sales tax is collected from establishments in the downtown area. (Figure 9)
 - The downtown lost approximately 40 percent of its retail establishments and 20 percent of its restaurants during the pandemic. (Figure 10)
 - Prior to the pandemic, restaurants in downtown accounted for approximately 25 percent of all taxable sales in Nevada City. Over the past year, this number has hovered around 15 percent. (Figure 11)
 - Downtown restaurants represent 75 percent of all restaurant sales in Nevada City, and downtown retail represents 25 percent of all retail sales in Nevada City. (Figure 12).
- The courthouse drives a significant portion of Downtown Nevada City’s employment, weekday visitors, and economic activity.
 - Based on estimates provided by the court, between 300 and 400 people visit the courthouse each day, including employees. This is significant relative to the total downtown Nevada City employment, which is approximately 580 people. (Figure 13)
 - According to the Nevada County Bar Association, approximately 40 of its 100 Bar Association members are located in Nevada City. Of these, around 50 percent are located in the downtown area in close proximity to the existing courthouse.¹

NEVADA CITY DOWNTOWN REAL ESTATE

Downtown Nevada City’s commercial real estate market includes mostly small one- and two-story buildings. Most ground-floor spaces are occupied by shops, restaurants, or cafes interspersed with a few office users. The majority of commercial buildings in downtown are owned by just a few owners, giving them an important role in determining the future health of downtown. In recent years, some of these owners have made significant investments in downtown—a positive sign of their continued commitment to downtown real estate. However, according to key informant interviews, many of these investments were made at least in part to support businesses who are in some way associated with the Nevada City courthouse. In addition, several property owners indicated that demand for office spaces in downtown has diminished most recently due to the pandemic, but that this is also the

¹ McFarlane, S. (2022). Nevada County Bar Association President. Information provided via email.

continuation of a trend that started with the 2008 recession. Challenges with currently vacant buildings were mentioned by many interviewees who were expressing concern about what might happen to the downtown real estate if the courthouse was to relocate to the Government Center.

Key findings from informant interviews that relate to downtown real estate were as follows:

- Many property owners have made significant recent investments in downtown, with the courthouse being an important reason why those investments were made.
 - The County Government has also made significant investments in downtown related to the courthouse by purchasing space for the District Attorney and Juvenile Probation offices which were previously in leased space.
 - The spaces that had been leased by the County were backfilled by two small nonprofits, although re-leasing this space took time.
- In some cases, vacant properties have not been filled with a similar use or adopted for another use.
 - The former Alpha Hardware building, which is being marketed as mixed-use, has been vacant since the 2008 recession.
- Key informants suggest that demand for office space has been limited by the pandemic, but that housing is in high demand.
- Downtown's historic architecture is considered an important part of the real estate value for downtown.
 - The historic National Hotel was recently renovated and re-opened along Broad Street.
 - Nevada City and Grass Valley were recently designate as a California Cultural District, due in part to historic architecture in the downtown.
- Although not located in downtown, the long-vacant HEW building, was cited several times as an example of the real estate challenge facing vacant commercial buildings in the city. This former hospital was owned by Nevada County then sold to a developer. However, the developer has been unable to make a project work on the site given the build demolition costs which include disposing of asbestos.

OVERALL ECONOMIC AND REAL ESTATE FINDINGS

Tourism, arts & culture, and the courthouse and its related ecosystem form a relatively balanced economic base for Nevada City, enabling it to attract business from both visitors and County residents across different times of the day, days of the week, and seasons of the year. While there is no indication that Nevada City's downtown economy would collapse if the courthouse was to relocate, the relocation might make the city's downtown less diverse in its customer base and less resilient in the face of future recessions.

Key findings from Nevada City's economic context are as follows:

- The courthouse provides economic contributions to Nevada City that are not impacted by seasonal variations in tourism activity.
 - Nevada City's economy is much more dependent on Public Administration employment than the remainder of Nevada County.
 - Several property owners have made significant investments in downtown Nevada City. These property owners expressed that the courthouse is crucial to the vitality of downtown and that proximity to the courthouse is sometimes a factor in real estate decisions.

- Nevada City’s economy is primarily driven by tourism, and experiences seasonal variations in business activity. However, due at least in part to the courthouse, Nevada City’s business activity does not vary as significantly as it does for other cities in Nevada County with an economic base that is more heavily dependent on tourism.
- Nevada City’s downtown lost a significant number of retail establishments during the pandemic, and downtown Nevada City’s retail has weakened in comparison to the rest of the city.
- The pandemic also diminished demand for office spaces in the city, and there is some concern among local stakeholders about currently vacant buildings that have been unable to be filled.
- At the same time, the majority of Nevada City’s restaurant activity is still taking place in downtown, and demand for these restaurants is rebounding from its pandemic induced low point.

FIGURE 1: OVERVIEW OF NEVADA CITY, DOWNTOWN STUDY AREA, AND COUNTY ADMINISTRATIVE OFFICES



FIGURE 2: DETAILED VIEW OF DOWNTOWN NEVADA CITY, WITH COURTHOUSE AND RETAIL BUILDINGS

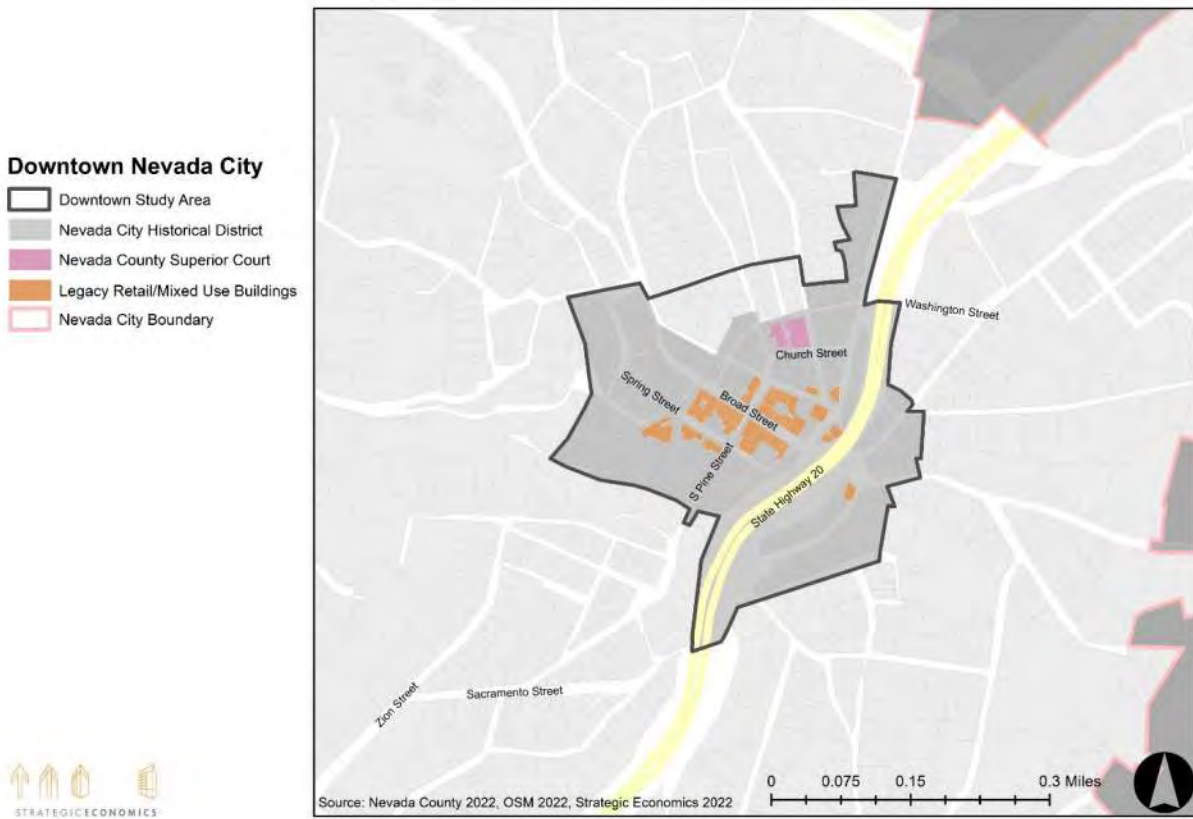
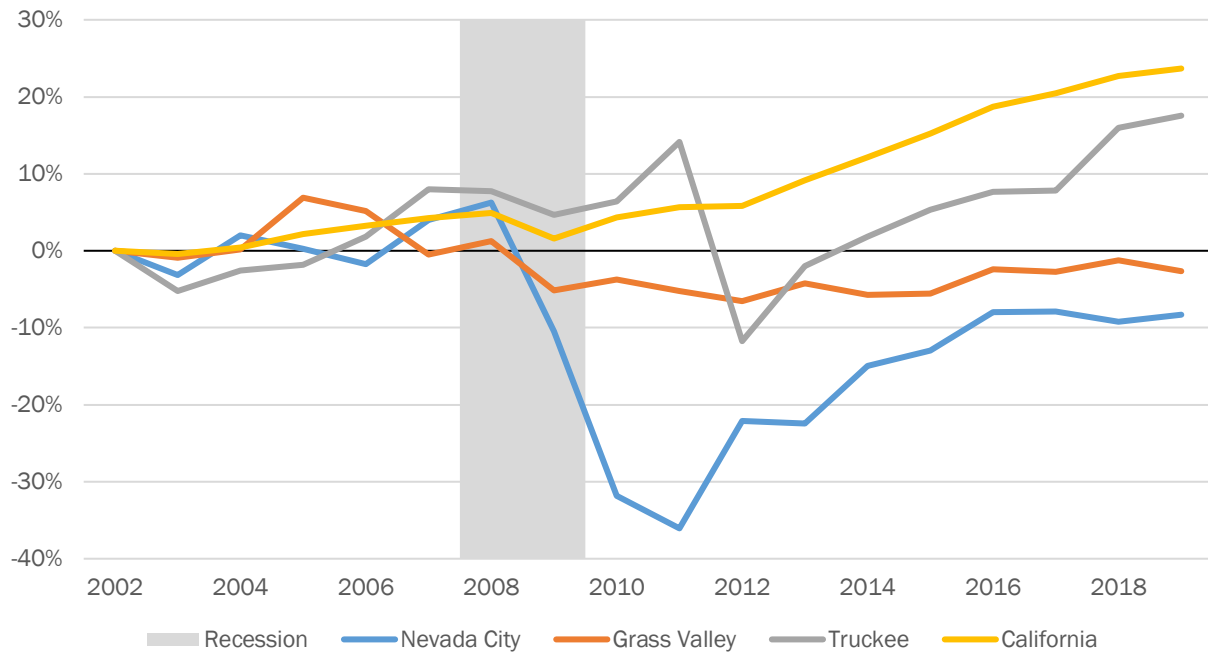


FIGURE 3: POPULATION TRENDS IN NEVADA CITY VS. NEVADA COUNTY AND OTHER COMMUNITIES

	2010	2020	Growth Rate
Nevada City	3,068	3,152	2.7%
Grass Valley	12,860	14,016	9.0%
Truckee	16,180	16,729	3.4%
Nevada County	98,764	102,241	3.5%

Source: U.S. Census Bureau (2010-2020). Decennial Census and Redistricting Data

FIGURE 4: CUMULATIVE CHANGE IN EMPLOYMENT (PRIMARY JOBS) SINCE 2002, SELECTED REGIONS



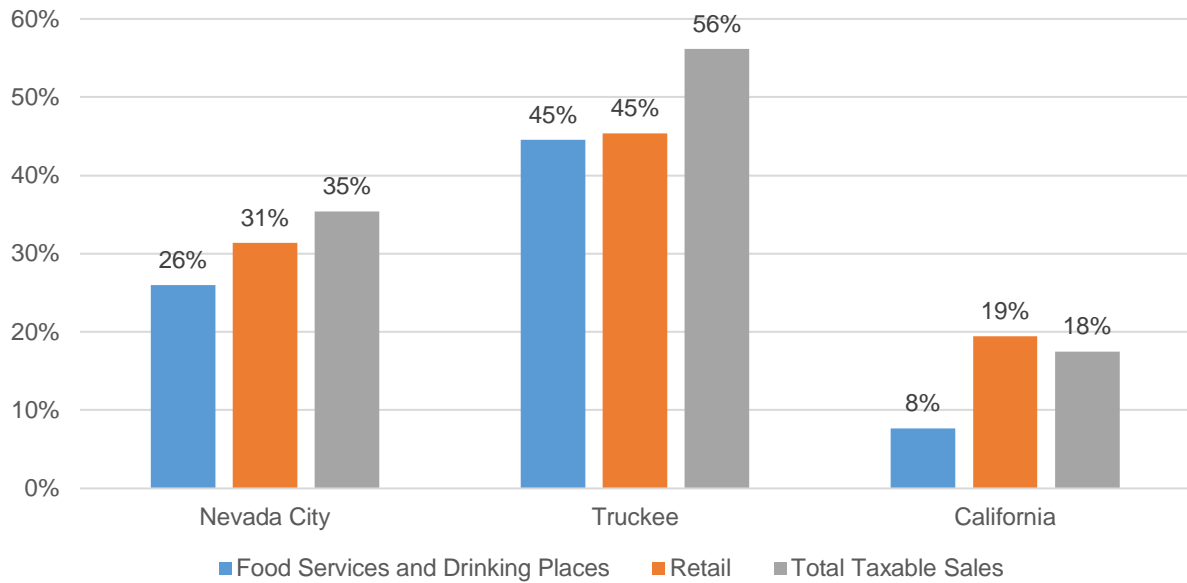
Source: U.S. Census Bureau (2019). LEHD OnTheMap Employment Data.

FIGURE 5: EMPLOYMENT SECTORS IN NEVADA CITY WITH 100 OR MORE EMPLOYEES

	Nevada City Jobs		Percent Change	Share of Nevada City Jobs	Distribution in Nevada County
	2002	2019			
Manufacturing	506	118	-77%	4%	5%
Retail Trade	345	278	-19%	8%	11%
Professional, Scientific, and Technical Services	120	286	138%	9%	5%
Educational Services	334	536	60%	16%	10%
Health Care and Social Assistance	246	202	-18%	6%	17%
Accommodation and Food Services	417	485	16%	14%	10%
Other Services	137	149	9%	4%	6%
Public Administration	863	719	-17%	21%	6%
All Jobs	3,658	3,354	-8%	100%	100%

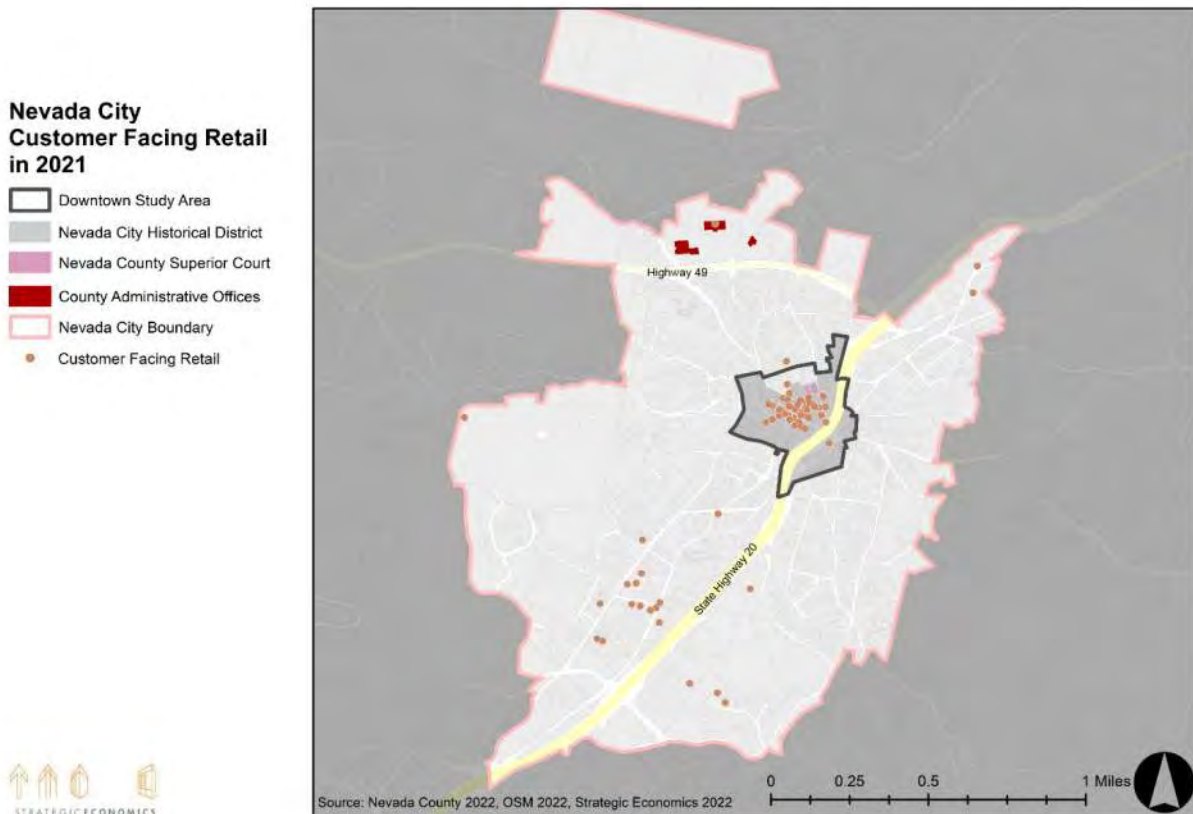
Source: U.S. Census Bureau (2019). LEHD OnTheMap Employment Data.

FIGURE 6: DIFFERENCE IN AVERAGE SALES BETWEEN HIGHEST AND LOWEST QUARTER, BY INDUSTRY AND LOCATION



Note: Chart displays difference between quarterly average and annual average sales for each industry from 2015-2021. Source: California Department of Tax and Fee Administration (2022). Taxable Sales Data.; Strategic Economics (2022).

FIGURE 7: NEVADA CITY CUSTOMER FACING RETAIL, 2021



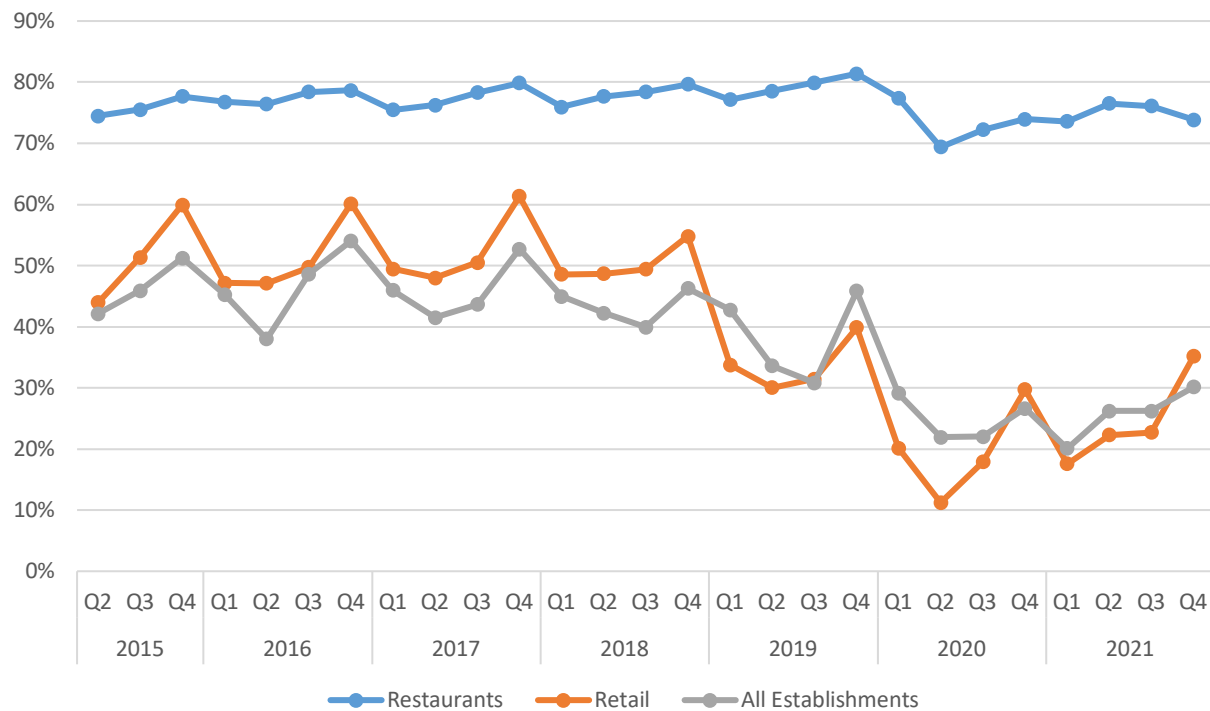
Source: HdL (2022), Strategic Economics (2022)

FIGURE 8: PERCENTAGE OF NEVADA CITY ESTABLISHMENTS LOCATED IN DOWNTOWN, BY TYPE OF ESTABLISHMENT

	2015	2016	2017	2018	2019	2020	2021
Restaurants	79%	78%	80%	78%	80%	79%	76%
Retail	60%	61%	63%	64%	66%	59%	64%
Others with Taxable Sales	34%	35%	30%	34%	31%	33%	29%
Total with Taxable Sales	55%	55%	55%	55%	55%	51%	50%

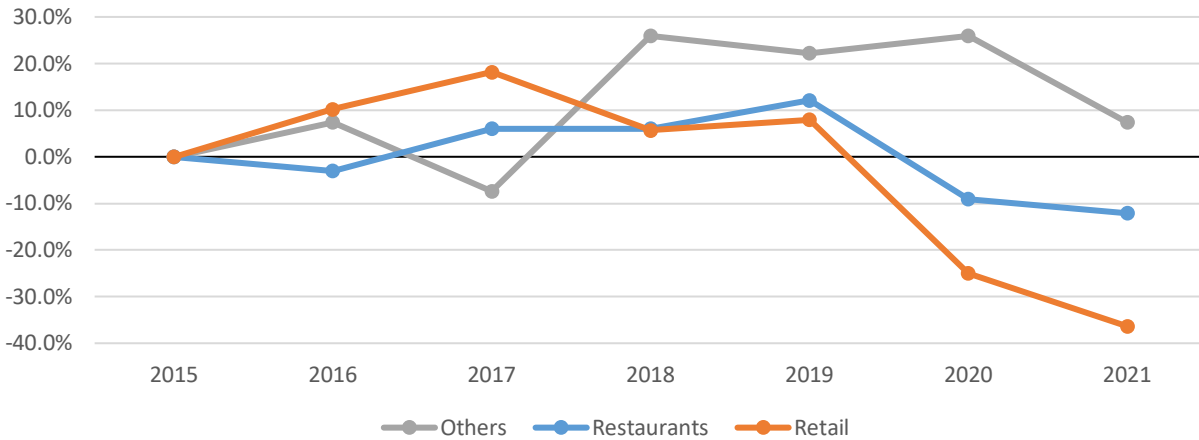
Source: HdL (2022), Strategic Economics (2022)

FIGURE 9: PERCENTAGE OF RESTAURANT, RETAIL, AND OVERALL SALES TAX COLLECTED IN DOWNTOWN



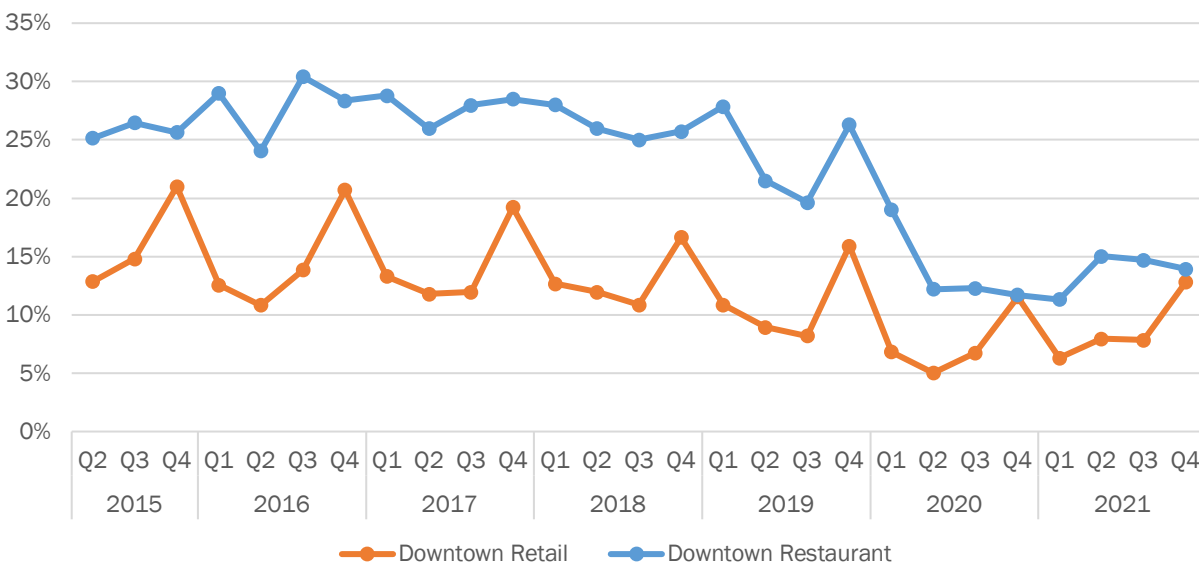
Source: HdL (2022), Strategic Economics (2022)

FIGURE 10: CUMULATIVE CHANGE IN ESTABLISHMENTS IN DOWNTOWN NEVADA CITY, BY TYPE, 2015-2021



Source: HdL (2022), Strategic Economics (2022)

FIGURE 11: DOWNTOWN ESTABLISHMENTS' SHARE OF TOTAL NEVADA CITY SALES TAX COLLECTIONS



Source: HdL (2022), Strategic Economics (2022)

FIGURE 12: TOTAL SALES IN NEVADA CITY IN 2021, BY LOCATION AND INDUSTRY

	Downtown Only		Nevada City Total		Downtown Share of Industry Total
	Sales in Industry	Share of Downtown	Sales in Industry	Share of Nevada City	
Restaurant	\$14,564,975	47%	\$19,380,804	17%	75%
Retail	\$9,262,184	30%	\$37,428,080	34%	25%
Other	\$6,909,609	22%	\$54,231,206	49%	13%
All Industries	\$30,736,768	100%	\$111,040,090	100%	28%

Note: Total sales were converted from taxable sales using the percentage of sales estimated to be taxable, as established by previous Strategic Economics research.

Source: HdL, (2022); Strategic Economics, (2022).

FIGURE 13: SUMMARY OF COURTHOUSE EMPLOYMENT AND VISITORS IN COMPARISON TO DOWNTOWN EMPLOYMENT

	Estimate
Downtown Employees, Public Administration	105-120
Courthouse Employees ¹	47
Other County Employees in Downtown ²	60-70
Courthouse Visitors per Day, including Public Employees ¹	300-400

Sources:

1. Estimate provided by Jason Galkin, Nevada County Court Executive Officer. 2022.
2. Rough estimate of downtown County employees provided by the County Executive. 2022.

I. Stakeholder Engagement

NEVADA CITY STAKEHOLDERS

The analysis of sales tax data and economic trends in the previous section provides important context about the role of the Nevada City courthouse in comparison to the rest of the Nevada City economy. However, these economic trends do not provide the details and nuance needed to fully measure the ways in which courthouse activity impacts businesses within Nevada City. For this reason, interviews and focus groups were conducted with key members of the Nevada City business and leadership community. Over the course of two weeks, Strategic Economics conducted 14 interviews and one focus group (with three participants) to ask local stakeholders about how the courthouse impacts businesses currently and how a relocation of the courthouse could impact Nevada City, both positively and negatively. The number of community members engaged, by category, is presented in Figure 14.

FIGURE 14: NUMBER OF NEVADA CITY STAKEHOLDERS ENGAGED, BY CATEGORY

Stakeholder Group	# of Individuals Engaged	Method
Restaurants	4	Interviews
Retail	3	Focus Group
Legal Professionals	5	Interviews
Other Stakeholders: Property Owners, Accommodations, Chamber of Commerce, and Arts Council Leaders	5	Interviews

In order to facilitate these conversations consistently, Strategic Economics developed a structured interview protocol that was followed sequentially. This protocol was designed to gauge the economic impact of the courthouse using a series of questions about fluctuations in business sales, the components of business customer bases, the proportion of sales that could be directly attributed to the courthouse, and the expected impacts on these sales of a courthouse move. Non-business owner interviewees were also asked about their personal spending patterns in downtown Nevada City, and how the extent to which a courthouse move would impact that spending. Interviews and focus groups were also used to gain qualitative input on the perspectives of stakeholders towards the role that the courthouse plays in downtown Nevada City. These interviews were not intended to be a comprehensive survey of all downtown stakeholders, but rather to provide a range of inputs that could be used as context for economic impact calculations.

The findings from these interviews and the focus group are presented in Figures 17-20, which can be found in the Appendix. In addition, the Nevada County Bar Association conducted a simple three question survey to gather legal professionals' opinions about the potential relocation of the Nevada City courthouse. Though this survey was not part of Strategic Economics' formal research process, and it lacked context for the location of respondents within Nevada County, it does provide some perspective on the opinions of the broader legal community. Some findings from this survey are presented in Figures 21 and 22, which are also in the Appendix.

Between these two research processes, key findings were as follows:

- In general, local stakeholders indicated that the pandemic took a toll on businesses in downtown Nevada City, but that economic activity has since returned to pre-pandemic levels.
- Some stakeholders indicated that there have been slight demographic shifts during the pandemic, but that overall, the demographics of the community tend toward more older retirees than the average community. This can limit the economic diversity of the community.
- Restaurant and retail revenues fluctuate significantly between peak tourism seasons and the remainder of the year. Stakeholders view the courthouse as a stabilizing presence that helps maintain revenue on weekdays and in slow tourism seasons.
- Business owners estimated that local customers account for approximately 50 percent of retail spending in downtown Nevada City, and approximately 70 percent of restaurant spending in downtown Nevada City.
- Business owners provided a range of estimates for the proportion of sales directly attributable to the courthouse, based on evidence such as daily sales fluctuations, and estimates of customer counts attributable to the courthouse. Median estimates were that approximately 15 percent of weekday restaurant sales are attributable to the courthouse, and nearly 11 percent of annual sales.
 - Though not all of these sales would disappear if the courthouse relocated, restaurant owners projected that approximately 80 percent of these sales would not continue. As a result, downtown restaurants would lose approximately 8.5 percent of their total sales.
- Retail owners were more hesitant to estimate the portion of their sales that are attributable to the courthouse but indicated that the presence of the courthouse is vital to their businesses.
 - These owners also indicated that because so many Nevada County residents serve as jurors at the downtown courthouse, more local county residents are introduced to downtown as a good place to dine or shop and return in the future to engage in these activities.
- Legal professionals in Nevada City indicated that the impact of the courthouse being downtown tends to be primarily convenience related, rather than core to their business model.
 - According to a countywide survey of legal professionals, there is a strong preference among respondents for having amenities within walking distance of the courthouse. Approximately 50 percent indicated that moving the courthouse would have at least a moderate economic or convenience impact on their business.
- Of all the interviewees, the restaurateurs expressed the highest levels of concern related to impacts of the move on their businesses.
 - Other interviewees generally preferred options that would keep the courthouse downtown but did not have as strong of preferences.
- A prominent concern among stakeholders was the potential vacancy or re-use of the courthouse building in the event of a courthouse move.

- Many interviewees expressed skepticism about the possibility of building re-use, but some were enthusiastic about the opportunities that a revitalized building could present for downtown Nevada City.
- Stakeholders provided a variety of additional qualitative feedback related to the aesthetic value of the building, the difficulty of walking downtown from the County Government Center, and parking availability in Nevada City.

II. Courthouse Relocation Impacts in Other Communities

The stakeholder engagement findings presented above represent the views and opinions of members of the Nevada City business and leadership community regarding the potential impacts of a courthouse relocation on their community. While these perspectives form the core inputs for comparison of the courthouse scenarios, they are not the only insights that are important to consider. In order to gain perspective from other communities that have experienced courthouse or government building relocations, Strategic Economics conducted a literature review and conducted interviews with peer communities in California. This research provided insights on how actual relocations have impacted communities and helped in identify which factors might be the most important for determining whether a courthouse move has positive or negative impacts.

LITERATURE REVIEW

Research on the impacts of courthouses on small city downtowns is very limited, but the available evidence lends at least some support to the idea that government buildings play an important economic role for small town economies. For example, a 2008 study of rural small towns concluded that county seats had improved quality of life and were more resistant to economic shocks.² Similarly, a 2005 study in Wisconsin found that county seats had 8.4 percent more businesses in their downtowns than similar communities with no county offices.³ The primary industries impacted were Professional, Technical, and Scientific Services; Education, Healthcare, and Social Assistance; and Traveler Accommodations.

Anecdotally, the evidence is mixed. A 2003 Planning Commissioners Journal article provides several examples of the connection between locations of public buildings like courthouses and downtown business activity, concluding that “when they leave, the fabric knitting downtown together can start to unravel.”⁴ On the other hand, the California First District Court of Appeal held that urban decay is not a reasonably foreseeable indirect effect of a courthouse relocation when considering the case of Placerville, CA. They found that the court was not critical to the downtown’s health, the building was likely to be re-used, and there was no significant factual evidence to support the idea that moving the

² Besser, T. L., Recker, N., & Agnitsch, K. (2008). The Impact of Economic Shocks on Quality of Life and Social Capital in Small Towns. *Rural Sociology*. 73(4): 580-604.

³ Zigelbauer, R., Ryan, B., & Grabow, S. (2005). The Importance of Government Facilities in Downtowns: An Analysis of Business Establishments in Wisconsin’s County Seats. University of Wisconsin-Extension.

⁴ Langdon, P. (2003). Public Buildings Keep Town Centers Alive. *Planning Commissioners Journal*. 49: 1-7.

(footnote continued)

courthouse would result in such an extreme result as urban decay.⁵ Taken together, these two studies suggest that the magnitude of any negative economic impact associated with a courthouse relocation hinges on whether the courthouse building is reused for some other purpose.

COURTHOUSE CASE STUDIES

In collaboration with the Judicial Council of California, Strategic Economic identified a variety of potential comparison communities throughout the state with recent courthouse relocations. Based on population size, courthouse size, characteristics of the move, and stakeholder interviewee availability, Strategic Economics narrowed this list down to two comparison communities on which to conduct case studies regarding the economic impact of the relocation. These communities were Sonora and Susanville, CA. The corresponding analysis included an interview with representatives of each community's chamber of commerce, review of news articles about the moves, and analysis of zoning and business presence adjacent to the old and new courthouse locations. The profiles of these communities provide some evidence that courthouse relocations can be completed successfully without significant economic disruption, but also point to some distinct ways in which Nevada City could be challenged by a courthouse relocation.

The city of Sonora, in Tuolumne County, has approximately 5,000 residents and is located about an hour's drive east of Stockton. Its courthouse, which employs around 55 people, relocated in November of 2021 from two separate buildings in Sonora's downtown. These buildings were approximately one block apart and were both located in close proximity to the main commercial corridor in downtown Sonora. The new courthouse location is in a Justice Center Campus on the outskirts of town, adjacent to Highway 109, Walmart, and Lowe's. Overall, the courthouse moved around 1.9 miles, and went from a walkable downtown area to a car-dependent highway location.

Susanville, California's courthouse relocated in 2012. Susanville is the county seat of Lassen County and has approximately 17,000 residents. While its original courthouse was located in the historic downtown, the courthouse was in a primarily residential area, not the town's commercial core. The courthouse moved to the east side of town but is not much further than the original courthouse was from the primary east-west commercial corridor in Susanville. As with the case of Sonora, the new Susanville courthouse is in a car-centric development area and is located across the street from a Walmart. The driving distance between the old facility and the current courthouse is approximately 1.6 miles. In addition, the Susanville courthouse has fewer employees than the Nevada City and Sonora courthouses, with approximately 30 in total.

The opinions of key stakeholders in each city reflected some differences in the characteristics of each courthouse move. These findings are shown in Figure 15. In Susanville, the business community representative indicated that the move had an overall neutral or positive impact. They described the new courthouse as a nicer building, in closer proximity to the Social Security Office in Susanville. They also emphasized that the original courthouse was not serving local businesses due to its location in a residential area of downtown. In addition, they described the old courthouse as currently undergoing renovations, with plans to repurpose it as a county government facility. In contrast, the Sonora representative was moderately concerned about the implications of their courthouse move for local

⁵ Coon, A. (2017). Keeping CEQA In its Lane: First District Holds Substantial Evidence Supports EIR's Conclusion that "Urban Decay" Is Not Reasonably Foreseeable Indirect Effect of Project Relocating Trial Court Operations from Historic Placerville Courthouse. CEQADevelopments.com. Note: the court's ruling did not address whether economic or social impacts would occur, only whether the relocation of the court would lead to physical changes to the urban environment, or "urban decay."

businesses but described the situation as too early to tell what the results would be. Unlike Susanville, they indicated that their economy is tourism-oriented, and that community members are concerned about a potentially vacant courthouse that has historic significance. In addition, they mentioned that several law offices have moved to the new location or are planning to move.

Overall, the case studies and literature review led to the following key findings:

- Downtown courthouses and government institutions can have a significant impact on of businesses in small towns. Government employment can boost downtown business counts and increase a town’s economic diversity.
 - However, the extent of this impact varies depending on the location of the courthouse and the economic circumstances of each community.
- Potential building vacancy is a prominent concern of stakeholders in both Sonora and Nevada City. It is not a concern in Susanville, where county staff has occupied some portions of the courthouse since the move, and the courthouse is currently undergoing full renovations.
 - In Sonora, stakeholders are also concerned about downtown office vacancy, due to the departure of several law firms.
 - In Susanville, it is worth noting that the renovation process did not begin until 7 years after the initial courthouse relocation. However, it is possible this would have happened sooner if the old facility was not being used by county staff.

FIGURE 15: CASE STUDY COMPARISONS - INTERVIEW FINDINGS

Topic	Sonora, CA	Susanville, CA
Overall Impact	Too early to tell	Neutral or positive impact
Existing Downtown Business Mix	Tourism oriented: restaurants & boutiques	Local resident serving: offices, gyms, hair salons, gunsmiths
Impact on Businesses	Moderate concern; unsure what impacts will be	No impacts
Positive Effects	More parking downtown, but not being used by customers	New building is nicer. Proximity to social security office
Law Office Moves	Several law offices have already or will move	No relocations
Re-Use of Site	Courthouse is vacant; community concerned about use of historic building	Undergoing renovations; planned occupancy by County Government

III. Economic Impact Analysis

ECONOMIC IMPACT ANALYSIS APPROACH

The courthouse makes two primary economic contributions to the Nevada City economy. The first economic contributions are the jobs created by the courts themselves, the County services related to the courts, and the jobs created by law offices and other related legal service businesses currently

located in Nevada City. However, because all three options for replacing the courthouse would still be located in Nevada City, the employment impacts associated with replacement would be negligible.

Therefore, this economic impact analysis focuses on the courthouse's other primary economic contribution, which is from the dollars spent in the local economy by people associated in one way or another with the courthouse. A traditional economic impact analysis would break these dollars down into the direct impact from the courthouse in terms of local goods and services purchased, as well as the indirect impact that comes from people spending their salaries locally, as well as from visitors or others coming to town specifically because the courthouse is there. This is also known as "the multiplier effect." While there are economic models that calculate the indirect economic impact associated with direct dollar expenditures, these models are notoriously general, and are not well-suited for analyzing economic impacts in very small communities like Nevada City.

Instead, this economic impact analysis relies on a combination of sales tax data, which is the most readily available quantitative measure of economic activity, and input from local stakeholders, as well as being informed by the literature review and case studies. The analysis also focuses primarily on the sales tax impacts that the courthouse relocation option would have on downtown, since the courthouse is currently located in downtown, and from an economic perspective, the biggest potential economic impact would come from moving the courthouse out of downtown.

To begin this analysis, Strategic Economics first estimated total sales by industry within Downtown Nevada City and within the city as a whole. This calculation relied upon detailed sales tax collections data from HdL, in combination with estimates of the percentage of sales within each detailed industry that are typically taxable based on previous research from Strategic Economics. These findings were shown in Figure 12.

Strategic Economics then used input from restaurants, retail, legal professional, and accommodations industry businesses to estimate the expected share of business sales in downtown Nevada City that would be impacted by a courthouse relocation. These individuals provided a range of estimates for the share of sales directly attributable to the courthouse, based on evidence such as daily sales fluctuations, estimates of customer counts attributable to the courthouse, and—in the case of legal professionals—their own individual spending patterns in the community. Results from this variety of sources were then blended together by Strategic Economics to ascertain an appropriate median estimate for the percentage of sales in each industry attributable to the court, and percentage of those sales expected to be lost in the event of a court relocation. These results were used as assumption in Figure 16.

The primary reason for expected losses in sales, as described by many stakeholders, was that the new courthouse location is not close enough or accessible enough to facilitate easy and safe walking between the courthouse and downtown. In addition, stakeholders expressed that both time for lunch and downtown parking options are limited in Nevada City. Therefore, if jurors or legal professionals at the courthouse have to get in their car and drive to someplace to shop or get lunch, they may either skip the trip, or drive someplace else, such as Grass Valley to eat or shop. This lunch-based dynamic helps explain why forecasted sales losses were expected to be higher for restaurants than for businesses in other industries.

These expected changes were then compared to current sales tax data in order to estimate total sales impacts for downtown businesses. Sales impacts relate only to businesses in downtown Nevada City, because it is not expected that a move would cause any impact on the remainder of Nevada City businesses. This calculation assumes that any additional sales to non-downtown businesses due to

new-found proximity would likely be offset by losses in sales to neighboring jurisdictions, such as Grass Valley. Expected impacts on downtown sales were then measured against overall sales in Nevada City to establish the percentage of overall sales in both downtown and the city that could be impacted by a courthouse move.

In addition, research conducted by Strategic Economics identified impacts of each courthouse alternative on other economic factors, such as tourism revenue, downtown vacancy and land use, and transportation accessibility. These potential implications were all important concerns discussed in stakeholder engagement and comparison case studies. While these findings did not inform the economic impact estimation, results for each of these topics are presented in the further implications section that follows the economic impact findings.

GENERAL ECONOMIC IMPACT ANALYSIS FINDINGS

Overall, a potential courthouse move would have the most significantly impact the downtown restaurant sector of Nevada City. Within this sector, the courthouse currently accounts for approximately 11 percent of downtown sales—or approximately \$1.5 million. Moving the courthouse would be expected to result in a loss of approximately 8.4 percent of total sales—or approximately \$1.2 million. Since the majority of Nevada City’s restaurant activity occurs in downtown Nevada City, this \$1.2 million also translates to around 6.3 percent of Nevada City’s total restaurant sales.

In addition, moving the courthouse would result in ripple effects for retail and other industries in the downtown area. These impacts are described in Figure 16. In total, the direct economic impacts of a courthouse move would be nearly \$1.8 million in lost sales, roughly 5.8 percent of all downtown sales. This also equates to 1.6 percent of total Nevada City sales, as shown in Figure 16. While this figure may seem relatively manageable, it may make it even more difficult for Nevada City to maintain a thriving downtown. Recall that downtown Nevada City lost a significant proportion of its restaurant and retail establishments during the pandemic, and that business activity within these industries is highly seasonal. If downtown businesses were to lose a significant portion of their non-tourist revenue, these impacts could trigger a continued slow decline in the number of businesses downtown. Such a result would have implications for downtown rents and property values over a longer period of time.

FIGURE 16: ANNUAL ECONOMIC IMPACT OF COURTHOUSE RELOCATION ON DOWNTOWN NEVADA CITY SALES (IN 2021 DOLLARS)

	Downtown Restaurant	Downtown Retail	Downtown, All Other	Downtown, Total
Current				
Estimated Total Sales in 2021	\$14,564,975	\$9,262,184	\$6,909,609	\$30,736,768
<u>Courthouse Share of Sales</u>	<u>10.5%</u>	<u>7.5%</u>	<u>2.5%</u>	<u>7.8%</u>
Total Courthouse Share of Sales	\$1,529,322	\$694,664	\$172,740	\$2,396,726
In Event of Courthouse Relocation				
<u>Est. Decrease among Courthouse Share of Sales</u>	<u>80%</u>	<u>70%</u>	<u>50%</u>	<u>75%</u>
Total Estimated Sales Decrease	\$1,223,458	\$486,265	\$86,370	\$1,796,093
Sales Decrease, as Share of Downtown Sales	8.4%	5.3%	1.3%	5.8%
Sales Decrease, as Share of Nevada City Sales	6.3%	1.3%	0.2%	1.6%

Source: HdL, (2022); Strategic Economics, (2022).

FURTHER IMPLICATIONS

Concerns about knock-on effects of a courthouse relocation were prevalent among both case study participants and local stakeholders in Nevada City. For example, some stakeholders discussed the value of the existing courthouse façade in the context of Nevada City’s historic downtown architecture—indicating that the current building is part of the draw for tourists to the city. In addition, downtown building vacancy was a prominent concern among local stakeholders, as well as for one of the two courthouse relocation case study communities. Depending on the outcome for the existing courthouse building, these factors could combine to dampen the draw for downtown tourists.

Other prominent concerns of local stakeholders included the retention of professional staff in downtown Nevada City and retention of easy pedestrian access between the courthouse and downtown businesses. Many stakeholders mentioned the difficulty of travel between the current County Government Center and downtown businesses, citing concerns about pedestrian safety and the inconvenience of driving and parking downtown. From a professional staff perspective, the presence of the courthouse plays a role in diversifying economic activity in downtown Nevada City. Its visitors help to balance business revenue throughout the year and help to prevent Nevada City from being entirely dependent upon tourism traffic. This was demonstrated in the quarterly sales comparisons in Figure 6—which showed that Nevada City’s seasonal fluctuations are much more moderate than those exhibited by Truckee’s economy.

OVERALL FINDINGS AND IMPLICATIONS

This economic impact analysis leads to the following set of key findings and overall implications for Nevada City

- Moving the courthouse is projected to result in an estimated 8.4 percent reduction in sales for downtown Nevada City restaurants, and 6.3 percent of restaurant sales citywide. While it should be emphasized that this is an estimate, it could lead to significant economic impacts for the city.
 - More than 75 percent of Nevada City’s total restaurant sales come from downtown.
 - Restaurants make up around 17 percent of Nevada City’s total sales.
- In total, the direct economic impacts of a courthouse move would be nearly \$1.8 million in lost sales, or roughly 5.8 percent of all downtown sales.
 - While impacts of this scale would not decimate downtown businesses, they could further disrupt a market that has already faced challenges with the pandemic and the Great Recession. For example, approximately 40 percent of all downtown retail establishments were lost in 2020 and 2021.
- Moving the courthouse would have additional negative implications for tourism, building vacancy, and transportation patterns as well.

ECONOMIC IMPACTS BY REPLACEMENT OPTION

OPTION 1 - RENOVATE THE EXISTING COURTHOUSE FACILITY

Strategic Economics estimates Option 1 would continue to support approximately 7.8 percent of downtown business activity (\$2.4 million).

By combining the preservation of the existing art-deco façade with a renewed institutional commitment to downtown Nevada City, Option 1 would have a net-neutral on downtown. This option retains the spatial relationship between the courthouse and downtown so that people could continue to easily move back and forth between the two. In addition, the building would retain its historic character, thus continuing to contribute to the historic district and providing a visual anchor to the Cultural District.

OPTION 2 - REPLACE THE EXISTING COURTHOUSE FACILITY WITH A NEW COURTHOUSE ON THE SAME SITE

Strategic Economics estimates that Option 2 would support approximately 7.8 percent of downtown business activity (\$2.4 million) and that any diminution in tourism activity due to demolition of the historic courthouse would be minimal.

The economic impact of replacing the historic courthouse with a new modern facility is unclear. This option retains the key spatial relationship between the courthouse and downtown, enabling people to continue to walk back and forth from the court to local businesses, so it is assumed that there would be no change in the economic support that courthouse-related activities contribute to downtown businesses. However, some local stakeholders are concerned that removing the historic facade would detract from the integrity of the historic district, and thus create a decline in tourism activity and related expenditures. However, these factors are not included as sources of economic benefit from courthouses as described in case studies and the economic literature. Instead, the literature focuses on the benefits that institutional employment presences can provide to downtown, without reference to historic character or associated connections to tourism-related activity. Therefore, this analysis assumes that there would be no difference in the economic impacts between Option 1 and Option 2.

OPTION 3 – CONSTRUCT A NEW FACILITY ON A DIFFERENT SITE

Strategic Economics found that Option 3 could result in an approximately 5.8 percent (\$1.8 million) decline in downtown economic activity.

In the event of a courthouse relocation, it is expected that the majority of courthouse-related sales at many downtown businesses would be eliminated or significantly reduced because the new courthouse location is not close enough to downtown to facilitate the easy walking distance between the courthouse and downtown. Therefore, if jurors or others who use the courthouse have to get in their car and drive to someplace to shop or get lunch, they may either skip the trip, or could drive anywhere including Grass Valley to eat or shop. While this decline in weekday sales activity may appear relatively small as a percentage of total sales, according to local businesses, this amount is sufficient to provide a stabilizing presence to downtown businesses during seasons of slow tourism traffic. Due to the lack of commercial sites or zoning in proximity to the proposed new courthouse site, it is not expected that these downtown sales losses would be offset by economic gains in other parts of Nevada City.

These negative impacts could potentially be substantially alleviated through successful redevelopment of the existing courthouse building. The exact value of such redevelopment would depend on the type of building use, as different uses might contribute more or less to downtown Nevada City's economy.

Appendix: Summary of Findings from Interviews and Survey

FIGURE 17: SUMMARY OF INPUT FROM RESTAURANT OWNERS/MANAGERS

Topic	Input
Nevada City Economic Trends	<ul style="list-style-type: none"> Suggested that the pandemic was initially difficult for restaurants, but business has rebounded to at or above pre-pandemic levels. Two interviewees expressed that housing is an issue in the area.
Current Economic Impact of Courthouse	<ul style="list-style-type: none"> Interviewees expressed that locals account for the majority of weekday revenue, and approximately 70 percent of year-round revenue. However, summer and Christmas are the busiest seasons due to extra tourism traffic Depending on the restaurant, interviewees estimated that the courthouse accounts for between five and 25 percent of total revenue, with a median estimate of around 11 percent.
Impacts of Move	<ul style="list-style-type: none"> Interviewees estimated that they would lose 5-10 percent of their sales if the courthouse moved, with one interviewee estimating as high as 25 percent. Expressed that jurors and employees would be less likely to eat lunch downtown, because they would have to drive back and forth.
Considerations in Event of Move	<ul style="list-style-type: none"> Two interviewees supported the idea of extending the courthouse lunch break, or providing a shuttle to allow for traffic back and forth between downtown and the court over lunch. Several interviewees mentioned concerns about downtown parking, but opinions were mixed about the extent to which changes to the court would improve this situation.
Overall Preferences	<ul style="list-style-type: none"> Interviewees strongly preferred that the courthouse stay downtown. One interviewee expressed appreciation for the historic character of the building.

Source: Stakeholder Interviews. (2022). Conducted by Strategic Economics

FIGURE 18: SUMMARY OF INPUT FROM RETAIL OWNERS/MANAGERS

Topic	Input
Nevada City Economic Trends	<ul style="list-style-type: none"> Focus Group participants expressed that business was stagnant prior to the pandemic, and that retail is still recovering from the pandemic.
Current Economic Impact of Courthouse	<ul style="list-style-type: none"> Participants estimated that locals account for between 35 percent and 60 percent of total sales, but that summer and holiday seasons are the busiest. Participants were not sure exactly what proportion of sales come from visitors to the court, but described it as good for business Participants said that the courthouse was helpful for increasing exposure and developing repeat customers
Impacts of Move	<ul style="list-style-type: none"> Participants expressed that the impact of the court moving would be “dire,” and described the presence of the courthouse as “vital.”
Considerations in Event of Move	<ul style="list-style-type: none"> Participants were concerned with finding a re-use of the courthouse building; opinions were mixed about what the best use would be. One participant mentioned the possibility of a shuttle to allow for traffic back and forth between downtown and the court over lunch.
Overall Preferences	<ul style="list-style-type: none"> Participants felt strongly that the courthouse should stay in downtown. Participants expressed appreciation for the value of the beauty of the courthouse property.

Source: Stakeholder Focus Group. (2022). Conducted by Strategic Economics

FIGURE 19: SUMMARY OF INPUT FROM OTHER STAKEHOLDERS: PROPERTY OWNERS, ACCOMMODATIONS, AND COMMUNITY LEADERS

Topic	Input
Nevada City Economic Trends	<ul style="list-style-type: none"> • Suggested that the pandemic made it difficult for restaurants and retail, but business has since rebounded • There is currently high demand for residential; office vacancy is low, but it's hard to fill large spaces
Current Economic Impact of Courthouse	<ul style="list-style-type: none"> • Courthouse helps to balance out business in an otherwise tourism-centric economy. • Suggested that courthouse may account for as much as 30 percent of weekday restaurant sales, and three percent of annual accommodations revenue
Positives of Courthouse	<ul style="list-style-type: none"> • Three out of five interviewees mentioned the historic and architectural value of the courthouse • Three out of five interviewees described the courthouse as providing stability and/or professional diversity to the downtown
Negatives of Courthouse	<ul style="list-style-type: none"> • Three interviewees expressed that parking is an issue downtown, but that the courthouse is not the cause of the issue. • One interviewee commented on the current building's seismic and ADA accessibility issues
Impacts of Move	<ul style="list-style-type: none"> • Relocation could result in slight reduction of accommodation stays; property owners expressed potential lost revenue to downtown businesses (20-30 percent) and that 10 percent of tenants (two out of 20) might close.
Considerations in Event of Move	<ul style="list-style-type: none"> • All interviewees expressed concern about potential re-use of the building • Two interviewees mentioned the possibility of a downtown shuttle; opinions were split on whether this would be a good idea.
Overall Preferences	<ul style="list-style-type: none"> • The majority of interviewees preferred Option 1, though opinions were not as strong about this as for other stakeholder groups. • Two interviewees emphasized the importance of retaining the historic façade.

Source: Stakeholder Interviews. (2022). Conducted by Strategic Economics

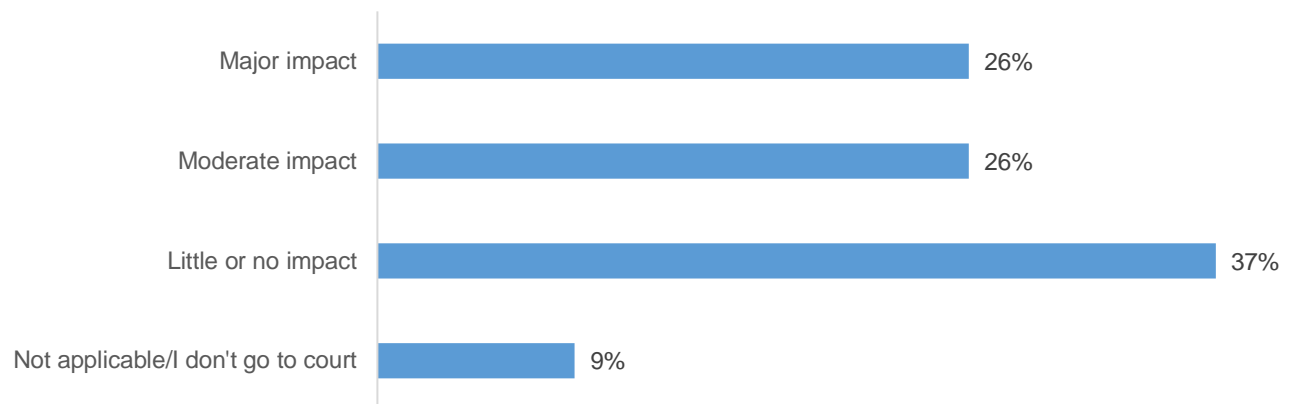
FIGURE 20: SUMMARY OF INPUT FROM LEGAL PROFESSIONALS

Topic	Input
Nevada City Economic Trends	<ul style="list-style-type: none"> • Interviewees expressed that the legal business is just as busy, if not busier than it was prior to the pandemic.
Current Economic Impact of Courthouse	<ul style="list-style-type: none"> • Interviewees indicated that extent of interaction with the courthouse varies greatly depending on the type of law practiced; participants varied from 5-100 percent of their work being courthouse-related. • Interviewees expressed that they each spend money at downtown residents or businesses approximately once a week or more; many of these expenses are related to visits to the courthouse.
Positives of Courthouse	<ul style="list-style-type: none"> • Four out of five interviewees expressed appreciation for the convenience of the courthouse location and its proximity to other businesses • One interviewee mentioned that they appreciate the historic façade of the building.
Negatives of Courthouse	<ul style="list-style-type: none"> • Several interviewees mentioned that there are issues with parking in downtown Nevada City; one interviewee expressed that relocating the courthouse may make it easier for out of town visitors to the court. • One interviewee commented on the current building's technology and accessibility issues.

Impacts of Move	<ul style="list-style-type: none"> • Three interviewees indicated that they would likely spend less at local restaurants/businesses in downtown Nevada City if the court were to move; one interviewee expressed that their purchases would not change. • One interviewee indicated that the inconvenience of the courthouse relocating may factor into their decision about retirement. • One interviewee expressed that the courthouse moving would make their office's operations less efficient; they would likely be forced to allocate resources differently or provide lower-quality services. • Opinions about the potential for law offices to relocate out of downtown were mixed
Considerations in Event of Move	<ul style="list-style-type: none"> • Two interviewees expressed concern about the possibility of a vacant building downtown • One interviewee expressed concern about the ease of walking downtown from the government center; they suggested a pedestrian bridge could be added.
Overall Preferences	<ul style="list-style-type: none"> • Support for the courthouse alternatives was primarily split between Options 1 and 2, with some interviewees preferring a completely new building, and others preferring to maintain the existing façade. • One interviewee did not indicate a strong preference, citing pros and cons of all three Options.

Source: Stakeholder Interviews. (2022). Conducted by Strategic Economics

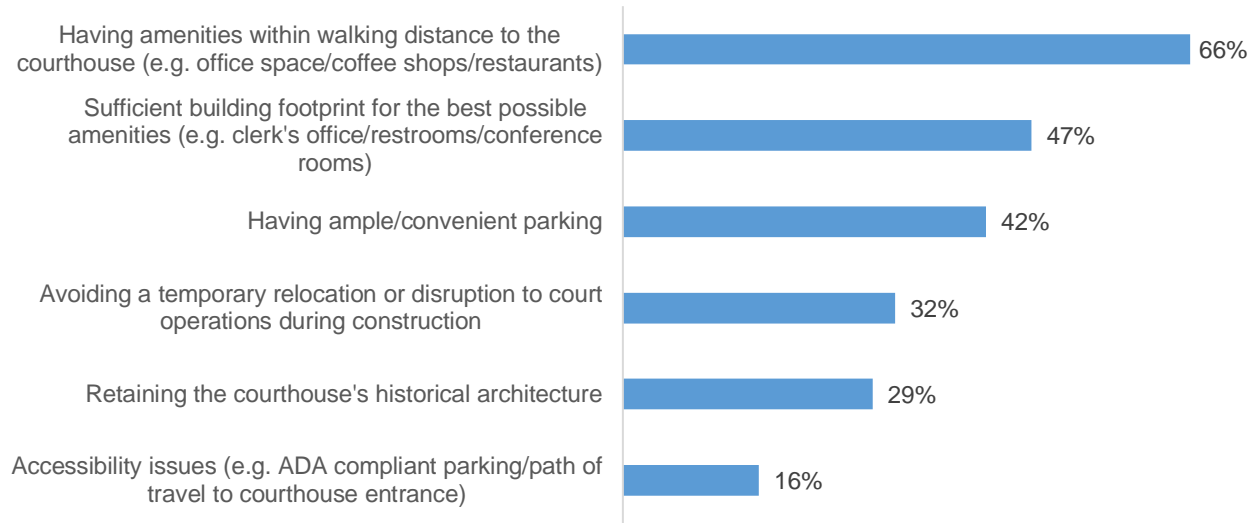
FIGURE 21: EXTENT OF ECONOMIC/CONVENIENCE IMPACT ON NEVADA COUNTY LAW PRACTICES IF THE COURT RELOCATED - LAWYER SURVEY



Note: Nevada City lawyers represent 40 percent of Nevada County Bar Association Members, but likely a greater percentage of survey respondents.

Source: Nevada County Bar Association. (2022). Member Survey.

FIGURE 22: PERCENTAGE OF NEVADA COUNTY LAWYERS CONSIDERING CRITERION AS IMPORTANT CONSIDERATION FOR NEVADA CITY COURTHOUSE



Note: Nevada City lawyers represent 40 percent of Nevada County Bar Association Members, but likely a greater percentage of survey respondents.

Source: Nevada County Bar Association. (2022). Member Survey.

SECTION 3.3

Preliminary Historic Findings



Nevada County Courthouse Preliminary Historic Evaluation

Nevada City, California

April 25, 2022

Architectural Resources Group (ARG) has prepared this preliminary historic evaluation of the Nevada County Courthouse (APN 005-390-023-000) at 201 Church Street in Nevada City, California to inform the feasibility study for the potential renovation and/or relocation of the Nevada County Courthouse. This document does not constitute a full historic resource evaluation for the purposes of the California Environmental Quality Act (CEQA); rather, it is intended to provide sufficient research and evaluation to make a preliminary finding as to the potential historic significance of the property and develop a list of character-defining features that may warrant preservation under a potential rehabilitation scheme. Sections of the document include the existing historic status of the property; historic background information about the property; a review of existing conditions observed during a February 2022 site visit; preliminary findings regarding the historic significance of the property using the California Register of Historical Resources (California Register) criteria; character-defining features of the property; and recommendations for further study.

EXISTING HISTORIC STATUS

The Nevada City Downtown Historic District National Register nomination was drafted in 1985 and includes ninety-six contributing buildings in downtown Nevada City, including the Nevada County Courthouse (1937) and Nevada City City Hall (1937).¹ Upon review by the Department of the Interior, the nomination was approved with the exception of the Nevada County Courthouse and Nevada City City Hall, which were determined not eligible as district contributors due to their age (less than fifty years old).² The federal reviewer noted that further documentation would be prepared by the State Historic Preservation Officer: research conducted at the California Historical Resources Information System (CHRIS) North Central Information Center and with the Registration Unit of the California State Office of Historic Preservation indicates that documentation was not prepared.³ As such, the Nevada County Courthouse is not a contributor to the National Register-listed Nevada City Downtown Historic District and is therefore not currently listed on the National Register or the California Register of Historical Resources. The National Register of Historic Places Evaluation/Return Sheet is included in Appendix A.

The Nevada City Local Historic District was established in 1968 and has broad boundaries which encompass

¹ Tyson, Edwin L., "National Register of Historic Places Inventory – Nomination Form, Nevada City Downton Historic District," June 5, 1985.

² Bub—ry [illegible], William B., United States Department of the Interior, National Park Service, "National Register of Historic Places Evaluation Return Sheet, Nevada City Downtown Historic District," September 23, 1985.

³ Email correspondence between ARG and Paul Rendes, Coordinator, North Central Information Center (NCIC), March 15, 2022; email correspondence between ARG and Amy H. Crain, State Historian II, Registration Unit, California State Office of Historic Preservation, February 18, 2022.

the courthouse.⁴ Nevada City does not have a formally established local historic register; buildings listed on the National Register are *de facto* understood as city historic landmarks. However, all buildings constructed prior to World War II are protected under local building regulations.⁵ As such, no part of the courthouse building is *de facto* understood as city historic landmark; the west portion of the building (“the courthouse”) is protected under local building regulations; and the east portion of the building (“the annex”) is not protected under local building regulations.

Because the Nevada County Courthouse is not listed in or formally determined eligible for listing in the California Register, nor included in a local register of historical resources, no portion of the building is currently considered a significant historical resource for the purposes of the California Environmental Quality Act (CEQA) guidelines (Section 15064.5). However, all portions of the building were constructed more than fifty years in the past and as such are age-eligible for historic resource status under CEQA.

HISTORIC BACKGROUND INFORMATION

Based on a review of existing historic research about the development of Nevada City and available historic photographs, it appears that a two-story courthouse was constructed at the present site of the west portion of the Nevada County Courthouse (“courthouse”) in 1864 (Figure 1).⁶ A two-story addition was constructed at the north side of the building at some point between 1868 and 1880 to house a jail.⁷ A third floor was added to the south portion of the building in 1900 (Figure 2).⁸ By 1907, historic photographs indicate that the south and west sides of the lot were demarcated by a granite block retaining wall and a low concrete wall with single-light standards. In 1913, a third story was added to the north portion of the building (Figure 3).⁹ Additional research conducted by ARG did not uncover any architect associated with these early phases of construction.

⁴ Nevada City Historical Society, “A Brief History of the Creation of Ordinance 338 – Better Known as the Historic District Ordinance,” 2021, accessed March 16, 2022 at [Planning and Historic Preservation in Nevada City - Nevada City, CA \(nevadacityca.gov\)](https://www.nevadacityca.gov/planning-and-historic-preservation-in-nevada-city-nevada-city-ca).

⁵ Nevada City Municipal Code, 15.12.010 - Review Standards, accessed March 16, 2022 at [Title 15 - BUILDINGS AND CONSTRUCTION | Code of Ordinances | Nevada City, CA | Municode Library](#).

⁶ Tyson, “National Register Nomination Form, Nevada City Downtown Historic District.”

⁷ Historic Environment Consultants, “Nevada City Courthouse Project, Historic Structures Study,” 2011, 11, published as “Appendix E, New Nevada City Courthouse Draft Environmental Impact Report,” State Clearinghouse No. 2011032009, July 2011.

⁸ Historic Environment Consultants, “Nevada City Courthouse Project, Historic Structures Study,” 12.

⁹ Historic Environment Consultants, “Nevada City Courthouse Project, Historic Structures Study,” 12.



Figure 1. Nevada County Courthouse, 1868 (www.courthousehistory.com)



Figure 2. Nevada County Courthouse, ca. 1907 showing granite wall and third story at south portion of the building, (www.courthousehistory.com)



Figure 3. Nevada County Courthouse, 1921, showing third story at the north portion of the building (Ca. State Library)

In 1935, architect George C. Sellon drafted plans to expand the footprint of the existing building with a one-story addition at the west elevation to house public counters; offices for the clerk and auditor; supervisors' rooms; a private office; vault; and restroom.¹⁰ In 1936, Nevada County received funding from the Work Relief Programs & Small Public Works branch of the Works Progress Administration (WPA) for courthouse expansion.¹¹ By August 1936, construction of the one-story west wing was nearing completion, and new construction was also underway at a four-story addition to the south (front) of the building and one-story east wing, also designed by Sellon.¹² Although research did not uncover Sellon-drafted plans for these areas of new construction, a 1938 article published in *Architectural Record* included some floor plans, along with Sellon's narrative description of changes to the building.¹³ As Sellon described, the north portion of the building, where the jail was located, was remodeled at the interior and received new windows; and a new one-story volume was added to the northeast portion of the building to serve as the office for the sheriff and a jail tank. Sellon summarized the comprehensive Art Moderne-style renovations as changing the "whole character of the building," leaving "little resemblance to the Courthouse of early gold mining days" (Figure 4).¹⁴ Sellon's 1938 *Architectural Record* article is included in Appendix B.

George C. Sellon (1881-1954) served as California's first appointed state architect from 1907 to 1909, after which he continued a very prolific career spanning nearly fifty years.¹⁵ He designed multiple courthouses in California, schools and college campus buildings, veteran's buildings, prisons, and privately owned residential and commercial buildings, including the California-Western States Life Insurance Company, Headquarters Building (1925), often described as Sacramento, California's first skyscraper.

¹⁰ George C. Sellon, "Alternations & Additions to Nevada County Court House, Nevada City, California," May 1, 1935.

¹¹ The Living New Deal, "Nevada City – the Nevada County Courthouse," website of the Living New Deal, accessed March 17, 2022 at <https://livingnewdeal.org/projects/nevada-city-courthouse-nevada-city-ca/>.

¹² "Courthouse Annex," *Sacramento Bee*, August 26, 1936, 9.

¹³ Sellon, George C., "California Gold Rush County Streamlines its Courthouse," *Architectural Record*, July 1938, 46-48.

¹⁴ Sellon, "California Gold Rush County Streamlines its Courthouse."

¹⁵ Pacific Coast Architectural Database, "George Clinton Sellon," website of Pacific Coast Architectural Database, accessed March 17, 2022 at <https://pcad.lib.washington.edu/person/4236/>.

In 1964, the annex was constructed to provide additional space for County offices and the jail (Figure 5).¹⁶ The Mid-Century Modern style building was designed by the architecture firm of Mau & Barnum. The building was later adapted to court use following the relocation of County offices to the Rood Center on Highway 49.¹⁷



Figure 4. Nevada County Courthouse after Sellon alterations, 1937 (*Sacramento Bee*, 1937)



Figure 5. Annex, 1985 (National Register Nomination)

Malcolm O. Mau (1921 - 1997) and Wesley J. Barnum (1925 - 1998) practiced together in Sacramento from at least 1954.¹⁸ The firm is associated with some residential development in Sacramento.¹⁹ Further research is required to develop a biography of this firm.

A review of available drawings for alterations completed since the annex was completed in 1964 indicate that the entry and receiving areas of the Sheriff's department were remodeled in 1985 by Falconi & Associates; Courtroom 5, on the third floor of the courthouse building, was remodeled in 2000 (architect unknown); and the second floor of the courthouse building was remodeled in 2001 by Daggett Designs.

¹⁶ Ross Drulis Cusenbery, "Nevada County Courthouse Phase II Feasibility Study," prepared for Judicial Council of California, December 2015, 3-01.

¹⁷ Ross Drulis Cusenbery, "Nevada County Courthouse Phase II Feasibility Study," 3-01.

¹⁸ Sacramento City Directory, 1954.

¹⁹ Gretchen Steinberg, Sacramento Modern, "SacMod's List of Notable MCM Places in the City of Sacramento," 2017, accessed March 17, 2022 at https://sacramento.granicus.com/MetaViewer.php?view_id=21&clip_id=4068&meta_id=504879.

EXISTING CONDITIONS

ARG completed a site visit to the Nevada County Courthouse on February 14, 2022 and observed the exterior of the building; the setting of the building within downtown Nevada City; associated landscape features at the site; and building interiors with the exception of some courthouses in the annex and the north portions of the courthouse and the annex, which serve as former and current holding facilities.

The intention of the visit was to gather information about the building's architectural character, and to ascertain what building materials remain in place from the building's phases of construction, ranging over a hundred-year period from 1864 to 1964

At the courthouse, exterior building materials that predate the 1937 renovation were observed at the granite retaining wall surrounding the site; the low concrete wall that surrounds the building's footprint at the south and west; and at the west wall of the north portion of the building, where ca. 1864 granite wall and some potentially original fenestration openings remain in place (Figure 6, 7). A comparison between pre-1937 historic photographs of the courthouse exterior and current photographs confirm that the courthouse does not convey its pre-1937 appearance. No building materials that predate the 1937 renovation were observed at the interior of the courthouse (north portion of the interior was not directly observed).



Figure 6. Granite retaining wall and low concrete wall at west side of the site, view east (ARG, 2022)



Figure 7. Granite wall at west side of north portion of the courthouse building, view southeast (ARG, 2022)

The exterior of the courthouse appears to retain all building materials from the 1937 renovation with the exception of replacement aluminum sliding windows in the west wall of the north portion of the building; replacement fixed aluminum frame windows on the east wall of the south portion of the building (second floor); and construction of a one-story CMU wall and enclosure at the east wall of the north portion of the building (Figure 8-11). A comparison between historic photographs of the exterior of the courthouse after its 1937 renovation and current photographs confirms that the courthouse retains and conveys its 1937 appearance. Character-defining exterior features of the courthouse are listed in a following section.

The interior of the courthouse retains some spatial arrangement and building materials installed during the 1937 renovation, although some areas and materials have been updated. Many original interior features that remain in place reflect the Art Moderne style of the renovation and are composed of high-quality materials that reflect the importance of the building as a county courthouse (Figure 12-13). Character-defining interior features of the courthouse are listed in a following section.



Figure 8. Primary (south) façade, view north, showing the courthouse building following 1937 alterations, including symmetrical façade arrangement, fenestration pattern and material, and ornament including lettering, clock, and flagpole (ARG, 2022)

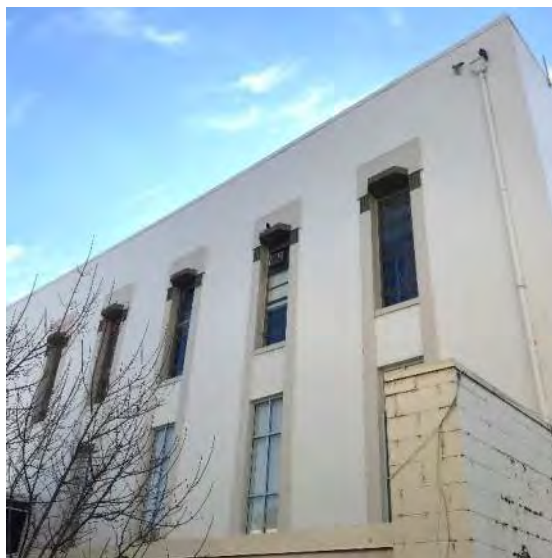


Figure 9. East façade, view southwest, showing fenestration pattern and material, including replacement second-floor windows and CMU enclosure (ARG, 2022)



Figure 10. North (rear) façade, view southwest, showing the 1937-constructed sheriff's office at left and pre-1937 jail at right, with 1937 alterations (extent of alterations unknown) (ARG, 2022)



Figure 11. Primary (south) and east façades, view northwest, showing 1937-constructed elements including curved first-floor volumes and entry details, and 1964-constructed connecting corridor to the Annex (at right) (ARG, 2022)



Figure 12. Detail at entry foyer including chrome door hardware and horizontally ridged vertical embellishments (ARG, 2022)



Figure 13. Detail at entry foyer including chrome lighting and vertically scored vertical embellishments (ARG, 2022)



Figure 14. Recessed circular light fixture (ARG, 2022)

At the annex, exterior building materials appear largely unchanged from the 1964 construction, with the exception of chain-link fencing at the exterior perimeter of the basement garage; potential additions/alterations to the penthouse roof volume; and potential installation of exterior egress and HVAC equipment at the west wall of the north portion of the building (Figure 15-18). A comparison between historic photographs of the exterior of

the annex taken in 1985 (oldest currently available photograph) and current photographs confirms that the annex retains and conveys its 1964 appearance. Character-defining exterior features of the annex are listed in a following section.

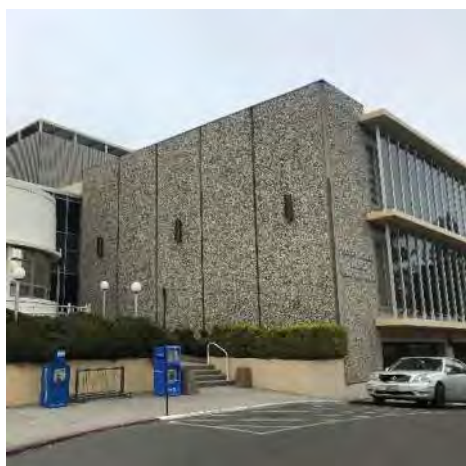


Figure 15. Annex, west façade, south portion showing courtyard between courthouse and annex, view northeast (ARG, 2022)



Figure 16. Annex, south and east façades showing parking entry, view northwest (ARG, 2022)



Figure 17. Annex, north façade, view southwest (ARG, 2022)



Figure 18. Annex, west façade, north portion, showing HVAC, penthouse, and exterior egress, view southeast (ARG, 2022)

The interior of the annex retains some spatial arrangement and building materials that appear likely to have been installed when the building was constructed in 1964, although some areas and materials have been updated (Figure 19-21). While original floor plans for the building were not available for this phase of this report,

the annex was constructed to provide additional space for County offices and the jail. The annex's interior building materials reflect the building's original office use and generally reflect commonplace office finishes and materials. Character-defining interior features of the annex are listed in a following section.

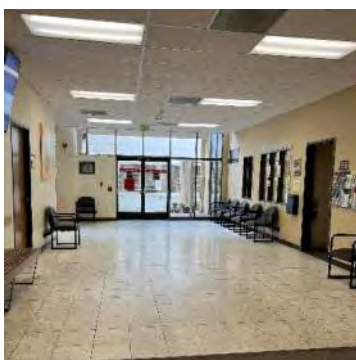


Figure 19. Annex, interior lobby (ARG, 2022)

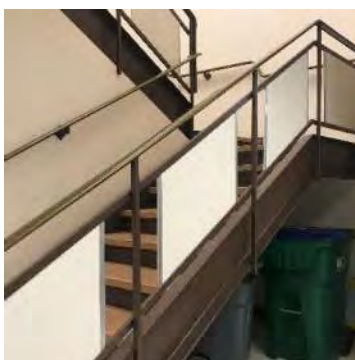


Figure 20. Annex, primary public stairwell (ARG, 2022)



Figure 21. Annex, typical courtroom finishes and seating (ARG, 2022)

PRELIMINARY FINDINGS OF SIGNIFICANCE

ARG has made the following preliminary findings regarding the Nevada County Courthouse's eligibility for listing in the California Register. An evaluation for Nevada City City Historic Landmark is not included; the presumption is that the building would be considered eligible as a landmark based on findings of California Register eligibility.

Under Criterion 1 (Association with historic events or patterns of events), the courthouse portion of the building appears eligible for the California Register as the locus of Nevada County legislative activity since shortly after the founding of Nevada County in 1851. While court activities have taken place at this site since 1855, the period of significance for this finding would be 1937-1970, reflecting the earliest year to which the courthouse retains integrity through a reasonable point in the development history of the building after which the building would need to demonstrate exceptional significance, which was not uncovered through research. The annex does not appear eligible for the California Register under Criterion 1, because it was constructed as offices and jail and has no significant association with the county's legislative activity during the historic period.

Under Criterion 2 (Association with historically significant persons or groups), the courthouse does not appear eligible for California Register. Preliminary research did not identify anyone who worked in the building during the productive period of their career and made substantial contributions to the history of the region, state or nation.

Under Criterion 3 (Architecture), both the courthouse and the annex appear eligible for the California Register. The comprehensive 1937 renovation of the courthouse embodies the distinctive characteristics of Art Moderne style architecture. It is also the work of architect George C. Sellon who appears likely to be considered a master

architect in the California context. The period of significance for this finding is 1937, the year the renovations were complete. The annex embodies the distinctive characteristics of Mid-Century Modern style architecture, as applied to the office building typology. It appears to be one of the rare examples of this architectural style in Nevada City and the region more broadly. The period of significance for this finding is 1964, the year construction was complete.

Evaluation under Criterion 4 (Information Potential) is beyond the scope of this report

CHARACTER-DEFINING FEATURES

Based on the preliminary findings of significance under California Register Criteria 1 and 3, ARG would describe the following features as character-defining. These features are further specified as being of primary and secondary importance; non-contributing features and features that may need additional research are included here as well.

Courthouse Exterior

Primary importance:

- Granite retaining wall surrounding the south and west perimeter of the site;
- Low concrete wall surrounding the south and west perimeter of the building;
- South approach to the primary entrance including curved concrete steps, pipe railings, scalloped cheekwalls, and integrated circular planters atop cheekwalls;
- Footprint and massing of south portion of the building;
- Smooth cladding and embossed and/or recessed cladding details of south portion of the building including vertical scoring, false rustication, and recessed corners at upper perimeter to primary and side elevations;
- Façade detailing at the south portion of the building including freestanding letters spelling out “Courthouse,” clock, and flagpole;
- Pattern of fenestration at the south portion of the building, including continuous horizontally oriented windows at the first floor, and vertically oriented double- and triple-height windows with faceted bronze hoods at upper floors;
- Fenestration material and operation at the south portion of the building, including fixed, hopper, and awning metal sash windows;
- One-story volume at the northeast portion of the building, including massing, cladding, façade arrangement, pattern of fenestration, and window material and operation.

Secondary importance:

- Footprint, massing, cladding and fenestration of the north portion of the building. While this portion of the building is the earliest constructed, it has undergone several alterations and additions and does not convey its original appearance.

Non-contributing/additional research needed:

- Metal fire escape at west façade;
- One-story CMU wall and enclosure at the east wall of the north portion of the building.

Courthouse Interior

Primary importance:

- Spatial arrangement of first floor elements including double-height entry foyer, central corridor, and stairwell;
- Spatial arrangement at upper floors including stairwell, central corridor, and, at third floor, courtroom;
- Designed features and building materials in the foyer and stairwell, including chrome door hardware, stair handrails, drinking fountains, lighting fixtures, and display cabinets; fluted engaged columns; vertical embellishments with vertically scored and horizontally ridged detail; terrazzo flooring; circular portal openings at stair landings; courthouse progression mural; and additional original materials (recommended to be further investigated);
- Glazed wood doors with brass hardware and chrome headers at central corridors;
- Recessed lighting fixtures where they remain; and
- Fixtures and finishes at the third-floor courtroom which were installed in 1937 (to be further investigated).

Secondary importance:

- Curved surrounds at windows and doorways;
- Wood display frames in first floor corridor. These may be relocated elements from the earlier courthouse; the renovation of the courthouse has diminished the association these items have with their current surroundings.

Non-contributing/additional research needed:

- Tile flooring at first floor corridor;
- Spatial arrangement of side “wings” at the first floor, which have been reconfigured;
- Elevator, which was modernized in the 1970s.

Annex Exterior

Primary importance:

- Low concrete wall with integrated plater surrounding the south and east perimeter of the site;
- Fully glazed enclosed two-story corridor connecting courthouse and annex, comprising fixed windows, opaque spandrels, and aluminum frames;
- Two-story height and massing, including volume of corridor that connects to the courthouse;
- Areas of composite rock cladding at the west, east and north facades, with vertical breaks;

- Anodized metal sconce lighting;
- Continuous glazing at the connecting corridor, and at south and east façades, with aluminum hardware;
- Projecting concrete floorplates which provide strong horizontal articulation; and
- Continuous shaded glazing with aluminum hardware, mounted to projecting floorplates at the south and east façades.

Secondary importance:

- South approach to the enclosed corridor entrance, including straight concrete stair and courtyard;
- Entrance doors to the south side of the enclosed corridor;
- Narrow, vertically oriented fixed metal frame fenestration at the north portion of the building;
- Two-story glass wall and entrance doors at the west façade (appears to have been altered);
- Recessed entrance at the east façade.

Non-contributing/additional research needed:

- Chain-link fencing at the exterior perimeter of the basement garage;
- Penthouse roof volume; and
- Two flights of exterior egress and HVAC equipment at the west façade.

Annex Interior

Preliminary finding of primary importance:

- Central circulation corridor at the first floor;
- Open stair from first to second floors.

Preliminary finding of Secondary importance:

- Location, features, and finishes of courtrooms.

Preliminary finding of Non-contributing/additional research needed:

- Location, features, and finishes of office and support rooms.

RECOMMENDATIONS FOR FURTHER STUDY

A preliminary history of the court's activity was researched using the archives of the Sacramento Bee and Google Scholar Case Law, which did not uncover any significant judges or cases with origins in the Nevada County Courthouse. While precedent-setting legal cases are generally decided in state appeals courts, state supreme court, or federal court, additional research could be conducted to determine whether any such cases may have originated in the Nevada County Courthouse, which may confer Criteria 1 or 2 significance on the building.

Additional research is required to better understand the career of the architecture firm Mau & Barnum and whether they might be considered master architects in the local or state context.

The interior of the north portion of the courthouse was not investigated during a site visit. This is the oldest portion of the building, and it would be useful to know if any pre-1937 features and finishes remain in place. A review of historic floorplans and 1937 updated floorplans indicate interiors of this area of the building were renovated in 1937, and the area may have also been later renovated.

Building permit research could assist in the determination of some of the original versus altered interior features at the annex.

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Tyson, Edwin L., "National Register of Historic Places Inventory – Nomination Form, Nevada City Downtown Historic District." June 5, 1985.

APPENDIX A - NATIONAL REGISTER OF HISTORIC PLACES EVALUATION/RETURN SHEET

Ref 85002520

WASO Form - 177
("R" June 1984)

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES
EVALUATION/RETURN SHEET

Nevada City Downtown Historic District
Nevada County
CALIFORNIA

Substantive Review

Working No. NLR 1 A 1985
Fed. Reg. Date: 2/4/86
Date Due: 9/2/85 - 9/25/85
Action: ACCEPT 9-23-85
 RETURN
 REJECT
Federal Agency: _____

resubmission
 nomination by person or local government
 owner objection
 appeal

Substantive Review: sample request appeal NR decision

Reviewer's comment:
Good nomination except for the fact two properties - City Hall and Nevada Co. Courthouse - cannot be considered as contributing without statement to justify exception to the criteria as less than 50% of the properties. SHPO plans to show acceptance at a later date and demonstrate individual significance of properties.

Recom./Criteria: Accept A, C
Reviewer: Bushong
Discipline: Historic
Date: 9/2/85
_____ see continuation sheet

Nomination returned for: _____ technical corrections cited below
_____ substantive reasons discussed below

1. Name _____
2. Location _____
3. Classification

Category	Ownership Public Acquisition	Status Accessible	Present Use

4. Owner of Property _____
5. Location of Legal Description _____
6. Representation in Existing Surveys
Has this property been determined eligible? yes no
7. Description

Condition
 excellent
 good
 fair

deteriorated
 ruins
 unexposed

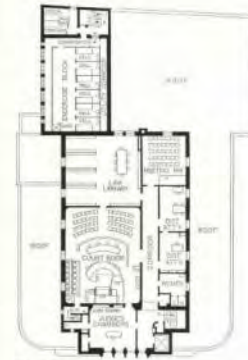
Check one
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Check one
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 moved date _____

Describe the present and original (if known) physical appearance

summary paragraph
 completeness
 clarity
 alterations/integrity
 dates
 boundary selection

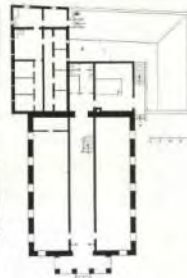
APPENDIX B – 1938 ARCHITECTURAL RECORD ARTICLE BY GEORGE C. SELLON (3 pages)



Third floor



First floor



Original first floor

The original courthouse, built in 1864, remodeled in 1900, was of granite and painted brick, with galvanized iron trim. In the most recent remodeling of the building, rearrangement of interior and addition of two wings to the original plan more than doubled the usable office area.



View from northwest showing jail section

CALIFORNIA GOLD RUSH COUNTY STREAMLINES ITS COURTHOUSE

GEORGE C. SELTON
Architect

NEED FOR MORE and modern office space prompted the remodeling of the old Courthouse at Nevada City, California, erected in 1864 when California was still a mecca for gold prospectors, and Victorian was the prevailing architectural style. Still the center of a heavy gold mining district, Nevada City found its physical equipment for law enforcement inadequate, and again remodeled its courthouse—for the second time in 35 years.

In providing additional office space, the whole character of the building was changed so that the present structure bears little resemblance to the Courthouse of early gold mining days. The elaborate galvanized-iron trim, and the granite and brick walls have been replaced by copper copings and smooth concrete surfaces. The original courthouse, built for impregnability, had three-foot granite walls up to the second floor, and interior partitions of brick. By removing the east and west walls (superstructure was supported by steel) and adding one-story wings on each side of the building, ample open work space was obtained on the first floor. The granite walls at the north end of the original building

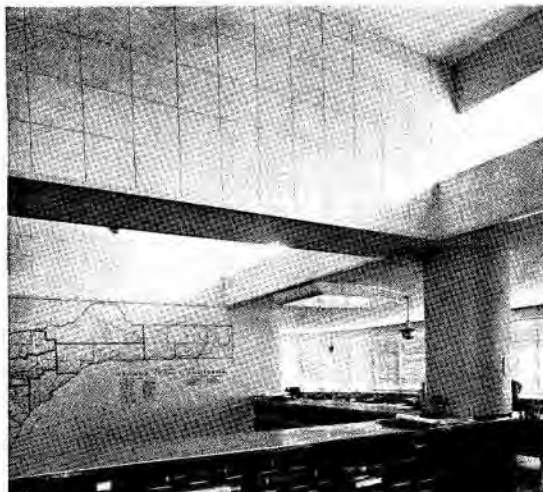
have been retained and serve as an effective barrier between jail and office sections; at the south end, the granite wall has been incorporated into the construction of the main lobby which projects beyond the old building line. The frame construction of the jail interior was changed to steel and concrete, and cells were modernized and equipped with Invisigard windows on exterior walls. A new office for the sheriff and a jail tank were built on the north front.

The interior underwent similar changes: all the old trim was removed, and new walnut trim and doors installed. Windows were changed from wood to steel. New furniture, of oriental woods, upholstered in blue leather, was designed by the architect especially for the building. Floors in public spaces are terrazzo; other floors are linoleum except in the Judge's Chamber, Courtroom, and Supervisor's Room, where carpet is used. All ceilings are covered with acoustical tile; lighting is indirect. Modernization included installation of an air-conditioning system to serve the entire building, and new plumbing and electrical systems. Total cost of the work came to \$210,000.

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BUILDING
NEWS

47



NEVADA COUNTY COURTHOUSE



COUNTY CLERK'S OFFICE (above, left): Clerestory windows light the inner section of the first-floor office space. SUPERVISOR'S ROOM (below, left): walls, gray-green with cream striping; ceiling, cream; carpet, dark apricot. LOBBY (below): walls, gray-green; ceiling, burnished aluminum leaf; floor, terrazzo in green and red design; light fixtures and all trim, satin aluminum.



SECTION 3.4

Traffic Report

Memorandum

Date: April 21, 2022
To: David Crotty - HOK Architects
From: Mike Hawkins, PE, Emily Alice Gerhart, AICP – Fehr & Peers
Subject: **Nevada City Courthouse - Summary of Transportation Findings**

SF22-1213

HOK Architects is evaluating options to update the Nevada City Courthouse to address critically needed improvements. Fehr & Peers is supporting HOK by providing an analysis of potential transportation tradeoffs between the proposed alternatives. Currently located in historic downtown Nevada City, the courthouse has served as a pillar of the community for many years. However, access to the existing courthouse is limited by parking, onsite access, and local connectivity.

The purpose of this memorandum is to document a comparison of transportation tradeoffs between the proposed locations and preliminary site plans. The primary metrics of consideration include accessibility for pedestrian, bicycle, transit, and vehicle travel, and approximate vehicle miles traveled by employees and visitors.

Background

Discussions over the preferred approach to updating the courthouse have been ongoing for many years. This memorandum references analysis performed and documented in the *Nevada City Courthouse Phase II Facility Feasibility Study* (2015). In accordance with CEQA, the New Nevada City Courthouse Project evaluated two potential sites: the existing courthouse site located at 201, Church Street, and the Cement Hill Site, at the northwest corner of Cement Hill/SR 49. The study of these two sites was “infinitely delayed” due to budget cuts.

The Judicial Council of California is currently evaluating three potential options:

- **Option 1** - Renovate the existing courthouse located at 201 Church Street
- **Option 2** - Demolish the existing courthouse and reconstruct at the existing site located at 201 Church Street



- **Option 3** - Identify another site and construct a new Courthouse in Nevada City

It is important to note that the proposed site plans for each option are preliminary in nature. The transportation findings presented provide an overview of key considerations, and do not encompass all potential transportation impacts. For Option 3, a generic site was considered along SR 49. Once a site is selected, a more thorough transportation analysis should be performed.

This memorandum is primarily structured by Project Alternative, then by mode of travel. Special attention is paid to topics in which there is the most divergence between alternatives, particularly parking and vehicle travel.

Option 1

Option 1 considers a scenario where the existing courthouse is renovated at its existing location at 201 Church Street.

Pedestrian Accessibility

Located in Downtown Nevada City, the current site is impacted by aging infrastructure, including sidewalks. This is exacerbated by the sidewalk slopes and in many cases the narrow concrete sidewalks are raised above the roadways with handrails. Many intersections near the existing site lack adequate ADA accessible provisions, including curb ramps and truncated domes that provide physical warnings to people with visual disabilities.

As documented in the *ADA Accessibility Survey Report for Nevada County Courthouse and Annex* (2015), there are numerous onsite deficiencies for pedestrian accessibility in regards to ADA Accessible parking stalls, walkways, ramps, stairwells, and elevators.

Despite the infrastructure barriers, Downtown Nevada City has many pedestrian destinations within a short distance of the courthouse. This allows employees, jurors, and visitors to frequent coffee shops or restaurants nearby, and many people



Top image: Nevada City Courthouse, raised sidewalks with handrail.

Bottom image: Intersection of Church Street and Main Street adjacent to Nevada City Courthouse, lacks adequate pedestrian amenities.



without physical impairments are able to get to these destinations without driving. Both the existing infrastructure barriers and pedestrian destinations are maintained in Option 1.

Bicycle Accessibility

Bicycle accessibility is limited under Option 1. There are currently no dedicated bicycle facilities in Downtown Nevada City. In addition, the steep topography downtown hinders comfortable bicycle riding when taking the lane for those who are not very confident riders.

Transit Accessibility

The courthouse is currently accessible via transit and located less than 500 feet from stops at City Hall serving routes 1 and 7. Route 1 serves Grass Valley to Nevada City with 1-hour headways. Route 7 serves regional travel from North San Juan to Grass Valley with 5- to 6-hour headways. Under Option 1, existing transit would be maintained.

Vehicle Travel

Parking

In addition to best practices for parking management and design, we have taken into account considerations unique to courthouses. For example, there are limited options for underground parking onsite, due to the potential for bomb threats or other security breaches.

Nevada City is currently evaluating the following parking strategies to improve parking provisions for Options 1:

1. Main Street:
 - a. Close street on parking both sides of street
 - b. Keep two-way traffic intact
 - c. Install security measures (e.g. bollards) to improve vehicular stand off to courts
2. Church Street:
 - a. One-way traffic from Main Street to North Pine Street
 - b. Install security measures (e.g. bollards) to improve vehicular stand off to courts
3. North Pine Street:
 - a. Close on-street parking
 - b. Keep two-way traffic intact
 - c. Install security measures (e.g. bollards) to improve vehicular stand off to courts
4. Commercial Street Lot:
 - a. 76 spaces will be dedicated during Courthouse hours
5. Veterans Lot:
 - a. 14 spaces will be dedicated during Courthouse hours



6. Washington Street:
 - a. Close street to vehicular traffic (except emergency vehicles)
 - b. Regrade and repave to meet accessibility requirements
7. Washington Street Lot:
 - a. JCC purchase properties
 - b. Demolish existing structure
 - c. Build new 2-level parking structure

With the options provided, there is the potential for substantially improved parking access over existing conditions. As documented in the *Nevada City Courthouse Phase II Facility Feasibility Study* (2015), the original new courthouse project identified secured parking for judges as well as 210 parking spaces for staff, visitors, and jurors.

Vehicle Circulation

Currently, there are many deficiencies related to vehicle circulation, including pick-up and drop-off operations. Today, Church Street is most frequently utilized for pick-up and drop-off. This would be maintained in Option 1, but improved through bollards or other security measures to improve vehicular stand off to courts.

The courthouse will continue to serve multiple different types of vehicles, including passenger vehicles for staff and jurors, and highly secure vehicles for incarcerated individuals on trial. As such, the parking and pick-up/drop-off must cater to these unique uses. Visitors, such as jurors, will have the option to pick-up and drop-off near the site but may be more willing to walk a further distance. Certain staff, such as judges, may require secure pick-up/drop-off close to or on-site. Secure vehicles for incarcerated individuals may require enhanced security and on-site pick-up and drop-off.

Vehicle Miles Traveled

On September 27, 2013, Governor Jerry Brown signed SB 743 into law and started a process intended to fundamentally change transportation impact analysis as part of CEQA compliance. These changes include elimination of auto delay, level of service (LOS), and other similar measures of vehicular capacity or traffic congestion as a basis for determining significant impacts. The California Natural Resources Agency has issued amendments and additions to the CEQA Guidelines reflecting these changes (<http://resources.ca.gov/ceqa/>). The changes eliminate auto delay for CEQA purposes and identify vehicle miles traveled (VMT) as the preferred CEQA transportation metric. Implementation strategies are provided for Nevada County in the report titled, *Senate Bill 743 Vehicle Miles Traveled Implementation Prepared for Nevada County Transportation Commission* (2020).

VMT accounts for the number of vehicle trips generated and the length or distance of those trips. For transportation impact analysis, VMT is commonly expressed as total VMT, total VMT per



service population (residents plus employees), home-based VMT per resident (or capita), and home-based work VMT per employee for a typical weekday. VMT can help identify how projects (land development and infrastructure) influence accessibility (i.e., lower VMT may indicate increased multimodal access to places and people) and emissions, so its selection is aligned with the objectives of SB 743.

In the absence of more detailed site and land use plans, VMT was reviewed at a qualitative level for each option. Under Options 1 there would likely be little to no change from existing baseline conditions. Many employees and visitors would still have the option to walk or ride transit to access nearby eateries or run other errands downtown. Staff and visitors that may be dropped off at the courthouse may benefit from drivers chaining trips, and potentially carpooling before going to their next destination.

Option 2

Option 2 considers a scenario where the existing courthouse is demolished and reconstructed at its existing location at 201 Church Street.

Pedestrian Accessibility

As described under Option 1, the current site is impacted by aging infrastructure and physical barriers to people walking. Similar to Option 1, the existing pedestrian accessibility and pedestrian destinations are maintained in Option 2.

Bicycle Accessibility

Bicycle accessibility is limited under Option 2. There are currently no dedicated bicycle facilities in Downtown Nevada City. In addition, the steep topography downtown hinders comfortable bicycle riding when taking the lane for those who are not very confident riders.

Transit Accessibility

The courthouse is currently accessible via transit and located less than 500 feet from stops at City Hall serving routes 1 and 7. Route 1 serves Grass Valley to Nevada City with 1-hour headways. Route 7 serves regional travel from North San Juan to Grass Valley with 5- to 6-hour headways. Under Option 2, existing transit would remain unchanged.

Vehicle Travel

Parking

As under Option 1, Nevada City is considering some changes to parking strategies to improve parking provisions under Options 2. With the options provided, there is the potential for substantially improved parking access over existing conditions.



Vehicle Circulation

Vehicle Circulation under Option 2 would be very similar to that under Option 1. Pick-up and drop-off procedures would likely be slightly improved through enhanced site plan considerations.

Vehicle Miles Traveled

Similar to Option 1, under Option 2 there would likely be little to no change from existing baseline conditions. Many employees and visitors would still have the option to walk or ride transit to access nearby eateries or run other errands downtown. Staff and visitors that may be dropped off at the courthouse may benefit from drivers chaining trips, and potentially carpooling before going to their next destination.

Option 3

Option 3 considers a scenario where a new site is identified for construction of a new courthouse in Nevada City. For this discussion, a generic site was considered along SR 49.

Pedestrian Accessibility

Compared to Options 1 and 2, Option 3 would have improved pedestrian accessibility directly surrounding the site, however would have far fewer destinations accessible by walking. There are few eateries on Highway 49 under Option 3, and it is likely that employees, visitors, and jurors would drive into Downtown Nevada City for lunch.

Bicycle Accessibility

There are currently no dedicated bicycle facilities along Highway 49. There are recreational bicycle trails that might be utilized for access to the courthouse in Option 3. Hirschman Pond Trailhead connects directly to the County Jail and local parks via Helling Way.

Transit Accessibility

Limited transit options would be available under Option 3. Only Route 7 provides transit service to SR 49. Route 7 serves regional travel from North San Juan to Grass Valley with 5- to 6-hour headways. Option 3 provides less transit access than Options 1 and 2.

Vehicle Travel

Parking

In addition to best practices for parking management and design, we have taken into account considerations unique to courthouses. For example, there are limited options for underground parking onsite, due to the potential for bomb threats or other security breaches.



Option 3 provides the opportunity to build a new parking lot and/or structure to meet the specific parking needs of the courthouse. Vehicle parking would be improved under Option 3 compared to under Options 1 and 2.

Vehicle Circulation

Option 3 provides the greatest flexibility for vehicle circulation and pick-up / drop-off procedures, and can be designed using the state of the practice ideas for courthouse operations.

Vehicle Miles Traveled

Option 3 presents the potential for increased VMT compared to the existing baseline, due to the distance between local destinations. This may require individuals to drive, rather than walk, to lunch spots, increasing total vehicle miles traveled. There is unlikely to be a benefit to VMT from locating the courthouse on Highway 49, due to the limited housing options west of the courthouse. On the contrary, employees may live in Downtown Nevada City that would need to commute a further distance to a relocated courthouse. More data would be needed to form a quantitative assessment.

Conclusions

While there are many transportation tradeoffs, **Appendix A** provides a planning level assessment of the identified criteria. With a score range of 0 to 3 for each subcategory, Options 2 and 3 received the highest scores, followed by Option 1.



Appendices

Appendix A – Transportation Matrix

APPENDIX A

Nevada City Courthouse Transportation Matrix

Criteria	Option 1	Option 1 Score	Option 2	Option 2 Score	Option 3	Option 3 Score
Description	Renovate the existing courthouse located at 201 Church Street		Demolish the existing courthouse and reconstruct at the existing site located at 201 Church Street		Identify another site along SR 49 in Nevada City	
Pedestrian accessibility	On-site: Poor Connectivity: Good	1	On-site: Good Connectivity: Good	2	On-site: Good Connectivity: Poor to food centers, fair to community centers such as the County Jail, Maidu Library, local parks	1
Bicycle accessibility	On-site: Limitations in existing space Connectivity: Poor	0	On-site: Poor Connectivity: Poor	0	On-site: Good Connectivity: Fair; access to local trails; better topography	1
Transit accessibility	Bus access: Routes 1, 7	1	Bus access: Routes 1, 7	1	Bus access: potential access to route 1	1
Vehicle Circulation (Parking/Pick-up/Drop-off)	Existing limitations	1	Good; improved	2	Excellent; high potential for PU/DO	3
Vehicle Miles Traveled	Employees: Many nearby destinations; closer to residential areas Visitors: Many nearby destinations; closer to residential areas	2	Employees: Many nearby destinations; closer to residential areas Visitors: Many nearby destinations; closer to residential areas	2	Overall highest impact to VMT, unlikely to have commuters from Hwy 49 west benefiting from reducing VMT; diminished benefit to VMT	1
Total		5		7		7

SECTION 3.5

Environmental Considerations

Consideration of Environmental Factors

This section includes a preliminary discussion of environmental factors that may impact the New Nevada City Courthouse Project. This discussion is preliminary and is not exhaustive. Additional, and more comprehensive environmental studies will be undertaken once the Judicial Council has selected a proposed project site, and before the final project is approved by the State Public Works Board (SPWB). The Judicial Council's obligation to conduct an environmental study consistent with CEQA will be fulfilled prior to the Judicial Council's approval of a project and site acquisition by SPWB. However, a CEQA environmental study is not required for this feasibility and planning study. Prior to seeking project approval for the New Nevada City Courthouse Project, the Judicial Council will engage in an environmental review, and will provide an opportunity for interested parties, local agencies, state agencies, federal agencies, Native American tribes, and others to participate in the preparation, review, and adoption of environmental documents. The following are some preliminary environmental factors the Judicial Council has determined will require additional environmental analysis prior to project approval.

1. AESTHETICS

- a) Existing Courthouse Site. The Existing Nevada City Courthouse (Existing Courthouse) is a contributing structure to a National Register District. Further environmental review of the potential impacts of project alternatives that include substantial renovation, demolition, or change in use of the Existing Courthouse will need to be completed to evaluate impacts on the District as part of any subsequent environmental review.
- b) Scenic Resources (Existing Courthouse). The Existing Courthouse site is prominently visible from an eligible state scenic highway and is part of the Nevada City Downtown National Register District. If the project scope ultimately selected includes the substantial renovation or demolition of the Existing Courthouse, the Judicial Council will need to engage in further environmental review of potential impacts to scenic resources.
- c) Scenic Resources (Alternative Project Site). In the event that the Judicial Council ultimately proposes to locate the New Nevada City Courthouse at an alternative site, the Judicial Council will need to evaluate whether the proposed project could cause substantial damage to scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings, within [view from] a state scenic highway.
- d) Visual Character of the Project Site. Whether the New Nevada City Courthouse is located on the site of the Existing Courthouse, or located at another, yet to be determined site, the Judicial Council will need to evaluate whether, and to what degree, project-related features would contrast unfavorably and noticeably with their environs.
- e) Nighttime Lighting and Daytime Glare. Whether the New Nevada City Courthouse is located on the site of the Existing Courthouse, or located at another, yet to be determined site, the possibility exists that the design could include highly reflective glazing (and other materials). Accordingly, the Judicial Council will need to evaluate any potential impact associated with nighttime lighting and daytime glare.

2. AGRICULTURE AND FORESTRY RESOURCES

In the event the Judicial Council proposed to locate the New Nevada City Courthouse on a different site from that of the Existing Courthouse, the Judicial Council will need to evaluate any potential impact on agricultural or forestry resources.

3. AIR QUALITY

- a) Short-Term Construction Emissions. Regardless of which site is selected, the Judicial Council will need to evaluate the potential impacts of short-term construction emissions.
- b) Long Term Operational Emissions. Regardless of which site is selected, the Judicial Council will need to evaluate the potential impacts of long-term operational emissions.

4. BIOLOGICAL RESOURCES

- a) Wetlands, Riparian Habitat, or Other Potential Waters of the United States. Regardless of which site is selected, the Judicial Council will need to evaluate any potential impacts to wetlands, riparian habitat, or other waters of the United States.
- b) Special Status Plant Species. The Judicial Council's previous draft environmental study for the New Nevada City Courthouse indicated that the Existing Courthouse site does not have any habitat suitable for special-status plant species. However, if the Judicial Council ultimately selects another site for the project, it will need to evaluate any potential impacts to special-status plant species at that site.
- c) Special Animals. The Judicial Council's previous draft environmental study for the New Nevada City Courthouse indicated that the Existing Courthouse site does not have any habitat suitable for California red-legged frogs, western pond turtles, yellow warblers, yellow breasted chats, or California black rails. However, if the Judicial Council ultimately selects another site for the project, it will need to evaluate any potential impacts to those, or other, species at that site.
- d) Raptors and Migratory Birds. Regardless of which site is selected, the Judicial Council will need to evaluate potential impacts to active nests of raptors and migratory birds.
- e) Trees, madrone, and manzanita shrubs. The Judicial Council will need to evaluate potential impacts to trees, madrone, and manzanita shrubs based on the site ultimately selected. The Judicial Council previously identified three London plane trees and four linden trees on the site of the existing courthouse.
- f) Migratory Deer. The Judicial Council's previous draft environmental study for the New Nevada City Courthouse indicated that the Existing Courthouse site does not have any habitat suitable for migratory deer. If the Judicial Council ultimately selects another site for the project, it will need to evaluate any potential impacts to migratory deer at that site.
- g) Cumulative Impacts to Biological Resources. Regardless of which site is ultimately selected, the Judicial Council will need to evaluate the project's potential contribution of cumulative impacts to biological resources.

5. CULTURAL RESOURCES

- a) Subsurface and Historic Resources. Demolition and construction at the Existing Courthouse, or another site would include ground-disturbing activities such as infrastructure improvements, grading, trenching, pile driving, and excavating for development. Regardless of which site is selected, it is possible that construction activities will uncover prehistoric and/or historic subsurface resources. It is also possible for buried resources to be uncovered during any subsurface construction activities, and such resources and their immediate surrounding matrix could be damaged. The Judicial Council will need to evaluate the project's potential impact to subsurface and historic resources.
- b) CEQA Guidelines § 15064.5 Resources. Substantial renovations, or demolition of the Existing Courthouse would need to be evaluated as an impact to a CEQA Guidelines section 15064.5 resource, as it is a contributing structure to a NRHP District. Alternatively, relocation of the courthouse to another site would remove the historic courthouse function out of the NRHP District, and would be contrary to Nevada City's Historic and Cultural Resources objective to continue concentration of public and cultural activities which reinforce the historic core as the "heart" of Nevada City.
- c) Historic and Archeological Resources. The proposed project would likely result in a cumulatively considerable loss of historic and archaeological resources from construction at either project site. Based upon previous surveys and research, Nevada County has been inhabited by prehistoric and historic peoples for thousands of years. Over time, human activity in the area has left remnants of that activity as well as historic buildings such as the courthouse. As development continues throughout the region, cumulative development could result in archaeological resources being unearthed and damaged or destroyed, and historic buildings are often demolished when the cost of rehabilitation is too great. The removal, destruction, or significant alteration of such resources from their place of origin

would destroy their value as a resource and thus be a significant cumulative impact on cultural resources. Because all significant cultural resources are unique and non-renewable members of finite classes, all adverse effects or negative impacts erode a dwindling resources base. The loss of any one designated archaeological site or historic building affects all others in a region because these other properties are best understood completely in the context of the cultural system of which they (and the destroyed resource) were a part. Mitigation measures may somewhat reduce, but probably will not eliminate, the magnitude of the impact, the loss of archaeological resources, complete loss of a contributing structure to the National Register District, California Register, and local Nevada City Downtown Historic District. The Judicial Council will need to evaluate the proposed project's potential impact to historic and archaeological resources.

6. ENERGY

This topic will require additional study as part of the environmental review process.

7. GEOLOGY AND SOILS.

This topic will require additional study as part of the environmental review process.

8. GREENHOUSE GAS EMISSIONS

- a) Project Generated Emission of Greenhouse Gases. A previous Draft Environmental Impact Report for the project, previously proposed as demolition and reconstruction of the Existing Courthouse, ("Former DEIR") stated that the project would not generate substantial GHG emissions during construction (short-term) or operation (long-term) that would be cumulatively considerable at either the Existing Courthouse/Temporary Court sites or at another site. Further studies would be needed to evaluate whether and to what degree the project, as it will ultimately be proposed, would emit greenhouse gases.
- b) Short-Term Construction-Generated Emissions of Ozone Precursors (ROG & NOX – Both Sites). The Former DEIR noted that the project, may have short-term construction-generated emissions that would exceed Northern Sierra Air Quality Management District's significance threshold Level A for ozone precursors (reactive organic gases (ROG) and oxides of nitrogen (NOX)) and, therefore, could potentially contribute to pollutant concentrations that exceed the National and/or California Ambient Air Quality Standards (NAAQS or CAAQS). Further studies would be needed to evaluate whether and to what degree the project, as it will ultimately be proposed, would emit ozone precursors.

9. HAZARDS AND HAZARDOUS MATERIALS

- a) Exposure to Hazardous Materials During Construction and Operation. The Former DEIR for the project stated that it may result in exposure to hazardous materials during construction. More particularly, the Former DEIR stated that the Courthouse/Annex buildings and the 215 Washington Street building were constructed prior to 1977 and have the potential to contain hazardous materials such as asbestos and LBP. The Annex may have ACM in floor tile, water heater wrap and pipe wrap and the Courthouse may have ACM in floor tile. An oil leak was also identified during the Phase I ESA at the Annex. Demolition of these buildings could result in human exposure to hazardous materials contamination. Further evaluation will be required if the Judicial Council elects to proceed with the project on the Existing Courthouse site. If the Judicial Council ultimately elects to proceed with another proposed project site, it will need to evaluate potential exposure to hazardous materials in relation to that property during the environmental review process.

In addition, Former DEIR stated that although basements exist on the Courthouse and Annex sites, construction may involve additional excavation on these sites. Excavation may also be required to construct a parking lot at 215 Washington Street. The City also has an extensive history of hydraulic and lode mining throughout the 19th and 20th century. Elevated metal concentrations or abandoned mine shafts associated with these mining activities could be exposed during site excavation. Excavation could uncover unanticipated soil contamination or other hazards during project construction activities. Further evaluation will be required if the Judicial Council elects to proceed with the project on the Existing Courthouse site. If the Judicial Council ultimately elects to proceed with another proposed project site, it will need to evaluate potential exposure to hazardous materials in relation to that property during the environmental review process.

Further, regardless of which site the Judicial Council ultimately proposes for the project, the use of various paints, solvents, cements, glues, fuels, and other materials, some of which may be considered hazardous, is expected during construction and operation. While construction and maintenance workers, and others using the property, could be exposed to hazardous materials, resulting in adverse health effects, all allowable uses would be subject to compliance with federal and state hazardous materials laws and regulations, and would be monitored by the state (e.g., Cal/OSHA, DTSC, CHP) and/or local jurisdictions.

10. HYDROLOGY AND WATER QUALITY

- a) **Water Quality of Receiving Water Bodies.** The Existing Courthouse site is highly developed in an area served by a municipal stormwater system. Drainage from the sites flows to Deer Creek. Regardless of the site ultimately selected, the Judicial Council would develop the project consistent with state and federal requirements pertaining to water quality protection. Additional environmental evaluation will be required once the proposed site is selected.
- b) **Impermeable Surfaces.** Regardless of the site ultimately selected for the project, construction of the proposed project at either the Existing Courthouse or some other site will likely result in varying levels of increased impermeable surfaces and increased areas dedicated to parking lots. Further environmental studies will be required to evaluate the extent of the impact of the increase in impermeable surfaces.
- c) **Drainage.** Drainage at the Existing Courthouse site flows into the municipal drainage system. If an alternative site is selected, the Judicial Council will need to evaluate any potential drainage impacts.

11. LAND USE AND PLANNING

- a) This topic will require additional study as part of the environmental review process.

12. MINERAL RESOURCES

- b) This topic will require additional study as part of the environmental review process.

13. NOISE

- a) **Long-Term Exposure to Existing Sensitive Receptors.** Regardless of the site ultimately selected for the project, operation of the project could result in increased noise levels from stationary-sources, including parking lots. Therefore, long-term on-site operation-related stationary-source noise could result in the generation of noise levels in excess of applicable standards or create a substantial permanent increase in ambient noise levels in the project vicinity without the proposed project. Additional evaluation of this potential impact will be required as part of the environmental analysis for the project.
- b) **Short-Term Exposure of Existing Sensitive Receptors.** Regardless of the site ultimately selected, project-related demolition and construction source noise levels could result in the exposure of noise-sensitive receptors to a substantial temporary increase in ambient noise levels. Implementation of mitigation measures would help to reduce the potential for adverse reaction to construction noise. However, construction-related activities still have the potential to significantly increase ambient noise levels at sensitive receptor locations during project construction at whichever site is ultimately selected.
- c) **Vibration (Existing Courthouse).** Demolition, construction, and operation related project activities at the Existing Courthouse Site could potentially result in levels at the nearest sensitive land uses that exceed Caltrans's recommended level of 0.1 in/sec PPV with respect to the prevention of structural damage for old or historically significant buildings and FTA's maximum acceptable level of 80 VdB with respect to human response for residential uses (i.e., annoyance) or 83 VdB for institutional uses (e.g. schools, churches, clinics, offices). Additional studies pertaining to vibration will be required whether the project proceeds at the Existing Courthouse site, or whether another alternative site is selected.

14. POPULATION AND HOUSING

This topic will require additional study as part of the environmental review process.

15. PUBLIC SERVICES

This topic will require additional study as part of the environmental review process.

16. RECREATION

This topic will require additional study as part of the environmental review process.

17. TRANSPORTATION

- a) Construction Traffic. Regardless of the site ultimately selected, project demolition and construction activities will generate traffic associated with the removal of materials and the delivery of materials and equipment to the project site and construction worker trips. Although these vehicle trips would be limited to the project construction schedule, depending on the timing of the trips and local traffic conditions, these trips could result in substantial increase in traffic on local roadways. The Judicial Council will need to evaluate the project's potential impact to construction traffic.
- b) Vehicle Miles Traveled. When the previous DEIR was prepared, transportation impacts (under CEQA) were evaluated in terms of impacts to the "level of service" at nearby intersections. More recently, CEQA has been amended to evaluate impacts to transportation in terms of changes in "vehicle miles traveled." Additional studies will be required to evaluate impacts to vehicles miles travels as part of the environmental review for the proposed project.
- c) Pedestrian Safety. If an alternative site is selected for the project, the Judicial Council will need to evaluate potential impacts to pedestrian safety.
- d) Bicycle Facilities. The Former DEIR indicated that if the project were undertaken at the Existing Courthouse site that bicycle facilities would not be significantly impacted because there would be no change in the volume of courthouse users. However, if another site were selected, the Judicial Council would need to evaluate the change in the volume of bicycle traffic to the new location and the impact on existing or planned facilities.
- e) Transit Facility Effects. The Former DEIR indicated that if the project were undertaken at the Existing Courthouse site that transit facilities would not be significantly impacted because there would be no change in the volume of courthouse users. However, if another site were selected, the Judicial Council would need to evaluate the change in the volume of transit user traffic to the new location and the impact on existing or planned facilities.
- f) Local Circulation. Regardless of whichever site is ultimately selected, the Judicial Council will need to prepare a new circulation plan for the proposed project as part of the environmental review.

18. TRIBAL CULTURAL RESOURCES

- a) Regardless of the site ultimately selected for the project, the Judicial Council will be required to engage in AB 52 compliant consultation with interested local tribes as part of the environmental review process.

19. UTILITIES AND SERVICE SYSTEMS

- a) Increased Demand for Water Facilities and Treatment. Since the new project will replace the existing use and demand, the project is not anticipated to increase demand on water supplies or water treatment. However, if an alternative project site is selected, the Judicial Council may be required to extend facilities for service, or if the alternative location is outside the existing service area, there could be an increase on the demand for water facilities. This topic will require additional study as part of the environmental review process.

- b) Increased Demand for Wastewater Facilities. Since the new project will replace the existing wastewater use and demand, the project is not anticipated to increase demand on wastewater treatment. However, if an alternative project site is selected, the Judicial Council may be required to extend facilities for service, or if the alternative location is outside the existing service area, there could be an increase on the demand for wastewater facilities. This topic will require additional study as part of the environmental review process.
- c) Stormwater and Drainage Facilities. If the proposed project is located on the Existing Courthouse Site, the project would replace an existing use and demand, and would therefore not increase demand overall on stormwater or drainage facilities. If the project is located at an alternative site, it could result in an increase in the amount of runoff entering the local drainage system. This topic will require additional study as part of the environmental review process.
- d) Increased Generation of Solid Waste. Demolition of the existing courthouse, annex, and child care building at the Existing Courthouse site, and construction of the project at any site would increase the amount of construction waste generated in Nevada City. No change in operational waste would occur. The Judicial Council would need to study this topic during any subsequent environmental reviews to ensure, among other things, that adequate long-term landfill disposal capacity is available at the Ostrom Road Landfill, which would receive the solid waste generated from the project.
- e) Demand for Fire Services and Facilities. The proposed project would replace the existing use and demand, and would therefore not increase population demands on fire services. However, if an alternative site is selected for the project it could place the courthouse near to lands subject to wildland fires. This topic will require additional study as part of the environmental review process.

20. WILDFIRE

This topic will require additional study as part of the environmental review process.

The initial review indicates that all three project alternatives have potential environmental effects.

The Judicial Council is committed to selecting sites with no or least impact to environmental resources. The selected project option will complete a thorough and responsible CEQA process, including analysis of alternatives. The CEQA process will include development of a mitigation plan to lessen the effect of potential environmental impacts. The CEQA process will provide opportunity for public review and comment.

SECTION 3.6

Cost Estimates



FEASIBILITY STUDY COST PLAN

Nevada City Courthouse
Judicial Council of California

hok one bush street suite #200, san francisco , ca 94104

June 3, 2022

Project No:E6409.110

Report by **MGAC**

Analyn Apan | 213-417-7534 | aapan@mgac.com

Feasibility Study Cost Plan

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Documents / Drawings

Concept Design Narrative
Conceptual Drawings
Broker's Opinion of Value prepared for JCC by CBRE dated April 22, 2022

Schedule

The cost plan assumes the following overall schedule including COBCP process site selection & acquisition, swing space construction and move-out (Option1 & 2) and construction of parking and courthouse

Option 1 - Q3 2022 to Q4 2029
Option 2 - Q3 2022 to Q3 2029
Option 3 - Q3 2022 to Q4 2027

The cost plan assumes a the following construction start date and construction duration

Option 1 - Q1 2027 (36 months)
Option 2 - Q2 2027 (33 months)
Option 3 - Q1 2026 (24 months)

Assumptions / Clarifications

The Cost Plan is based on the following assumptions:

The contract will be competitively bid using Progressive Design and Build procurement method
The contract will be competitively bid with qualified general and main subcontractors based on 2-phase design and build process
The contractor will be required to pay the prevailing wage
The contractor will have full access to site during normal working hours

The Cost Plan Excludes the following:

Financing and legal fees
Demolition of existing Historic Courthouse & Annex Building (for Option 3)
Demolition of existing buildings and structures for new acquired properties
Any unforeseen conditions

Market Condition

All estimated construction costs are based on current unit rates and market conditions. MGAC is recommending the following annual rates of escalation to cover anticipated increases in the cost of labor and / or materials between now and at the time of bid:

YR1 - 5.0% P.A.
YR 2 - 5.0% P.A.
YR 3 and beyond - 5.00% P.A.

The above rates do not account for current volatility in certain material and skilled labor prices due to supply chain issues. This volatility may be a short-term issue and may disappear as and when the supply chain improves. Given that this project is not scheduled to bid until 2023, MGAC is not including any cost premium for this in the cost report



Feasibility Study Cost Plan

Project Budget Allocation

The information below identifies the assumptions included in this cost report relative to allocation of costs. Items listed under construction costs are included in the cost estimate and are anticipated to be part of the construction contract. Items listed under project soft costs are not included in the cost estimate and are assumed to be provided under a separate budget. Items listed as "not applicable" are assumed not to be included in any budget as the item is not required.

	Item	Project Capital Costs			Notes.
		Construction Cost.	Project Soft Cost/ Owner Cost.	Not Applicable.	
I.	PROPERTY ACQUISITION / DEVELOPMENT				
	Environmental Remediation		√		
	Property Acquisition				
	Existing Main Washington Parking Lot (PS1)		√		
	215 Washington Parking Lot (PS2)		√		
	Surface Parking Site - Option 1 & 2			√	By City of Nevada
	New Courthouse Site - Option 3		√		
	Swing Space Lot - Lease		√		
	Removal of existing buildings and structures				
	Historic Courthouse Jail Addition - Option 1	√			
	Historic Courthouse - Option 2	√			
	Annex Building - Option 2	√			
	Historic Courthouse - Option 3			√	
	Annex Building - Option 3			√	
	On-Site Utilities Relocation and/or Removal				
	Washington Street - Option 1,2	√			
	Parking Structure Site - Option 1 & 2	√			Allowance only
	Off-Site Utilities Improvements		√		
	Connection to Utilities (charges and fees)		√		
	Street/sidewalk improvements				
	Perimeter streets - Option 1,2,3	√			
	Perimeter streets - Parking Site - Option 1 & 2	√			
	Moving and Relocation Expenses				
	Superior Court - Option 1,2,3		√		
	Swing Space - Option 1 & 2	√			
II.	HAZARDOUS MATERIAL ABATEMENT				
	Building - Option 1 & 2	√			
	Site - Option 1 & 2	√			
III.	PROFESSIONAL SERVICES (Pre-GMP Phase)				



Feasibility Study Cost Plan

Project Budget Allocation

The information below identifies the assumptions included in this cost report relative to allocation of costs. Items listed under construction costs are included in the cost estimate and are anticipated to be part of the construction contract. Items listed under project soft costs are not included in the cost estimate and are assumed to be provided under a separate budget. Items listed as "not applicable" are assumed not to be included in any budget as the item is not required.

	Item	Project Capital Costs			Notes.
		Construction Cost.	Project Soft Cost/ Owner Cost.	Not Applicable.	
	Architecture and Engineering Design Fees (D&B Contract)	√			
	Project Management Fees		√		
	Geotechnical & Survey	√			
	LEED Consultant Fees	√			
	LEED Certification Fees	√			
IV.	PROFESSIONAL SERVICES (Post-GMP Phase)				
	Architecture and Engineering Design Fees (D&B Contract)	√			
	Project Management Fees		√		
	Materials Testing & Inspection	√			
	Third Party Commissioning		√		
	LEED Consultant Fees	√			
	LEED Certification Fees	√			
IV.	SYSTEMS, FURNISHINGS & EQUIPMENT				
	a. BUILDING SYSTEMS				
	Uninterruptible Power Supplies (UPS)	√			
	Pathways to Data / Voice/Audio-Video Communications System	√			
	Structured Cabling to Data / Voice/ Audio-Video Communications System	√			
	Data / communications hardware and peripherals - computers, laptops, tablets, telephone handsets, printers, scanners and other peripherals		√		
	Pathways to Distributed communication and monitoring	√			
	Structured cabling/ equipment to Distributed communication and monitoring	√			
	Pathways to Court communication and monitoring	√			
	Structured cabling and equipment to Courts communication and monitoring	√			
	Distributed antenna systems (pathways/ cabling / equipment)	√			



Feasibility Study Cost Plan

Project Budget Allocation

The information below identifies the assumptions included in this cost report relative to allocation of costs. Items listed under construction costs are included in the cost estimate and are anticipated to be part of the construction contract. Items listed under project soft costs are not included in the cost estimate and are assumed to be provided under a separate budget. Items listed as "not applicable" are assumed not to be included in any budget as the item is not required.

Item	Project Capital Costs			Notes.
	Construction Cost.	Project Soft Cost/ Owner Cost.	Not Applicable.	
Security equipment and cabling	√			
Fire alarm system (equipment and cabling)	√			
Audio-Visual Equipment and Cabling				
Speakers	√			
TV Monitors	√			
Digital Signage	√			
Building Controls Systems	√			
b. FURNITURE				
Movable				
Court Furniture (chairs, lectern)	√			
Office Furniture (workstations)	√			
Loose Furniture		√		
Fixed				
Courtroom Millwork	√			
Court Benches	√			
Spectator low walls	√			
Site Furniture - fixed	√			
c. FURNISHINGS				
Window Treatments	√			
Markerboards and tackboards	√			
Lockers and benches	√			
Artworks		√		
d. EQUIPMENT				
Building Maintenance / Window Washing Equipment	√			
Parking Equipment	√			
Magnetometer		√		
Turnstiles		√		
Loading Dock Equipment	√			
Other Equipment		√		
e. SIGNAGE				
Directional Signage	√			
Informational and Identification Signage	√			
Code Required Signage	√			
Digital Signage	√			



Feasibility Study Cost Plan

Project Budget Allocation

The information below identifies the assumptions included in this cost report relative to allocation of costs. Items listed under construction costs are included in the cost estimate and are anticipated to be part of the construction contract. Items listed under project soft costs are not included in the cost estimate and are assumed to be provided under a separate budget. Items listed as "not applicable" are assumed not to be included in any budget as the item is not required.

	Item	Project Capital Costs			Notes.
		Construction Cost.	Project Soft Cost/ Owner Cost.	Not Applicable.	
	Donor wall		√		
	f. SPECIAL CONSTRUCTION				
V.	PROCUREMENT				
	Bid Advertising, Printing and Mailing - For D&B Contract		√		
	Stipends - For D&B Contract Proposers		√		
	Bid Advertising, Printing and Mailing - For Trade Contract /Subcontractors	√			
	Plan Checking	√			
	GC's Bonds	√			
	Sub-contractor bonds	√			
	Insurance	√			<i>Professional liability insurance by Contractor</i>
	g. CONTINGENCIES				
	Design Contingency	√			
	Construction Contingency	√			
	Owner's Contingency		√		
	h. ESCALATION				
	Escalation from the date of the cost plan to start date of construction		√		<i>To planned start date of construction</i>
	Future escalation (from start date of construction to midpoint of construction)	√			<i>To planned mid-point of construction</i>



Feasibility Study Cost Plan

Project Costs Comparative Summary

	Option 1 - Renovation of Existing Courthouse			Option 2 - Replacement of Existing Courthouse			Option 3 - New Courthouse		
	SF	\$/SF	TOTAL \$	SF	\$/SF	TOTAL \$ x 1,000	SF	\$/SF	TOTAL \$ x 1,000
I CONSTRUCTION COSTS	79,756	1,677.87	133,820,000	77,233	1,926.84	148,816,000	77,233	1,460.49	112,798,000
II PROJECT SOFT COSTS			36,131,400			40,180,320			30,455,460
III PROPERTY ACQUISITION COSTS			5,005,000			4,997,500			4,550,000
IV OPERATIONAL COSTS			<i>Excluded</i>			<i>Excluded</i>			<i>Excluded</i>
PROJECT TOTAL (May 2022)	¹		174,956,400			193,993,820			147,803,460
V Escalation (from May 2022 to midpoint)	25.62%		44,823,830	27.16%		52,688,722	19.64%		29,028,600
RECOMMENDED BUDGET	²		219,780,230	-		246,682,542			176,832,060

VI. ALTERNATE COSTS FOR OPTION 3 - SITE:²

Option 3A - 631 Coyote Street US Forestry Service Parcel	(414,418)
Option 3B - Nevada Government Center	1,036,046
Option 3C - 15434 State Highway 49 Nevada County Juvenile Hall	3,004,533

Note:

- Project costs based on May 2022 pricing level
- Project costs include escalation up to start date of construction as per schedule (escalation from start date of construction to midpoint of construction is included in Construction Costs)
- Represents the premium costs for potential future site for Option 3 (including enabling works - demolition / rough grading /provision of new utilities to site or relocation / roadway access/ provision of traffic signals)



Feasibility Study Cost Plan

Project Costs Comparative Summary

	Option 1 - Renovation of Existing Courthouse				Option 2 - Replacement of Existing Courthouse				Option 3 - New Courthouse						
	SF	\$/SF	TOTAL \$ x 1,000	%	SF	\$/SF	TOTAL \$ x 1,000	%	SF	\$/SF	TOTAL \$ x 1,000	%			
I CONSTRUCTION COSTS	79,756	1,677.87	133,820	61%	77,233	1,926.84	148,816	60%	77,233	1,460.49	112,798	64%			
II PROJECT SOFT COSTS	27%	79,756	453.02	36,131	16%	77,233	520.25	40,180	16%	77,233	394.33	30,455	17%		
III PROPERTY ACQUISITION COSTS	79,756	62.75	5,005	2%	77,233	64.71	4,998	2%	77,233	58.91	4,550	3%			
Existing Main Washington Parking Lot *			560	"			560	"							
Downtown Parking Lot *			560	"			560	"							
90 Existing Spaces Surface Parking **			0	**			0	**							
Old Courthouse Site ***			3,750	***			3,750	***							
New Courthouse Site ****											4,550	****			
Swing Space Site *****			135	*****			128	*****							
IV OPERATIONAL COSTS	79,756	0.00	Excluded	0%	77,233	0.00	Excluded	0%	77,233	0.00	Excluded	0%			
SUB-TOTAL (May 2022)	¹	79,756	2,193.65	174,956	80%	77,233	2,511.80	193,994	79%	77,233	1,913.73	147,803	84%		
V Escalation (from May 2022 to Start Date)	25.62%	43,000	1,042.41	44,824	20%	27.16%	43,000	1,225.32	52,689	21%	19.64%	95,000	305.56	29,029	16%
TOTAL including Escalation to Start Date	²	79,756	2,755.66	219,780	100%	77,233	3,194.00	246,683	100%	77,233	2,289.59	176,832	100%		

VI. ALTERNATE COSTS FOR OPTION 3 - SITE ²

Option 3A - 631 Coyote Street US Forestry Service Parcel	(414)
Option 3B - Nevada Government Center	1,036
Option 3C - 15434 State Highway 49 Nevada County Juvenile Hall	3,005

VII. VARIANCE FROM OPTION 1

26,902 (39,944) Option 3C

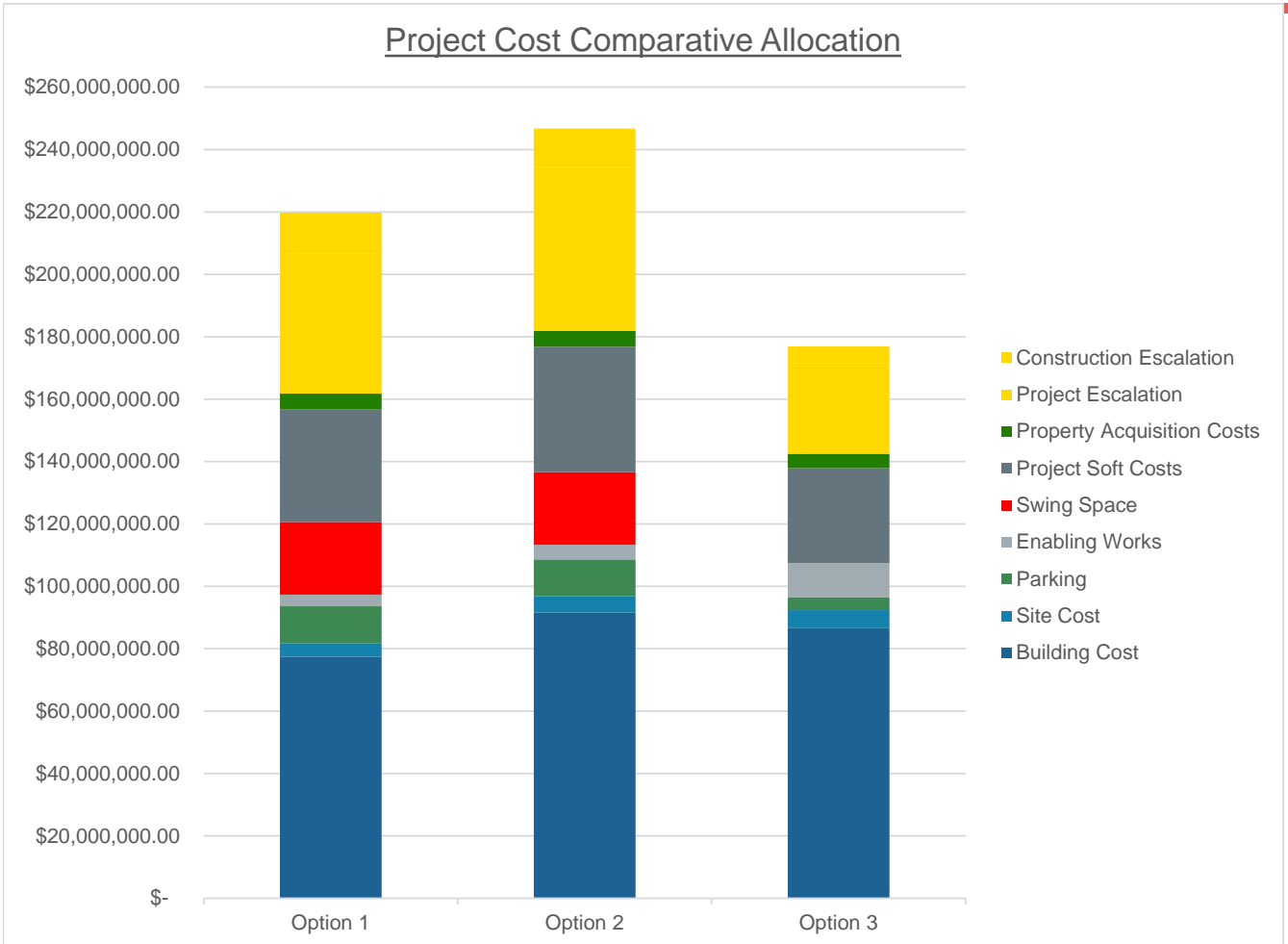
Note:

- * Land costs covered by Nevada City; garage costs covered by Judicial Council
- ** Surface parking paid by Nevada City
- *** Represents JCC Share of the Existing Courthouse Site
- **** Allowance for acquisition of new courthouse location
- ***** Swing space Ground lease based on \$30,000/year

¹ Project costs based on May 2022 pricing level

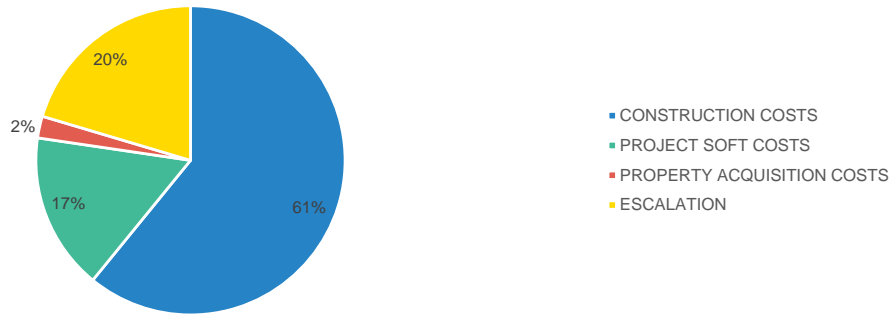
² Project costs include escalation up to start date of construction as per schedule (escalation from start date of construction to midpoint of construction is included in Construction Costs)

3. Represents the premium costs for potential future site for Option 3 (including enabling works - demolition / rough grading /provision of new utilities to site or relocation / roadway access/ provision of traffic signals)

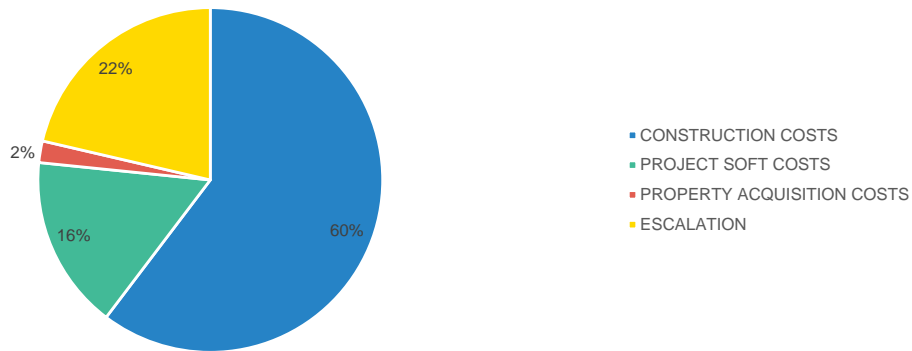


Project Cost Comparative Allocation

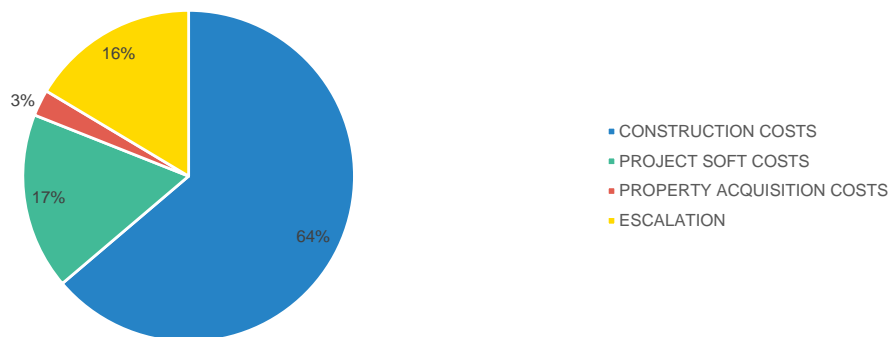
Option 1



Option 2



Option 3



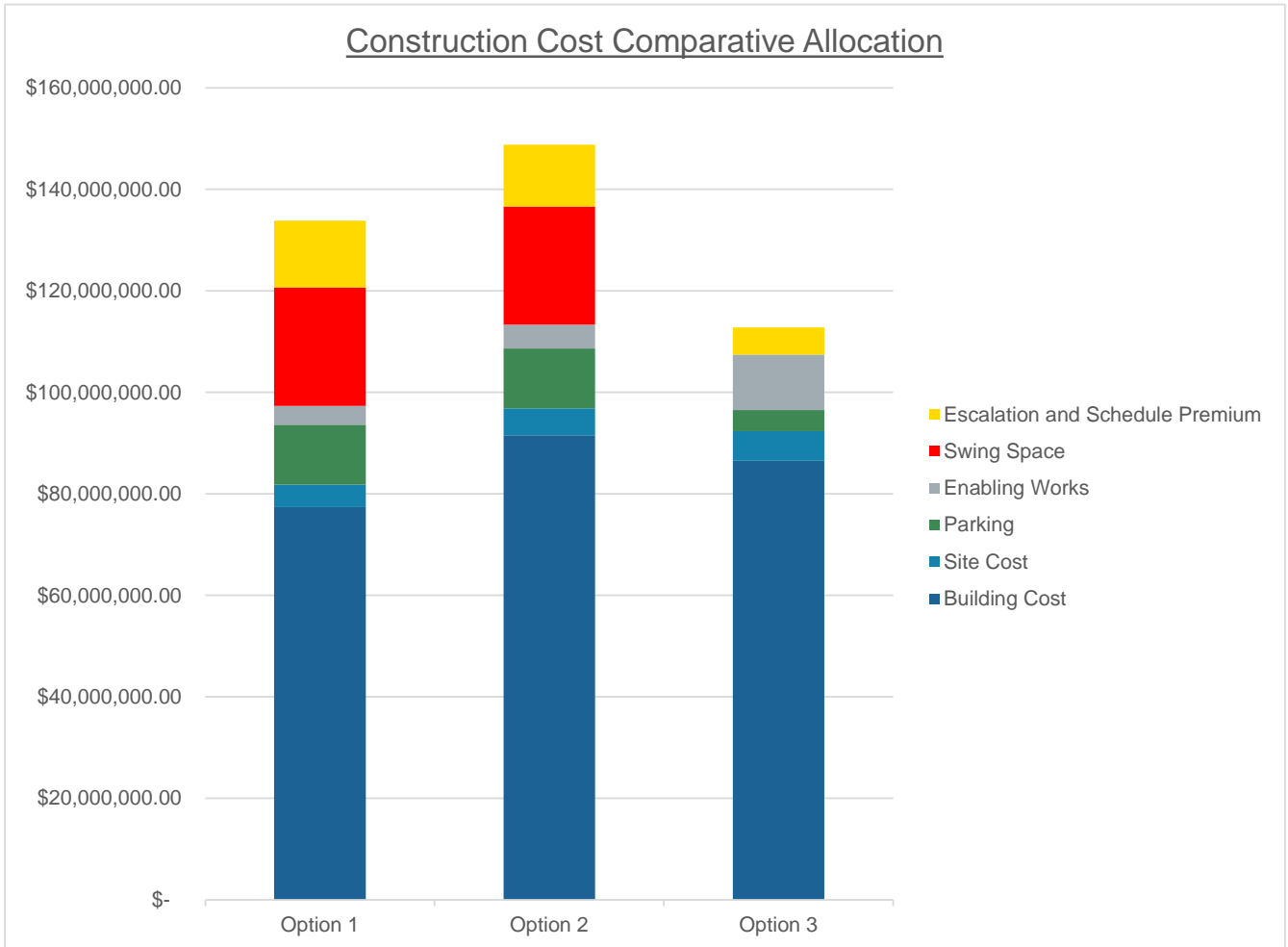
Feasibility Study Cost Plan

Construction Costs Comparative Summary

Item Descriptions	Option 1 - Renovation of Existing Courthouse				Option 2 - Replacement of Existing Courthouse				Option 3 - New Courthouse			
	SF	\$/SF	TOTAL \$ x 1,000	%	SF	\$/SF	TOTAL \$ x 1,000	%	SF	\$/SF	TOTAL \$ x 1,000	%
B1 Demolition / Enabling Works	79,756	40.04	3,193	2%			Included in S1	0%				0%
B2 Historic Preservation / Rehabilitation	79,756	25.67	2,048	2%			N/A	0%				0%
B3 Structural / Seismic Upgrades	79,756	120.85	9,638	7%				0%				0%
B4 Code / System Upgrades	79,756	433.37	34,564	26%			Included	0%			Included	0%
B5 Interior Construction	53,893	375.51	20,237	15%	53,893	808.19	43,556	29%	53,893	808.19	43,556	39%
B6 Swing Space	34,200	681.59	23,310	17%	34,200	681.59	23,310	16%				0%
B7 New Construction / Expansion - Core & Shell	79,756	81.76	6,521	5%	77,233	564.47	43,596	29%	77,233	499.80	38,601	34%
B8 Phasing / Temporary Construction / Schedule Premium	79,756	47.05	3,753	3%	77,233	36.44	2,815	2%	77,233	0.00	0	0%
TOTAL BUILDING	79,756	1,294.74	103,264	77%	77,233	1,466.69	113,277	76%	77,233	1,063.76	82,157	73%
	Option 1 - Existing Courthouse Site				Option 2 - Existing Courthouse Site				Option 3 - New Courthouse Site			
	SF	\$/SF	TOTAL \$ x 1,000	%	SF	\$/SF	TOTAL \$ x 1,000	%	SF	\$/SF	TOTAL \$ x 1,000	%
S1 Demolition / Enabling Works / Utility Relocation /Site Prep	43,000	12.14	522	0%	43,000	108.90	4,683	3%	95,000	114.89	10,914	10%
S2A Site Development - Existing Site	14,186	48.92	694	1%	21,611	73.36	1,585	1%				0%
S2B Site Development - New Site				0%				0%	67,104	62.09	4,167	4%
S3 Link / Connection	43,000	0.00	Included	0%			N/A	0%			N/A	0%
S4 Parking	62,000	190.16	11,790	9%	62,000	190.16	11,790	8%	102,000	40.63	4,144	4%
S5 Off-Site / Street Improvement	102,000	36.56	3,729	3%	102,000	36.56	3,729	3%	102,000	16.31	1,664	1%
TOTAL SITEWORK	43,000	389.20	16,735	13%	43,000	506.69	21,787	15%	95,000	219.88	20,889	19%
SUB-TOTAL BUILDING AND SITEWORK			119,999	90%			119,545	80%			97,238	86%
F1 IT - Data, Communication & Security	79,756	30.73	2,451	2%	77,233	31.74	2,451	2%	77,233	31.74	2,451	2%
F2 FF&E - Movable Furnishings & Equipment	79,756	24.20	1,930	1%	77,233	24.99	1,930	1%	77,233	24.99	1,930	2%
TOTAL FF&E & IT	43,000	101.88	4,381	3%	43,000	608.57	26,168	18%	95,000	266.00	25,270	22%
TOTAL BUILDING, SITEWORK, IT & FF&E			124,380	93%			139,445	94%			107,427	95% ¹
Z30 Escalation (from Start Date to Midpoint of Construction) 7.59%			9,440	7%	6.72%		9,371	6%	5.00%		5,371	5%
RECOMMENDED BUDGET			133,820	100%			148,816	100%			112,798	100% ²
Variance from Option 1							14,996				(21,022)	
COST METRICS												
I. Area / Court	13,293	SF/Court			12,872	SF/Court			12,872	SF/Court		
II. Cost / GFA	79,756	1,677.87	133,820		77,233	1,926.84	148,816		77,233	1,460.49	112,798	
III. Cost / Program Area	53,893	2,483.07	133,820		53,893	2,761.32	148,816		53,893	2,093.00	112,798	
IV. Building Cost / Court	6	13,430,333	80,582		6	15,255,500	91,533		6	14,423,000	86,538	
V. Building Cost / GFA	79,756	1,010.36	80,582		77,233	1,185.15	91,533		77,233	1,120.48	86,538	
VI. Building Cost / CF	1,055,486	76	80,582		1,351,090	68	91,533		1,332,341	65	86,538	

Note:

- 1 Represent Recommended Total Construction Costs current at the date of the Cost Estimate
- 2 Represent Recommended Total Construction Costs at the time of bid (included future escalation to midpoint)



		1		2		3		4		5		6		7		8		9		10		
		TOTAL		Option 1 - Renovation of Existing Courthouse		Option 1 - Interiors & Services		Movable Furniture & Equipment		Data, Communications & Security		Total Building		Parking Structure - Main Street		Option 1 - Existing Courthouse Site		Perimeter Street Improvements		Sitework Total		
		%	\$/SF	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	
Gross Area:			79,756 SF																		145,000 SF	
A10	Foundations	3%	38.68	3,085	25.08	2,000	0.00	0	0.00	0	0.00	0	25.08	2,000	17.50	1,085						
A20	Basement Construction	2%	20.78	1,657	1.13	90	0.00	0	0.00	0	0.00	0	1.13	90	25.28	1,567						
A	Substructure	5%	59.46	4,742	26.21	2,090	0.00	0	0.00	0	0.00	0	26.21	2,090	42.78	2,652						
B10	Superstructure	10%	120.39	9,602	100.95	8,052	0.00	0	0.00	0	0.00	0	100.95	8,052	25.00	1,550						
B20	Exterior Enclosure	6%	69.60	5,551	55.92	4,460	0.00	0	0.00	0	0.00	0	55.92	4,460	17.60	1,091						
B30	Roofing	1%	15.55	1,240	10.88	868	0.00	0	0.00	0	0.00	0	10.88	868	6.00	372						
B	Shell	17%	205.53	16,393	167.75	13,379	0.00	0	0.00	0	0.00	0	167.75	13,379	48.60	3,013						
C10	Interior Construction	7%	79.62	6,350	17.26	1,376	85.83	4,626	0.00	0	0.00	0	75.26	6,002	5.62	348						
C20	Stairways	2%	18.87	1,505	17.11	1,365	0.00	0	0.00	0	0.00	0	17.11	1,365	2.26	140						
C30	Interior Finishes	5%	58.21	4,643	11.96	954	63.87	3,442	0.00	0	0.00	0	55.12	4,396	3.98	247						
C	Interiors	13%	156.70	12,498	46.33	3,695	149.70	8,068	0.00	0	0.00	0	147.49	11,763	11.85	735						
D10	Conveying Systems	2%	25.20	2,010	21.94	1,750	0.00	0	0.00	0	0.00	0	21.94	1,750	4.19	260						
D20	Plumbing Systems	2%	19.25	1,535	0.00	0	22.16	1,194	0.00	0	0.00	0	14.97	1,194	5.50	341						
D30	Heating, Ventilation & Air Conditioning	6%	79.20	6,316	0.00	0	115.81	6,241	0.00	0	0.00	0	78.26	6,241	1.21	75						
D40	Fire Protection	1%	12.39	988	0.00	0	12.58	678	0.00	0	0.00	0	8.50	678	5.00	310						
D50	Electrical Lighting, Power & Communications	11%	136.19	10,862	0.00	0	157.38	8,482	0.00	0	1.714	127.84	10,196	10.74	666							
D	Services	22%	272.22	21,711	21.94	1,750	307.93	16,595	0.00	0	1.714	251.51	20,060	26.64	1,652							
E10	Equipment	1%	10.90	870	0.88	70	9.55	515	1.67	90	1.67	0	8.46	675	3.15	195						
E20	Furnishings	3%	34.61	2,760	0.00	0	27.83	1,500	23.38	1,260	23.38	0	34.61	2,760	0.00	0						
E	Equipment & Furnishings	4%	45.51	3,630	0.88	70	37.38	2,015	25.05	1,350	25.05	0	43.06	3,435	3.15	195						
F10	Special Construction	0%	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0						
F20	Selective Demolition	4%	53.27	4,249	53.27	4,249	0.00	0	0.00	0	0.00	0	53.27	4,249	0.00	0						
F	Special Construction & Demolition	4%	53.27	4,249	53.27	4,249	0.00	0	0.00	0	0.00	0	53.27	4,249	0.00	0						
G10	Site Preparation	0%	1.26	100													2.34	100	0.00	0	0.69	100
G20	Site Improvements	0%	6.09	485													11.29	485	0.00	0	3.35	485
G30	Site Mechanical Utilities	0%	1.66	133													3.08	133	0.00	0	0.91	133
G40	Site Electrical Utilities	0%	1.66	132													3.07	132	0.00	0	0.91	132
G90	Other Site Construction	3%	32.71	2,609													0.00	0	25.58	2,609	17.99	2,609
G	Building Sitework	4%	43.37	3,459													19.78	851	25.58	2,609	23.86	3,459
ELEMENTAL COST BEFORE CONTINGENCIES		89%	836.08	66,682	316.39	25,234	495.01	26,678	25.05	1,350	25.05	1,714	689.30	54,976	133.02	8,247	19.78	851	25.58	2,609	23.86	3,459
Z10	Design Contingency	15.00%	119.86	9,559	47.46	3,785	74.25	4,002	3.01	162	3.01	206	102.24	8,154	15.96	990	2.37	102	3.07	313	2.86	415
Z11	General Requirements	4.00%	38.24	3,050	14.55	1,161	22.77	1,227	1.12	60	1.12	77	31.66	2,525	5.96	369	0.89	38	1.15	117	1.07	155
Z12	Construction Contingency	3.00%	29.83	2,379	11.35	905	17.76	957	0.88	47	0.88	60	24.70	1,970	4.65	288	0.69	30	0.89	91	0.83	121
Z13	Other 3	0.00%	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0
ELEMENTAL COST INCLUDING CONTINGENCIES		84%	1,023.99	81,670	389.75	31,085	609.79	32,864	30.05	1,620	30.05	2,057	847.90	67,625	159.58	9,894	23.73	1,020	30.68	3,130	28.62	4,150
Z21	General Conditions	6.00%	61.44	4,900	23.39	1,865	36.59	1,972	1.80	97	1.80	123	50.87	4,058	9.58	594	1.42	61	1.84	188	1.72	249
Z22	Bonds & Insurance	2.00%	21.71	1,731	8.26	659	12.93	697	0.64	34	0.64	44	17.98	1,434	3.38	210	0.50	22	0.65	66	0.61	88
Z23	Contractor's Overhead, Profit & Fee	3.00%	33.21	2,649	12.64	1,008	19.78	1,066	0.97	53	0.97	67	27.50	2,193	5.18	321	0.77	33	1.00	102	0.93	135
Z24	Design & Build Fee	7.00%	79.82	6,367	30.38	2,423	47.54	2,562	2.34	126	2.34	160	66.10	5,272	12.44	771	1.85	80	2.39	244	2.23	324
CONSTRUCTION COST BEFORE ESCALATION		100%	1,220.18	97,317	464.43	37,041	726.62	39,160	35.81	1,930	35.81	2,451	1,010.36	80,582	190.16	11,790	28.28	1,216	36.56	3,729	34.11	4,945
Z30	Escalation Is Not Included	0%	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0
RECOMMENDED BUDGET - June, 2022		100%	1,220.18	97,317	464.43	37,041	726.62	39,160	35.81	1,930	35.81	2,451	1,010.36	80,582	190.16	11,790	28.28	1,216	36.56	3,729	34.11	4,945

Feasibility Study - Cost Plan

Detailed Cost Summary - Option 2

1			2		3		5		4		6		7		8		9		10				
TOTAL			Option 2 - Replacement of Existing Courthouse		Option 2 - Interiors & Services		Movable Furniture & Equipment		Data, Communications & Security		Total Building		Parking Structure - Main Street		Option 2 - Existing Courthouse Site		Perimeter Street Improvements		Sitework Total				
%	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL			
Gross Area: 77,233 SF			77,233 SF		53,893 SF		77,233 SF		53,893 SF		77,233 SF		62,000 SF		43,000 SF		102,000 SF		145,000 SF				
A10	Foundations	2%	34.06	2,631	20.01	1,546	0.00	0	0.00	0	20.01	1,546	17.50	1,085									
A20	Basement Construction	4%	59.88	4,625	39.59	3,058	0.00	0	0.00	0	39.59	3,058	25.28	1,567									
A	Substructure	6%	93.94	7,255	59.60	4,603	0.00	0	0.00	0	59.60	4,603	42.78	2,652									
B10	Superstructure	11%	155.29	11,994	135.23	10,444	0.00	0	0.00	0	135.23	10,444	25.00	1,550									
B20	Exterior Enclosure	9%	135.91	10,496	121.78	9,405	0.00	0	0.00	0	121.78	9,405	17.60	1,091									
B30	Roofing	2%	24.87	1,921	20.05	1,549	0.00	0	0.00	0	20.05	1,549	6.00	372									
B	Shell	22%	316.07	24,411	277.05	21,398	0.00	0	0.00	0	277.05	21,398	48.60	3,013									
C10	Interior Construction	7%	95.87	7,405	16.68	1,288	74.68	5,768	0.00	0	91.36	7,056	5.62	348									
C20	Stairways	1%	11.14	860	9.32	720	0.00	0	0.00	0	9.32	720	2.26	140									
C30	Interior Finishes	6%	88.27	6,818	12.71	981	72.37	5,590	0.00	0	85.08	6,571	3.98	247									
C	Interiors	13%	195.28	15,082	38.71	2,989	147.06	11,358	0.00	0	185.77	14,347	11.85	735									
D10	Conveying Systems	2%	22.85	1,765	19.49	1,505	0.00	0	0.00	0	19.49	1,505	4.19	260									
D20	Plumbing Systems	1%	21.74	1,679	0.00	0	17.32	1,338	0.00	0	17.32	1,338	5.50	341									
D30	Heating, Ventilation & Air Conditioning	5%	80.55	6,221	0.00	0	79.58	6,146	0.00	0	79.58	6,146	1.21	75									
D40	Fire Protection	1%	11.51	889	0.00	0	7.50	579	0.00	0	7.50	579	5.00	310									
D50	Electrical Lighting, Power & Communications	10%	147.75	11,411	0.00	0	116.93	9,031	0.00	31.81	138.74	10,746	10.74	666									
D	Services	19%	284.41	21,966	19.49	1,505	221.34	17,095	0.00	31.81	263.15	20,314	26.64	1,652									
E10	Equipment	1%	10.35	800	0.00	0	6.66	515	1.67	90	7.83	605	3.15	195									
E20	Furnishings	2%	35.74	2,760	0.00	0	19.42	1,500	23.38	1,260	35.74	2,760	0.00	0									
E	Equipment & Furnishings	3%	46.09	3,560	0.00	0	26.09	2,015	25.05	1,350	43.57	3,365	3.15	195									
F10	Special Construction	0%	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0									
F20	Selective Demolition	0%	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0									
F	Special Construction & Demolition	0%	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0									
G10	Site Preparation	3%	38.41	2,966											68.98	2,966	0.00	0	20.46	2,966			
G20	Site Improvements	1%	14.36	1,109											25.79	1,109	0.00	0	7.65	1,109			
G30	Site Mechanical Utilities	0%	2.00	155											3.60	155	0.00	0	1.07	155			
G40	Site Electrical Utilities	0%	2.00	154											3.59	154	0.00	0	1.06	154			
G90	Other Site Construction	2%	33.78	2,609											0.00	0	25.58	2,609	17.99	2,609			
G	Building Sitework	6%	90.55	6,993											101.96	4,384	25.58	2,609	48.23	6,993			
ELEMENTAL COST BEFORE CONTINGENCIES			70%	1,026.34	79,267	394.85	30,495	394.48	30,467	25.05	1,350	31.81	1,714	829.01	64,027	133.02	8,247	101.96	4,384	25.58	2,609	48.23	6,993
Z10	Design Contingency	12.00%			47.38	3,659	47.34	3,656	3.01	162	3.82	206	99.48	7,683	15.96	990	12.24	526	3.07	313	5.79	839	
Z11	General Requirements	4.00%			17.69	1,366	17.67	1,365	1.12	60	1.43	77	37.14	2,868	5.96	369	4.57	196	1.15	117	2.16	313	
Z12	Construction Contingency	3.00%			13.80	1,066	13.78	1,065	0.88	47	1.11	60	28.97	2,237	4.65	288	3.56	153	0.89	91	1.69	244	
Z13	Other 3	0.00%			0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	
ELEMENTAL COST INCLUDING CONTINGENCIES			84%	1,231.34	95,100	473.72	36,587	473.28	36,553	30.05	1,620	38.17	2,057	994.60	76,816	159.58	9,894	122.33	5,260	30.68	3,130	57.86	8,390
Z21	General Conditions	6.00%			28.42	2,195	28.40	2,193	1.80	97	2.29	123	59.68	4,609	9.58	594	7.34	316	1.84	188	3.47	503	
Z22	Bonds & Insurance	2.00%			10.04	776	10.03	775	0.64	34	0.81	44	21.09	1,629	3.38	210	2.59	112	0.65	66	1.23	178	
Z23	Contractor's Overhead, Profit & Fee	3.00%			15.37	1,187	15.35	1,186	0.97	53	1.24	67	32.26	2,492	5.18	321	3.97	171	1.00	102	1.88	272	
Z24	Design & Build Fee	7.00%			36.93	2,852	36.89	2,849	2.34	126	2.98	160	77.53	5,988	12.44	771	9.54	410	2.39	244	4.51	654	
CONSTRUCTION COST BEFORE ESCALATION			100%	1,467.26	113,321	564.47	43,596	563.96	43,556	35.81	1,930	45.48	2,451	1,185.15	91,533	190.16	11,790	145.77	6,268	36.56	3,729	68.95	9,997
Z30	Escalation Is Not Included	0%			0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	
RECOMMENDED BUDGET - June, 2022			100%	1,467.26	113,321	564.47	43,596	563.96	43,556	35.81	1,930	45.48	2,451	1,185.15	91,533	190.16	11,790	145.77	6,268	36.56	3,729	68.95	9,997

		1		2		3		4		5		6		7		8		9		10		
		TOTAL		Option 3 - New Courthouse		Option 3 - Interiors & Services		Movable Furniture & Equipment		Data, Communications & Security		Total Building		Parking - New Courthouse Site		Option 3 - New Courthouse Site		Perimeter Street Improvements		Sitework Total		
		%	\$/SF	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	\$/SF	TOTAL	
Gross Area:			77,233 SF	77,233 SF		53,893 SF		77,233 SF		53,893 SF		77,233 SF		102,000 SF		95,000 SF		102,000 SF		197,000 SF		
A10	Foundations	2%	24.54	1,895	24.54	1,895	0.00	0	0.00	0	0.00	0	24.54	1,895								
A20	Basement Construction	0%	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0								
A	Substructure	2%	24.54	1,895	24.54	1,895	0.00	0	0.00	0	0.00	0	24.54	1,895								
B10	Superstructure	9%	127.29	9,831	127.29	9,831	0.00	0	0.00	0	0.00	0	127.29	9,831								
B20	Exterior Enclosure	9%	125.95	9,727	125.95	9,727	0.00	0	0.00	0	0.00	0	125.95	9,727								
B30	Roofing	1%	16.01	1,237	16.01	1,237	0.00	0	0.00	0	0.00	0	16.01	1,237								
B	Shell	19%	269.26	20,795	269.26	20,795	0.00	0	0.00	0	0.00	0	269.26	20,795								
C10	Interior Construction	6%	88.14	6,808	13.46	1,039	74.68	5,768	0.00	0	0.00	0	88.14	6,808								
C20	Stairways	1%	10.36	800	10.36	800	0.00	0	0.00	0	0.00	0	10.36	800								
C30	Interior Finishes	7%	91.11	7,037	18.74	1,447	72.37	5,590	0.00	0	0.00	0	91.11	7,037								
C	Interiors	14%	189.61	14,644	42.55	3,287	147.06	11,358	0.00	0	0.00	0	189.61	14,644								
D10	Conveying Systems	1%	17.41	1,345	17.41	1,345	0.00	0	0.00	0	0.00	0	17.41	1,345								
D20	Plumbing Systems	1%	17.32	1,338	0.00	0	17.32	1,338	0.00	0	0.00	0	17.32	1,338								
D30	Heating, Ventilation & Air Conditioning	6%	79.58	6,146	0.00	0	79.58	6,146	0.00	0	0.00	0	79.58	6,146								
D40	Fire Protection	1%	7.50	579	0.00	0	7.50	579	0.00	0	0.00	0	7.50	579								
D50	Electrical Lighting, Power & Communications	10%	139.13	10,746	0.00	0	116.93	9,031	0.00	0	31.81	1,714	139.13	10,746								
D	Services	19%	260.95	20,154	17.41	1,345	221.34	17,095	0.00	0	31.81	1,714	260.95	20,154								
E10	Equipment	1%	8.74	675	0.91	70	6.66	515	1.67	90	0.00	0	8.74	675								
E20	Furnishings	3%	35.74	2,760	0.00	0	19.42	1,500	23.38	1,260	0.00	0	35.74	2,760								
E	Equipment & Furnishings	3%	44.47	3,435	0.91	70	26.09	2,015	25.05	1,350	0.00	0	44.47	3,435								
F10	Special Construction	0%	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0								
F20	Selective Demolition	0%	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0								
F	Special Construction & Demolition	0%	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0								
G10	Site Preparation	5%	63.74	4,923									1.44	147	50.27	4,776	0.00	0	24.24	4,776		
G20	Site Improvements	5%	68.60	5,298									23.09	2,355	30.98	2,943	0.00	0	14.94	2,943		
G30	Site Mechanical Utilities	1%	17.27	1,334									3.00	306	10.82	1,028	0.00	0	5.22	1,028		
G40	Site Electrical Utilities	0%	6.79	524									1.17	119	4.26	405	0.00	0	2.06	405		
G90	Other Site Construction	2%	34.49	2,664									0.00	0	15.79	1,500	11.41	1,164	13.52	2,664		
G	Building Sitework	14%	190.88	14,742									28.70	2,927	112.12	10,652	11.41	1,164	59.98	11,815		
ELEMENTAL COST BEFORE CONTINGENCIES		71%	979.72	75,666	354.67	27,392	394.48	30,467	25.05	1,350	31.81	1,714	788.83	60,924	28.70	2,927	112.12	10,652	11.41	1,164	59.98	11,815
Z10	Design Contingency	12.00%	117.57	9,080	42.56	3,287	47.34	3,656	3.01	162	3.82	206	94.66	7,311	3.44	351	13.45	1,278	1.37	140	7.20	1,418
Z11	General Requirements	3.00%	37.95	2,931	11.92	920	17.67	1,365	1.12	60	1.43	77	31.37	2,423	0.96	98	3.77	358	0.51	52	2.08	410
Z12	Construction Contingency	3.00%	34.06	2,630	12.27	948	13.78	1,065	0.88	47	1.11	60	27.45	2,120	0.99	101	3.88	369	0.40	41	2.08	409
Z13	Other 3	0.00%	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0
ELEMENTAL COST INCLUDING CONTINGENCIES		84%	1,169.29	90,308	421.43	32,548	473.28	36,553	30.05	1,620	38.17	2,057	942.31	72,777	34.10	3,478	133.22	12,656	13.69	1,396	71.33	14,053
Z21	General Conditions	5.50%	68.05	5,256	23.18	1,790	28.40	2,193	1.80	97	2.29	123	54.43	4,204	2.05	209	7.99	759	0.82	84	4.28	843
Z22	Bonds & Insurance	2.00%	24.75	1,911	8.89	687	10.03	775	0.64	34	0.81	44	19.93	1,540	0.72	74	2.82	268	0.29	30	1.51	298
Z23	Contractor's Overhead, Profit & Fee	3.00%	37.86	2,924	13.60	1,051	15.35	1,186	0.97	53	1.24	67	30.50	2,356	1.11	113	4.32	411	0.44	45	2.31	456
Z24	Design & Build Fee	7.00%	89.59	6,919	32.70	2,525	36.89	2,849	2.34	126	2.98	160	73.30	5,661	2.66	271	10.39	987	0.00	0	5.01	987
CONSTRUCTION COST BEFORE ESCALATION		100%	1,389.54	107,318	499.80	38,601	563.96	43,556	35.81	1,930	45.48	2,451	1,120.48	86,538	40.63	4,144	158.75	15,081	15.24	1,555	84.45	16,636
Z30	Escalation Is Not Included	0%	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0
RECOMMENDED BUDGET - June, 2022		100%	1,389.54	107,318	499.80	38,601	563.96	43,556	35.81	1,930	45.48	2,451	1,120.48	86,538	40.63	4,144	158.75	15,081	15.24	1,555	84.45	16,636



Feasibility Study Cost Plan

Option 1 - Renovation of Existing Courthouse Areas

	GSF	ASF
Areas		
Enclosed Areas		Program Areas
Existing Courthouse		
Level 1	11,560	
Level 2	8,065	
Level 3	7,993	
Annex		
Basement	17,080	
Level 1	17,254	
Level 2	17,804	
<hr/>		
Subtotal of Enclosed Areas	79,756	
<hr/>		
Covered Areas		
	<hr/>	
Sub-Total	-	
<hr/>		
Subtotal of Covered Areas at 50%	-	
<hr/>		
TOTAL GROSS FLOOR AREA	79,756	0



Feasibility Study Cost Plan

Option 1 - Renovation of Existing Courthouse Areas

	GSF	ASF	
Control Quantities			Ratio to GFA
Functional Units	6	Courts	0.000
Number of stories	3	EA	0.000
Program Area	53,893	SF	0.676
Gross Area	79,756	SF	1.000
Volume	1,055,486	CF	13.234
Enclosed Area	79,756	SF	1.000
Covered Area	0	SF	-
Footprint Area	28,814	SF	0.361
Basement Volume	218,783	CF	2.743
Retaining Wall Area	7,380	SF	0.093
Structural Framed Area	79,530	SF	0.997
Gross Wall Area	46,265	SF	0.580
Finished Wall Area	20,379	SF	0.256
Windows or Glazing	18,506	SF	0.232
Roof Area - Flat	28,588	SF	0.358
Roof Area - Sloping		SF	-
Roof Area - Total	28,588	SF	0.358
Roof Glazing Area		SF	-
Interior Partitions	9,571	LF	0.120
Interior Doors		EA	-
Staircase (floor to floor)	21	FLT	0.263
Shelled Area		SF	-
Finished Area	25,863	SF	0.324
Elevators (Ratio x 1,000)	31	EA	3.887
Plumbing Fixtures (Ratio x 1,000)	80	EA	1.003
HVAC		CFM	-
Sprinkler Systems	79,756	SF	1.000
Electrical Load (Ratio x 1,000)		KVA	-
Lighting Systems	79,756	SF	1.000



Feasibility Study Cost Plan

Option 1 - Renovation of Existing Courthouse Summary

Ref.	Description		%	\$/SF	TOTAL \$ x 1,000
			Gross Area:	79,756 SF	
A10	Foundations		5%	25.08	2,000
A20	Basement Construction		0%	1.13	90
A	Substructure		6%	26.21	2,090
B10	Superstructure		22%	100.95	8,052
B20	Exterior Enclosure		12%	55.92	4,460
B30	Roofing		2%	10.88	868
B	Shell		36%	167.75	13,379
C10	Interior Construction		4%	17.26	1,376
C20	Stairways		4%	17.11	1,365
C30	Interior Finishes		3%	11.96	954
C	Interiors		10%	46.33	3,695
D10	Conveying Systems		5%	21.94	1,750
D20	Plumbing Systems		0%	0.00	0
D30	Heating, Ventilation & Air Conditioning		0%	0.00	0
D40	Fire Protection		0%	0.00	0
D50	Electrical Lighting, Power & Communications		0%	0.00	0
D	Services		5%	21.94	1,750
E10	Equipment		0%	0.88	70
E20	Furnishings		0%	0.00	0
E	Equipment & Furnishings		0%	0.88	70
F10	Special Construction		0%	0.00	0
F20	Selective Demolition		11%	53.27	4,249
F	Special Construction & Demolition		11%	53.27	4,249
BUILDING ELEMENTAL COST BEFORE CONTINGENCIES			68%	316.39	25,234
Z10	Design Contingency	15.00%	10%	47.46	3,785
Z11	General Requirements	4.00%	3%	14.55	1,161
Z12	Construction Contingency	3.00%	2%	11.35	905
Z13	Other 3	0.00%	0%	0.00	0
BUILDING ELEMENTAL COST INCLUDING CONTINGENCIES			84%	389.75	31,085
Z21	General Conditions	6.00%	5%	23.39	1,865
Z22	Bonds & Insurance	2.00%	2%	8.26	659
Z23	Contractor's Overhead, Profit & Fee	3.00%	3%	12.64	1,008
Z24	Design & Build Fee	7.00%	7%	30.38	2,423
BUILDING CONSTRUCTION COST BEFORE ESCALATION			100%	464.43	37,041
Z30	Escalation Is Not Included	0.00%	0%	0.00	0
RECOMMENDED BUDGET - June, 2022			100%	464.43	37,041



Feasibility Study Cost Plan

Option 1 - Renovation of Existing Courthouse

Item Description	Quantity	Unit	Rate	Total
A10 Foundations				
A1010 Standard Foundations				1,423,440
Existing Courthouse				
New foundation to suit Administration replacement	3,500	SF	75.00	262,500
New foundation to suit South shotcrete walls	80	LF	2,500.00	200,000
New foundation to suit new walls	168	LF	2,500.00	420,000
Elevator pit	3	EA	75,000.00	225,000
Annex Building				
New foundation to suit North Stair Tower	200	SF	50.00	10,000
Imported fill to suit new elevation	16,188	SF	5.00	80,940
Elevator pit	3	EA	75,000.00	225,000
A1020 Special Foundations				
A1030 Slab On Grade				576,800
New slab-on grade to suit Administration replacement addition	3,500	SF	20.00	70,000
New slab-on grade to suit North Stair tower	200	SF	20.00	4,000
Patch and repair existing slab-on grade to suit new program , Existing Courthouse	8,060	SF	20.00	161,200
Patch and repair existing slab-on grade to suit new program, Annex	17,080	SF	20.00	341,600
				2,000,240
A20 Basement Construction				
A2010 Basement Excavation				90,000
Selective excavation to existing basement	600	CY	150.00	90,000
A2020 Basement Walls				



Feasibility Study Cost Plan

Option 1 - Renovation of Existing Courthouse

Item Description	Quantity	Unit	Rate	Total
				90,000
B10 Superstructure				
B1010 Floor Construction				7,004,549
Administration replacement addition				
New lateral framing to suit				
Reinforced concrete wall, 10"	7,800	SF	120.00	936,000
Reinforced concrete wall, 12"	2,700	SF	150.00	405,000
New gravity framing to suit	10,200	SF	50.00	510,000
Metal deck with concrete fill	10,200	SF	30.00	306,000
Connect to existing courthouse	1	LS	50,000.00	50,000
North stair tower - Annex Building				
Structural framing to suit - CMU	1,940	SF	40.00	77,600
Level 3 Connector - Elevated Walkways				
Structural framing to suit - steel frame	360	SF	200.00	72,000
Metal deck with concrete fill	360	SF	30.00	10,800
Seismic joint cover	92	LF	600.00	55,200
Public Walkways - 2 Level				
Structural framing to suit - steel frame	896	SF	200.00	179,200
Metal deck with concrete fill	896	SF	30.00	26,880
Seismic joint cover	152	LF	600.00	91,200
New interior stair - modification to suit				
Forming opening, new steel beams and connection to existing	3	EA	65,000.00	195,000
New elevators - modification to suit				
Forming opening, new steel beams and connection to existing	3	EA	40,000.00	120,000
Structural Upgrades to Historic Courthouse				
Seismic upgrades				
Existing perimeter walls strengthening - Centercore	9,390	SF	40.00	375,600
Reinforced concrete walls, Level 1	2,100	SF	200.00	420,000
Allow for temporary shoring of North Wall	63	LF	500.00	31,500



Feasibility Study Cost Plan

Option 1 - Renovation of Existing Courthouse

Item Description	Quantity	Unit	Rate	Total
Shotcrete walls - South side	3,200	SF	160.00	512,000
Strengthening of existing diaphragms	13,845	SF	15.00	207,675
Structural Upgrades to Annex Building				
To suit new programs				
Column strengthening	76	LF	720.00	54,720
New concrete columns	76	LF	2,500.00	190,000
New column footing	2	EA	15,000.00	30,000
Strengthening of existing beams and waffle slabs	10,258	SF	18.00	184,644
Seismic upgrades				
New shearwall, stair shaft	3,050	SF	150.00	457,500
New shearwall footing	90	LF	3,200.00	288,000
Strengthening of existing beams and waffle slabs	530	SF	40.00	21,200
New shearwall, basement	1,510	SF	150.00	226,500
New shearwall footing	100	LF	3,200.00	320,000
Strengthening of existing beams and waffle slabs	1,000	SF	40.00	40,000
Strengthening of existing diaphragms	1,740	LF	65.00	113,100
Column strengthening - allow	49,723	SF	10.00	497,230
B1020 Roof Construction				1,047,049
Administration replacement addition				
New gravity framing to suit	3,400	SF	50.00	170,000
Metal deck with concrete fill	3,400	SF	30.00	102,000
North stair tower - Annex Building				
Metal deck with concrete fill	200	SF	30.00	6,000
Level 3 Connector - Elevated walkways				
Structural framing to suit - steel frame	360	SF	150.00	54,000
Metal deck with concrete fill	360	SF	30.00	10,800
Public Walkways - 2 Level				
Structural framing to suit - steel frame	406	SF	200.00	81,200
Metal deck with concrete fill	406	SF	30.00	12,180
Structural Upgrades to Annex Building				
To suit new mechanical units				
Strengthening of existing beams and waffle slabs	10,258	SF	18.00	184,644
Patch and repair existing roof including cutting and repatch to suit new equipment	6,559	SF	15.00	98,385



Feasibility Study Cost Plan

Option 1 - Renovation of Existing Courthouse

Item Description	Quantity	Unit	Rate	Total
Structural Upgrades to Historic Courthouse				
Remove existing metal roof	4,630	SF	8.00	37,040
Strengthening of existing steel trusses - including new steel drags, bracing and channels	4,630	SF	35.00	162,050
Repair perimeter brick walls	200	SF	65.00	13,000
New metal deck	4,630	SF	25.00	115,750
				8,051,598
 B20 Exterior Enclosure				
B2010 Exterior Walls				2,452,135
Historic Façade Restoration / Protection - Existing Courthouse				
Protect existing Art Moderne Tower (during construction)	3,200	SF	50.00	160,000
Clean, rehabilitate and repaint to match	10,458	SF	30.00	313,740
Allow for spall repair	500	SF	95.00	47,500
Allow for crack pressure injection	1,000	LF	75.00	75,000
Protect existing historical windows	1	LS	50,000.00	50,000
Protect and restore existing entry foyer	1,270	SF	50.00	63,500
Administration replacement addition				
Architectural concrete finish	6,780	SF	20.00	135,600
North stair tower - Annex Building				
Cement plaster finish to match	1,940	SF	40.00	77,600
Level 3 Connector - Elevated walkways				
Wall framing, insulation and finish	1,425	SF	75.00	106,875
Public Walkways - 2 Level				
Wall framing, insulation and finish	2,642	SF	75.00	198,150
Existing Courthouse				
Patch and repair existing walls	1,000	SF	30.00	30,000
Annex Building				
Patch and repair existing enclosure to suit				
Secure gate openings	2	EA	15,000.00	30,000



Feasibility Study Cost Plan

Option 1 - Renovation of Existing Courthouse

Item Description	Quantity	Unit	Rate	Total
North stair tower opening	3	EA	15,000.00	45,000
Level 3 connector opening	1	EA	15,000.00	15,000
Patch and repair existing walls	28,613	SF	10.00	286,130
Upgrades to existing East Façade - blast requirements	6,817	SF	120.00	818,040
B2020 Exterior Windows				1,807,600
Allow for new sealant to existing glazed opening	1	LS	20,000.00	20,000
Provide new ballistic glazing - East Façade (chamber	3,610	SF	250.00	902,500
Blast resistant glazing - Public Entry	200	SF	300.00	60,000
Allow for new glazed entrance	2,600	SF	200.00	520,000
New glazed windows	2,034	SF	150.00	305,100
B2030 Exterior Doors				200,000
Automatic glazed entrances	1	LS	30,000.00	30,000
Fire exit doors	1	LS	20,000.00	20,000
Sallyport door	1	LS	75,000.00	75,000
Overhead roll-up doors	1	LS	75,000.00	75,000
				4,459,735
B30 Roofing				
B3010 Roof Coverings				867,959
Historic Courthouse				
New roofing including flashing and sheetmetal	11,771	SF	35.00	411,985
Annex Building				
Patch and repair existing roofing	16,817	SF	20.00	336,340
Caulking and sealants				
Miscellaneous caulking and sealants	79,756	SF	1.00	79,756
Security caulking	79,756	SF	0.50	39,878
				867,959



Feasibility Study Cost Plan

Option 1 - Renovation of Existing Courthouse

Item Description	Quantity	Unit	Rate	Total
C10 Interior Construction				
C1010 Partitions				1,024,499
Partition framing and surfacing				
Staircase shaft walls	7,782	SF	36.00	280,136
Elevator shaft walls	16,410	SF	36.00	590,763
MEP room walls	4,800	SF	32.00	153,600
C1020 Interior Doors				170,500
Interior doors and frames				
Staircase doors	21	EA	5,500.00	115,500
MEP room doors	11	EA	5,000.00	55,000
C1030 Fittings				181,482
Amenities and convenience items				
Exterior signage	1	LS	50,000.00	50,000
Interior code required signage	79,756	SF	1.00	79,756
Miscellaneous fittings	25,863	SF	2.00	51,726
				1,376,481
C20 Stairways				
C2010 Stair Construction				1,365,000
Staircase flights, floor to floor				
Steel framed staircase including railing and finish	21	EA	65,000.00	1,365,000
				1,365,000
C30 Interior Finishes				
C3010 Wall Finishes				665,064
Historic preservation				
Protect/ remove, rehabilitate and reinstall existing historic finishes - allowance	79,756	SF	4.00	319,024
Premium for public corridor	17,302	SF	20.00	346,040



Feasibility Study Cost Plan

Option 1 - Renovation of Existing Courthouse

Item Description	Quantity	Unit	Rate	Total
C3020 Floor Finishes				144,400
Premium for public corridor	7,220	SF	20.00	144,400
C3030 Ceiling Finishes				144,400
Premium for public corridor	7,220	SF	20.00	144,400
				953,864
D10 Conveying Systems				
D1010 Elevators & Lifts				1,750,000
Protect and repair existing historic elevator	1	LS	30,000.00	30,000
Public elevators	6	STP	95,000.00	570,000
Premium for elevator cab finishes	2	EA	50,000.00	100,000
Judges' / staff elevator	6	STP	75,000.00	450,000
In-custody holding elevator	6	STP	100,000.00	600,000
				1,750,000
D20 Plumbing Systems				
				0
D30 Heating, Ventilation & Air Conditioning				
				0
D40 Fire Protection				
				0



Feasibility Study Cost Plan

Option 1 - Renovation of Existing Courthouse

Item Description	Quantity	Unit	Rate	Total
D50 Electrical Lighting, Power & Communications				
				0
E10 Equipment				
E1010 Commercial Equipment				70,000
Window washing davits	1	LS	20,000.00	20,000
Loading dock equipment	1	LS	50,000.00	50,000
E1020 Institutional Equipment				
E1030 Vehicular Equipment				
E1090 Other Equipment				
				70,000
E20 Furnishings				
				0
F10 Special Construction				
				0



Feasibility Study Cost Plan

Option 1 - Renovation of Existing Courthouse

Item Description	Quantity	Unit	Rate	Total
F20 Selective Demolition				
F2010 Building Elements Demolition				3,569,143
Exterior demolition				
Allow for protection of adjacent properties	1	LS	200,000.00	200,000
Demolish existing foundation - north structure	3,400	SF	30.00	102,000
Demolish north structure of existing Courthouse - including walls	10,150	SF	40.00	406,000
Allow for temporary shoring / support	10,150	SF	20.00	203,000
Demolish existing roof structure - Annex	4,300	SF	35.00	150,500
Demolish partial basement structure to suit - Annex mechanical area	401	CY	300.00	120,233
Interior demolition - Annex				
Demolish existing partitions, doors, fixed equipment (Basement)	17,020	SF	15.00	255,300
Demolish existing partitions, doors, fixed furnishings and equipment (Level 1 and 2)	32,800	SF	25.00	820,000
Services trade demolition				
Demolish existing services - plumbing, HVAC and electrical system	49,820	SF	3.00	149,460
Demolition to suit Seismic upgrade (including partial slab removal, excavation/ backfill/ shoring as required)				
Historic Courthouse	13,845	SF	30.00	415,350
Annex	49,820	SF	15.00	747,300
F2020 Hazardous Components Abatement				679,770
Hazmat abatement - Existing Courthouse	18,157	SF	10.00	181,570
Hazmat abatement - Annex	49,820	SF	10.00	498,200
				4,248,913



Feasibility Study Cost Plan

Option 1 - Interiors & Services Areas

		GSF		ASF
Areas				
Space Program				Program Areas
Public Spaces	4	2,148	2,578	
Court Sets	6	17,165	21,456	
Chambers & Courtroom Supp	9	3,400	4,250	
Court Operations & Courtroc	3	256	320	
Clerk's Office	28	5,481	7,399	
Family Court, Civil & ADR	11	2,765	3,733	
Self-Help	2	733	953	
Administration	11	2,694	3,368	
Jury Services	2	2,379	2,974	
Sheriff	1	1,255	1,569	
Central Holding		1,150	1,725	
Building Support		2,854	3,568	
Subtotal of Program Area				53,893
TOTAL PROGRAM AREA				53,893
				0



Feasibility Study Cost Plan

Option 1 - Interiors & Services Summary

Ref.	Description		%	\$/SF	TOTAL \$ x 1,000
			Gross Area:	53,893 SF	
A10	Foundations		0%	0.00	0
A20	Basement Construction		0%	0.00	0
A	Substructure		0%	0.00	0
B10	Superstructure		0%	0.00	0
B20	Exterior Enclosure		0%	0.00	0
B30	Roofing		0%	0.00	0
B	Shell		0%	0.00	0
C10	Interior Construction		12%	85.83	4,626
C20	Stairways		0%	0.00	0
C30	Interior Finishes		9%	63.87	3,442
C	Interiors		21%	149.70	8,068
D10	Conveying Systems		0%	0.00	0
D20	Plumbing Systems		3%	22.16	1,194
D30	Heating, Ventilation & Air Conditioning		16%	115.81	6,241
D40	Fire Protection		2%	12.58	678
D50	Electrical Lighting, Power & Communications		22%	157.38	8,482
D	Services		42%	307.93	16,595
E10	Equipment		1%	9.55	515
E20	Furnishings		4%	27.83	1,500
E	Equipment & Furnishings		5%	37.38	2,015
F10	Special Construction		0%	0.00	0
F20	Selective Demolition		0%	0.00	0
F	Special Construction & Demolition		0%	0.00	0
BUILDING ELEMENTAL COST BEFORE CONTINGENCIES			68%	495.01	26,678
Z10	Design Contingency	15.00%	10%	74.25	4,002
Z11	General Requirements	4.00%	3%	22.77	1,227
Z12	Construction Contingency	3.00%	2%	17.76	957
Z13	Other 3	0.00%	0%	0.00	0
BUILDING ELEMENTAL COST INCLUDING CONTINGENCIES			84%	609.79	32,864
Z21	General Conditions	6.00%	5%	36.59	1,972
Z22	Bonds & Insurance	2.00%	2%	12.93	697
Z23	Contractor's Overhead, Profit & Fee	3.00%	3%	19.78	1,066
BUILDING CONSTRUCTION COST BEFORE ESCALATION			100%	726.62	39,160
Z30	Escalation Is Not Included	0.00%	0%	0.00	0
RECOMMENDED BUDGET - June, 2022			100%	726.62	39,160



Feasibility Study Cost Plan

Option 1 - Interiors & Services

Item Description	Quantity	Unit	Rate	Total
C10 Interior Construction				
C1010 Partitions				3,837,223
Concrete, block or CMU walls				
CMU walls	7,868	SF	38.00	298,984
Partition framing and surfacing				
Metal studs framing, gypsum board lining, insulation and painting on both sides	119,700	SF	28.00	3,351,610
Window walls and borrowed lights				
Interior glazing	1,244	SF	150.00	186,629
C1020 Interior Doors				627,626
Interior doors, frames and hardware				
Courtroom entry	12	EA	10,000.00	120,000
Judges/ jury courtroom entry	12	EA	5,000.00	60,000
Defendant entry	6	EA	5,000.00	30,000
Evidence closet	6	EA	6,000.00	36,000
Judges chamber	18	EA	3,500.00	63,000
Jury deliberation	12	EA	3,500.00	42,000
Public toilets	9	EA	4,000.00	36,000
Jury assembly	2	EA	8,000.00	16,000
Detention	6	EA	6,000.00	36,000
Other doors	54	EA	3,500.00	188,626
C1030 Fittings				160,733
Prefabricated compartment and accessories				
Toilet accessories	26	EA	1,000.00	26,000
Signage				
Room identification signage	53,893	SF	1.50	80,840
Miscellaneous				
Miscellaneous specialties	53,893	SF	1.00	53,893
				4,625,581



Feasibility Study Cost Plan

Option 1 - Interiors & Services

Item Description	Quantity	Unit	Rate	Total
C30 Interior Finishes				
C3010 Wall Finishes				2,010,150
Public Spaces	2,578	SF	40.00	103,120
Court Sets	21,456	SF	65.00	1,394,640
Chambers & Courtroom Supports	4,250	SF	25.00	106,250
Court Operations & Courtroom Clerks	320	SF	15.00	4,800
Clerk's Office	7,399	SF	15.00	110,985
Family Court, Civil & ADR	3,733	SF	15.00	55,995
Self-Help	953	SF	10.00	9,530
Administration	3,368	SF	15.00	50,520
Jury Services	2,974	SF	30.00	89,220
Sheriff	1,569	SF	15.00	23,535
Central Holding	1,725	SF	15.00	25,875
Building Support	3,568	SF	10.00	35,680
C3020 Floor Finishes				647,716
Public Spaces	2,578	SF	30.00	77,340
Court Sets	21,456	SF	10.00	214,560
Chambers & Courtroom Supports	4,250	SF	10.00	42,500
Court Operations & Courtroom Clerks	320	SF	10.00	3,200
Clerk's Office	7,399	SF	10.00	73,990
Family Court, Civil & ADR	3,733	SF	10.00	37,330
Self-Help	953	SF	10.00	9,530
Administration	3,368	SF	10.00	33,680
Jury Services	2,974	SF	40.00	118,960
Sheriff	1,569	SF	10.00	15,690
Central Holding	1,725	SF	8.00	13,800
Building Support	3,568	SF	2.00	7,136
C3030 Ceiling Finishes				784,290
Public Spaces	2,578	SF	20.00	51,560
Court Sets	21,456	SF	15.00	321,840
Chambers & Courtroom Supports	4,250	SF	15.00	63,750
Court Operations & Courtroom Clerks	320	SF	10.00	3,200
Clerk's Office	7,399	SF	10.00	73,990
Family Court, Civil & ADR	3,733	SF	10.00	37,330
Self-Help	953	SF	10.00	9,530
Administration	3,368	SF	10.00	33,680
Jury Services	2,974	SF	30.00	89,220



Feasibility Study Cost Plan

Option 1 - Interiors & Services

Item Description	Quantity	Unit	Rate	Total
Sheriff	1,569	SF	25.00	39,225
Central Holding	1,725	SF	25.00	43,125
Building Support	3,568	SF	5.00	17,840
				3,442,156
 D10 Conveying Systems				
				0
 D20 Plumbing Systems				
D2010 Plumbing Fixtures				160,000
Sanitary fixtures, local domestic service, waste/vent pipework systems, including hose bibs, water softening, hot water heating equipment - allow (100 SF/Fixture)	80	EA	2,000.00	160,000
D2020 Domestic Water Distribution				224,000
Domestic service pipework				
Domestic service pipework - hot & cold water	80	EA	2,800.00	224,000
D2030 Sanitary Waste				503,146
Sanitary waste, vent and service pipework				
Waste, vent, fittings	80	EA	2,800.00	224,000
Floor/area drains and sinks, <= 6", complete with connection pipework, trap primers	79,756	SF	2.50	199,390
Condensate drainage pipework, fittings, <= 1-1/2", insulated	79,756	SF	1.00	79,756
D2040 Rain Water Drainage				107,671
Surface water drainage				
Roof & overflow drain pipe, <= 6" (reuse where applicable)	79,756	SF	1.35	107,671
D2090 Other Plumbing Systems				199,390
Natural gas - additional risers	79,756	SF	2.50	199,390
				1,194,207



Feasibility Study Cost Plan

Option 1 - Interiors & Services

Item Description	Quantity	Unit	Rate	Total
D30 Heating, Ventilation & Air Conditioning				
D3020 Heat Generating Systems				1,086,950
Heating hot water pipework, fittings				
Condensing heating hot water boiler, gas-fired, including flue, pipework connections, gas train (45 btuh per SF) - thermal expansion compensation, circulatory equipment	3,000	Mbth	30.00	90,000
Pipework, fittings - heating hot water, valves, equipment hook-up and insulation (add hook-up points)	79,756	SF	12.50	996,950
D3030 Cooling Generating Systems				1,088,048
Chilled water generation systems				
Water cooled chiller (250 SF/ton) - thermal expansion compensation, circulatory equipment	300	Ton	1,500.00	450,000
Pipework, fittings - chilled water, valves, equipment hook-up and insulation (add hook-up points)	79,756	SF	8.00	638,048
D3040 Distribution Systems				2,073,656
Air distribution and return				
Galvanized sheet metal ductwork, dampers, insulation, diffusers, registers and grilles (add duct shafts, tight ceiling space)	79,756	SF	26.00	2,073,656
D3050 Terminal & Package Units				1,165,087
Air handling units, custom modular type, OA economizer, (VAV), heating and cooling, filtration, sound attenuation, vibration isolation (1 cfm/SF)	75,000	CFM	12.00	900,000
CRAC units - MPOE (2 EA)	10	Ton	6,000.00	60,000
VAV boxes, reheat (1/700 SF)	114	EA	1,800.00	205,087
D3060 Controls and Instrumentation				638,048
Controls and instrumentation				
Direct digital energy management system - JCC BMS	79,756	SF	8.00	638,048
D3070 Systems Testing & Balancing				119,634
Test and balance air systems	79,756	SF	1.50	119,634



Feasibility Study Cost Plan

Option 1 - Interiors & Services

Item Description	Quantity	Unit	Rate	Total
D3090 Other HVAC Systems & Equipment				70,000
Unit ventilation/exhaust fans				
Restroom, plant rooms	1	LS	37,500.00	37,500
Central holding	1	LS	32,500.00	32,500
				6,241,423
D40 Fire Protection				
D4010 Sprinklers				677,926
Fire protection				
Automatic wet fire sprinklers - complete (+ riser pipework)	79,756	SF	8.50	677,926
Fire pump - not required				
				677,926
D50 Electrical Lighting, Power & Communications				
D5010 Electrical Service & Distribution				2,481,965
Mains power and distribution				
480/120 V distribution equipment and feeders (25 kVA/GFA)	2,000	kVA	287.50	575,000
Emergency power				
Emergency power generator, load bank, sound attenuated, emissions control, belly tank, associated 480-120/208 distribution equipment & feeders - 25% normal power	500	kVA	1,750.00	875,000
UPS - rack-mounted < 5 KW	6	EA	18,750.00	112,500
Photovoltaics				
Photovoltaic panels, storage and distribution equipment/cabling 10% normal power	200	KVA	3,250.00	650,000



Feasibility Study Cost Plan

Option 1 - Interiors & Services

Item Description	Quantity	Unit	Rate	Total
Machine and equipment power				
Connections and switches, including conduit and cable				
Miscellaneous connections, < 100 AM - including courtrooms, mechanical, A/V equipment, food service, dampers, BMS power, fire, IT and security systems	1	LS	269,465.00	269,465
D5020 Lighting & Branch Wiring				3,318,746
User convenience power				
Panel board breakers, 120 V circuits - feeder conduit and cable	79,756	SF	1.50	119,634
Receptacles, including conduit and cable, controlled	79,756	SF	6.00	478,536
Lighting				
Panel board breakers, 277 V circuits - feeder conduit and cable	79,756	SF	1.50	119,634
Fixtures/switches, including conduit and cable - including dimmable systems/day lighting/LED	79,756	SF	25.00	1,993,900
Lighting and power specialties				
Grounding IT/Electrical rooms	1	LS	48,750.00	48,750
Lighting control - LV panels, occupancy sensors, daylight dimming	79,756	SF	5.00	398,780
Cable tray/wire-way/j-hooks	79,756	SF	2.00	159,512
D5030 Communications & Security				1,821,950
Telephone and communications				
Telephone/data/WAP - including conduit & cable	79,756	SF	6.00	478,536
WAP	79,756	SF	1.50	119,634
ERRS	79,756	SF	2.00	159,512
Audiovisual systems, rough-in				
Equipment	6	EA	137,500.00	825,000
Audiovisual conduit & cable	79,756	SF	3.00	239,268
D5090 Other Electrical Systems				858,902
Fire alarm systems	79,756	SF	4.50	358,902
Security	1	LS	500,000.00	500,000
				8,481,563



Feasibility Study Cost Plan

Option 1 - Interiors & Services

Item Description	Quantity	Unit	Rate	Total
E10 Equipment				
E1010 Commercial Equipment				
E1020 Institutional Equipment				514,672
Detention equipment (including holding cells, doors, interview counter, etc.)	6	EA	75,000.00	450,000
Queuing system	53,893	SF	1.20	64,672
				514,672

E20 Furnishings

E2010 Fixed Furnishings				1,500,000
Courtroom fixed furnishings	6	EA	250,000.00	1,500,000
E2020 Movable Furnishings				



Feasibility Study Cost Plan

Parking Structure - Main Street Areas

	GSF		ASF
Control Quantities			Ratio to GFA
Functional Units	254	Stalls	0.003
Number of stories	2	EA	0.000
Program Area	88,900	SF	1.434
Gross Area	62,000	SF	1.000
Volume	682,000	CF	11.000
Enclosed Area	31,000	SF	0.500
Covered Area	0	SF	-
Footprint Area	31,000	SF	0.500
Basement Volume	338,800	CF	5.465
Retaining Wall Area		SF	-
Structural Framed Slab	31,000	SF	0.500
Gross Wall Area		SF	-
Finished Wall Area		SF	-
Windows or Glazing		SF	-
Roof Area - Flat	31,000	SF	0.500
Roof Area - Sloping		SF	-
Roof Area - Total		SF	-
Roof Glazing Area		SF	-
Interior Partitions		LF	-
Interior Doors		EA	-
Staircase (floor to floor)	4	FLT	0.000
Shelled Area		SF	-
Finished Area		SF	-
Elevators (Ratio x 10,000)	4	EA	0.645
Plumbing Fixtures (Ratio x 1,000)		EA	-
HVAC		CFM	-
Sprinkler Systems	62,000	SF	1.000
Electrical Load (Ratio x 1,000)		KVA	-
Lighting Systems		SF	-



Feasibility Study Cost Plan

Parking Structure - Main Street Summary

Ref.	Description		%	\$/SF	TOTAL \$ x 1,000
			Gross Area:	62,000 SF	
A10	Foundations		9%	17.50	1,085
A20	Basement Construction		13%	25.28	1,567
A	Substructure		22%	42.78	2,652
B10	Superstructure		13%	25.00	1,550
B20	Exterior Enclosure		9%	17.60	1,091
B30	Roofing		3%	6.00	372
B	Shell		26%	48.60	3,013
C10	Interior Construction		3%	5.62	348
C20	Stairways		1%	2.26	140
C30	Interior Finishes		2%	3.98	247
C	Interiors		6%	11.85	735
D10	Conveying Systems		2%	4.19	260
D20	Plumbing Systems		3%	5.50	341
D30	Heating, Ventilation & Air Conditioning		1%	1.21	75
D40	Fire Protection		3%	5.00	310
D50	Electrical Lighting, Power & Communications		6%	10.74	666
D	Services		14%	26.64	1,652
E10	Equipment		2%	3.15	195
E20	Furnishings		0%	0.00	0
E	Equipment & Furnishings		2%	3.15	195
F10	Special Construction		0%	0.00	0
F20	Selective Demolition		0%	0.00	0
F	Special Construction & Demolition		0%	0.00	0
BUILDING ELEMENTAL COST BEFORE CONTINGENCIES			70%	133.02	8,247
Z10	Design Contingency	12.00%	8%	15.96	990
Z11	General Requirements	4.00%	3%	5.96	369
Z12	Construction Contingency	3.00%	2%	4.65	288
Z13	Other 3	0.00%	0%	0.00	0
BUILDING ELEMENTAL COST INCLUDING CONTINGENCIES			84%	159.58	9,894
Z21	General Conditions	6.00%	5%	9.58	594
Z22	Bonds & Insurance	2.00%	2%	3.38	210
Z23	Contractor's Overhead, Profit & Fee	3.00%	3%	5.18	321
BUILDING CONSTRUCTION COST BEFORE ESCALATION			100%	190.16	11,790
Z30	Escalation Is Not Included	0.00%	0%	0.00	0
RECOMMENDED BUDGET - June, 2022			100%	190.16	11,790



Feasibility Study Cost Plan

Parking Structure - Main Street

Item Description	Quantity	Unit	Rate	Total
A10 Foundations				
A1010 Standard Foundations				465,000
Reinforced concrete foundation				
Parking structure 1	17,500	SF	15.00	262,500
Parking structure 2	13,500	SF	15.00	202,500
A1030 Slab On Grade				620,000
Reinforced concrete slab-on grade				
Parking structure 1	17,500	SF	20.00	350,000
Parking structure 2	13,500	SF	20.00	270,000
				1,085,000
A20 Basement Construction				
A2010 Basement Excavation				1,165,130
Excavation				
Excavate lower level	12,548	CY	65.00	815,630
Shoring side of excavation				
Temporary shoring	3,495	SF	100.00	349,500
A2020 Basement Walls				401,925
Retaining walls				
Reinforced concrete retaining walls including	3,495	SF	115.00	401,925
				1,567,055
B10 Superstructure				
B1010 Floor Construction				1,550,000
Lateral framed structure	31,000	SF	20.00	620,000
Reinforced concrete structure	31,000	SF	30.00	930,000



Feasibility Study Cost Plan

Parking Structure - Main Street

Item Description	Quantity	Unit	Rate	Total
B1020 Roof Construction				
Included above				
				1,550,000
B20 Exterior Enclosure				
B2010 Exterior Walls				1,040,300
Fascias, bands, screens and trims				
Perimeter fence to reserved parking	1,282	LF	150.00	192,300
Gates	2	EA	10,000.00	20,000
Balustrades, parapets and roofscreens				
Balustrades and railing	2,070	LF	400.00	828,000
B2020 Exterior Windows				
B2030 Exterior Doors				51,000
Staircase doors	8	EA	4,500.00	36,000
Miscellaneous doors	1	LS	15,000.00	15,000
				1,091,300
B30 Roofing				
B3010 Roof Coverings				372,000
Waterproofing deck	31,000	SF	12.00	372,000
				372,000



Feasibility Study Cost Plan

Parking Structure - Main Street

Item Description	Quantity	Unit	Rate	Total
C10 Interior Construction				
C1010 Partitions				255,360
Elevator shaft walls	1,920	SF	35.00	67,200
Staircase shaft walls	5,376	SF	35.00	188,160
C1030 Fittings				93,000
Miscellaneous fittings including code required signage,	62,000	SF	1.50	93,000
				348,360
C20 Stairways				
C2010 Stair Construction				140,000
Staircase flight, floor to floor				
Steel framed staircase including railing and finishes	4	EA	35,000.00	140,000
				140,000
C30 Interior Finishes				
C3010 Wall Finishes				40,518
Painting to walls	27,012	SF	1.50	40,518
C3020 Floor Finishes				144,000
Sealed concrete	62,000	SF	2.00	124,000
Premium to elevator lobby	1	LS	20,000.00	20,000
C3030 Ceiling Finishes				62,000
Painting exposed surfaces	31,000	SF	2.00	62,000



Feasibility Study Cost Plan

Parking Structure - Main Street

Item Description	Quantity	Unit	Rate	Total
				246,518
D10 Conveying Systems				
D1010 Elevators & Lifts				260,000
Hydraulic elevators	4	EA	65,000.00	260,000
				260,000
D20 Plumbing Systems				
D2010 Plumbing Fixtures				31,000
Hose bibs, including connection pipework, fittings, 3/4"	62,000	SF	0.50	31,000
D2020 Domestic Water Distribution				186,000
Parking drainage systems, including fuel-oil separation	62,000	SF	3.00	186,000
D2040 Rain Water Drainage				124,000
Parking drainage - surface parking	62,000	SF	2.00	124,000
				341,000
D30 Heating, Ventilation & Air Conditioning				
D3030 Cooling Generating Systems				75,000
24/7 cooling re elevator machine room	10	Tons	7,500.00	75,000
				75,000



Feasibility Study Cost Plan

Parking Structure - Main Street

Item Description	Quantity	Unit	Rate	Total
D40 Fire Protection				
D4010 Sprinklers				310,000
Automatic wet sprinklers - complete	62,000	SF	5.00	310,000
				310,000
D50 Electrical Lighting, Power & Communications				
D5010 Electrical Service & Distribution				187,500
Mains power & distribution				
Mains power equipment and feeders, 480/277 V	750	kVA	250.00	187,500
D5020 Lighting & Branch Wiring				331,700
User convenience power				
Receptacles, including conduit and cable	62,000	SF	0.35	21,700
Lights				
Lights, switching, including conduit and cable	62,000	SF	5.00	310,000
D5030 Communications & Security				100,000
Security systems				
CCTV surveillance systems, access control	1	LS	100,000.00	100,000
D5090 Other Electrical Systems				46,500
Fire alarms				
Fire alarm stations/devices, including conduit and cable	62,000	SF	0.75	46,500
				665,700
E10 Equipment				
E1030 Vehicular Equipment				195,000
Parking control equipment (gate barrier, ticket dispensers, etc)	3	EA	65,000.00	195,000
				195,000



Feasibility Study Cost Plan

Option 1 - Existing Courthouse Site Areas

	SF	SF	SF
Areas			
Net Site Areas	14,186		
Net Site Area		14,186	
Building Footprint Areas			
Building Footprint Area	28,814		
Subtotal of Building Footprint Areas		28,814	
GROSS SITE AREA			43,000



Feasibility Study Cost Plan

Option 1 - Existing Courthouse Site Summary

Ref.	Description		%	\$/SF	TOTAL \$ x 1,000
			Gross Area:	43,000 SF	
G10	Site Preparation		8%	2.34	100
G20	Site Improvements		40%	11.29	485
G30	Site Mechanical Utilities		11%	3.08	133
G40	Site Electrical Utilities		11%	3.07	132
G90	Other Site Construction		0%	0.00	0
G	Building Sitework		70%	19.78	851
SITE ELEMENTAL COST BEFORE CONTINGENCIES			70%	19.78	851
Z10	Design Contingency	12.00%	8%	2.37	102
Z11	General Requirements	4.00%	3%	0.89	38
Z12	Construction Contingency	3.00%	2%	0.69	30
Z13	Other 3	0.00%	0%	0.00	0
SITE ELEMENTAL COST INCLUDING CONTINGENCIES			84%	23.73	1,020
Z21	General Conditions	6.00%	5%	1.42	61
Z22	Bonds & Insurance	2.00%	2%	0.50	22
Z23	Contractor's Overhead, Profit & Fee	3.00%	3%	0.77	33
SITE CONSTRUCTION COST BEFORE ESCALATION			100%	28.28	1,216
Z30	Escalation Is Not Included	0.00%	0%	0.00	0
RECOMMENDED BUDGET - June, 2022			100%	28.28	1,216



Feasibility Study Cost Plan

Option 1 - Existing Courthouse Site

Item Description	Quantity	Unit	Rate	Total
G10 Site Preparation				
G1010 Site Clearing				86,000
Site clearing				
Site clearing	43,000	SF	2.00	86,000
G1020 Site Demolition and Relocations				7,400
Site demolition				
Demolish existing ADA path of travel - West	740	SF	10.00	7,400
G1030 Site Earthwork				7,093
Grading				
Fine grading to suit	14,186	SF	0.50	7,093
				100,493
G20 Site Improvements				
G2010 Roadways				
Refer to Perimeter Street Improvement				
G2020 Parking Lots				
Refer to Parking				
G2030 Pedestrian Paving				119,162
Patch and repair existing paving to suit renovation	9,930	SF	12.00	119,162
G2040 Site Development				315,200
Security bollards (Main and Church Street)	246	LF	1,200.00	295,200
Site signage	1	LS	20,000.00	20,000



Feasibility Study Cost Plan

Option 1 - Existing Courthouse Site

Item Description	Quantity	Unit	Rate	Total
G2050 Landscaping				51,070
Patch and repair existing landscaping to suit renovation	4,256	SF	12.00	51,070
				485,432
G30 Site Mechanical Utilities				
G3010 Water Supply				35,000
Water supply				
Fire and domestic water pipework, valves, specialties,	100	LF	350.00	35,000
G3020 Sanitary Sewer				30,000
Sanitary sewer				
Underground pipework, manholes, connections to	100	LF	300.00	30,000
G3030 Storm Sewer				42,558
Storm sewer				
Storm water management systems, containment,	14,186	SF	3.00	42,558
G3060 Fuel Distribution				25,000
Natural gas				
Pipework, fittings, valves, specialties, connection to	100	LF	250.00	25,000
G3090 Other Site Mechanical Utilities				
				132,558
G40 Site Electrical Utilities				
G4010 Electrical Distribution				49,500
Electrical contractor to provide primary conduit only ductbank to Power Co. Transformer. Secondary feeder conduit and cable by electrical contractor				
Primary - conduit only, (2) 5"	60	LF	275.00	16,500



Feasibility Study Cost Plan

Option 1 - Existing Courthouse Site

Item Description	Quantity	Unit	Rate	Total
Secondary - (5) 5" conduit and cable	60	LF	550.00	33,000
G4020 Site Lighting				42,558
Site lighting	14,186	SF	3.00	42,558
G4030 Site Communications & Security				40,000
Telecommunications/signals - feeder conduit/cable	100	LF	200.00	20,000
Connection manhole	1	LS	20,000.00	20,000
				132,058



Feasibility Study Cost Plan

Perimeter Street Improvements

Item Description	Quantity	Unit	Rate	Total
Perimeter Street Improvements - Option 1				
Street vacation - Washington Street	240	LF)		
Relocate existing utilities	240	LF	200.00	48,000
Site demolition	6,700	SF	5.00	33,500
New surfacing	6,700	SF	20.00	134,000
Patch and repair existing curbs	480	LF	10.00	4,800
Code upgrades including ramps/ curb cuts	6,700	SF	5.00	33,500
Main Street	190	LF)		
Site demolition	3,800	SF	5.00	19,000
New surfacing	1,900	SF	15.00	28,500
Patch and repair existing curbs	190	LF	10.00	1,900
Sidewalk improvement	1,900	SF	25.00	47,500
Code upgrades including ramps/ curb cuts	3,800	SF	5.00	19,000
Church Street	230	LF)		
Site demolition	6,600	SF	5.00	33,000
New surfacing	6,600	SF	15.00	99,000
Patch and repair existing curbs	230	LF	10.00	2,300
Sidewalk improvement	2,300	SF	40.00	92,000
Code upgrades including ramps/ curb cuts	6,600	SF	5.00	33,000
N. Pine Street	200	LF)		
Site demolition	6,550	SF	5.00	32,750
New surfacing	6,550	SF	15.00	98,250
Patch and repair existing curbs	200	LF	10.00	2,000
Sidewalk improvement	2,000	SF	25.00	50,000
Code upgrades including ramps/ curb cuts	6,550	SF	5.00	32,750
Street Improvement to suit New Parking (Including new driveway, curbs and sidewalk improvement, utility relocation, street lights)				
Main Washington Lot	440	LF	1,400.00	616,000
215 Washington Street	820	LF	1,400.00	1,148,000
Trade Cost Before Markups				2,608,750
Z10 Design Contingency	12.00%			313,050
Z11 General Requirements	4.00%			116,872



Feasibility Study Cost Plan

Perimeter Street Improvements

Item Description	Quantity	Unit	Rate	Total
Z12 Construction Contingency	3.00%			91,160
Z21 General Conditions	6.00%			187,790
Z22 Bonds & Insurance	2.00%			66,352
Z23 Contractor's Overhead, Profit & Fee	3.00%			101,519
Z24 Design & Build Fee	7.00%			243,985
Z30 Escalation Is Not Included	0.00%			
				<hr/>
				3,729,478



Feasibility Study Cost Plan

Swing Space

Item Description	Quantity	Unit	Rate	Total
Swing Space - Option 1 & 2				
Building				
Preconstructed modular building - to suit				
Administration / Office	20,000	SF	150.00	3,000,000
Courtroom Spaces	9,500	SF	150.00	1,425,000
Secure Holding Spaces	4,700	SF	165.00	775,500
Exterior upgrades to suit program, interior construction and finishes, MEP system, fixed fixtures and equipments, detention systems				
Administration / Office	20,000	SF	150.00	3,000,000
Courtroom Spaces	9,500	SF	450.00	4,275,000
Secure Holding Spaces	4,700	SF	400.00	1,880,000
Sitework				
Site preparation	45,000	SF	4.00	180,000
Site utilities	45,000	SF	5.00	225,000
Site development (including fence and gates, landscaping, paving and surfacing, storm drainage, site lighting)	45,000	SF	25.00	1,125,000
Surface parking	12,000	SF	35.00	420,000
Trade Cost Before Markups	34,200	SF	476.77	16,305,500
Z10 Design Contingency	12.00%			1,956,660
Z11 General Requirements	4.00%			730,486
Z12 Construction Contingency	3.00%			569,779
Z21 General Conditions	6.00%			1,173,746
Z22 Bonds & Insurance	2.00%			414,723
Z23 Contractor's Overhead, Profit & Fee	3.00%			634,527
Z24 Design & Build Fee	7.00%			1,524,980
Z30 Escalation Is Not Included	0.00%			
				23,310,401



Feasibility Study Cost Plan

Miscellaneous

Item Description	Quantity	Unit	Rate	Total
Option 1 - Time Related GC / GR Premium				
Based on the following				
Option 1 - Q1 2027 (36 months)				
Option 2 - Q2 2027 (33 months)				
Option 3 - Q1 2026 (24 months)				
General conditions	12	MTHS	190,000.00	2,280,000
General requirements	12	MTHS	55,000.00	660,000
Cost Before Markups		SF		2,940,000
Z10 Design Contingency	0.00%			
Z11 General Requirements	4.00%			117,600
Z12 Construction Contingency	3.00%			91,728
Z21 General Conditions	6.00%			188,960
Z22 Bonds & Insurance	2.00%			66,766
Z23 Contractor's Overhead, Profit & Fee	3.00%			102,152
Z24 Design & Build Fee	7.00%			245,504
Z30 Escalation Is Not Included	0.00%			
				3,752,709



Feasibility Study Cost Plan

Miscellaneous

Item Description	Quantity	Unit	Rate	Total
Option 2 - Time Related GC / GR Premium				
Based on the following				
Option 1 - Q1 2027 (36 months)				
Option 2 - Q2 2027 (33 months)				
Option 3 - Q1 2026 (24 months)				
General conditions	9	MTHS	190,000.00	1,710,000
General requirements	9	MTHS	55,000.00	495,000
Cost Before Markups				2,205,000
Z10 Design Contingency				
Z11 General Requirements	4.00%			88,200
Z12 Construction Contingency	3.00%			68,796
Z21 General Conditions	6.00%			141,720
Z22 Bonds & Insurance	2.00%			50,074
Z23 Contractor's Overhead, Profit & Fee	3.00%			76,614
Z24 Design & Build Fee	7.00%			184,128
Z30 Escalation Is Not Included	0.00%			
				2,814,532



Feasibility Study Cost Plan

Option 2 - Replacement of Existing Courthouse Areas

		GFA		ASF	
Areas					
Enclosed Areas			Program Areas		
Basement	16	15,879			
Level 1	18	21,389			
Level 2	18	20,248			
Level 3	18	17,881			
Penthouse	14	1,837			
Subtotal of Enclosed Areas				77,233	
Covered Areas					
Sub-Total		-			
Subtotal of Covered Areas at 50%				-	
TOTAL GROSS FLOOR AREA		77,233		0% 0	



Feasibility Study Cost Plan

Option 2 - Replacement of Existing Courthouse Areas

Control Quantities	GFA	ASF	Ratio to GFA
Functional Units		6 Courts	0.000
Number of stories		4 EA	0.000
Program Area		53,893 SF	0.698
Gross Area		77,233 SF	1.000
Volume		1,351,090 CF	17.494
Enclosed Area		77,233 SF	1.000
Covered Area		7,546 SF	0.098
Footprint Area		21,389 SF	0.277
Basement Volume		254,058 CF	3.289
Retaining Wall Area		11,926 SF	0.154
Structural Framed Slab		84,779 SF	1.098
Gross Wall Area		49,815 SF	0.645
Finished Wall Area		29,889 SF	0.387
Windows or Glazing	40%	19,926 SF	0.258
Roof Area - Flat		28,935 SF	0.375
Roof Area - Sloping		SF	-
Roof Area - Total		28,935 SF	0.375
Roof Glazing Area		SF	-
Interior Partitions		2,801 LF	0.036
Interior Doors		93 EA	0.001
Staircase (floor to floor)		9 FLT	0.000
Shelled Area		53,893 SF	0.698
Finished Area		23,340 SF	0.302
Elevators (Ratio x 1,000)		17 EA	2.201
Plumbing Fixtures (Ratio x 1,000)		EA	-
HVAC		CFM	-
Sprinkler Systems		SF	-
Electrical Load (Ratio x 1,000)		KVA	-
Lighting Systems		SF	-



Feasibility Study Cost Plan Option 2 - Replacement of Existing Courthouse Summary

Ref.	Description		%	\$/SF	TOTAL \$ x 1,000
			Gross Area:	77,233 SF	
A10	Foundations		4%	20.01	1,546
A20	Basement Construction		7%	39.59	3,058
A	Substructure		11%	59.60	4,603
B10	Superstructure		24%	135.23	10,444
B20	Exterior Enclosure		22%	121.78	9,405
B30	Roofing		4%	20.05	1,549
B	Shell		49%	277.05	21,398
C10	Interior Construction		3%	16.68	1,288
C20	Stairways		2%	9.32	720
C30	Interior Finishes		2%	12.71	981
C	Interiors		7%	38.71	2,989
D10	Conveying Systems		3%	19.49	1,505
D20	Plumbing Systems		0%	0.00	0
D30	Heating, Ventilation & Air Conditioning		0%	0.00	0
D40	Fire Protection		0%	0.00	0
D50	Electrical Lighting, Power & Communications		0%	0.00	0
D	Services		3%	19.49	1,505
E10	Equipment		0%	0.00	0
E20	Furnishings		0%	0.00	0
E	Equipment & Furnishings		0%	0.00	0
F10	Special Construction		0%	0.00	0
F20	Selective Demolition		0%	0.00	0
F	Special Construction & Demolition		0%	0.00	0
BUILDING ELEMENTAL COST BEFORE CONTINGENCIES			70%	394.85	30,495
Z10	Design Contingency	12.00%	8%	47.38	3,659
Z11	General Requirements	4.00%	3%	17.69	1,366
Z12	Construction Contingency	3.00%	2%	13.80	1,066
Z13	Other 3	0.00%	0%	0.00	0
BUILDING ELEMENTAL COST INCLUDING CONTINGENCIES			84%	473.72	36,587
Z21	General Conditions	6.00%	5%	28.42	2,195
Z22	Bonds & Insurance	2.00%	2%	10.04	776
Z23	Contractor's Overhead, Profit & Fee	3.00%	3%	15.37	1,187
BUILDING CONSTRUCTION COST BEFORE ESCALATION			100%	564.47	43,596
Z30	Escalation Is Not Included	0.00%	0%	0.00	0
RECOMMENDED BUDGET - June, 2022			100%	564.47	43,596



Feasibility Study Cost Plan

Option 2 - Replacement of Existing Courthouse

Item Description	Quantity	Unit	Rate	Total
A10 Foundations				
A1010 Standard Foundations				777,155
Reinforced concrete including excavation				
Reinforced concrete pad foundation	21,389	SF	20.00	427,780
Elevator pit	5	EA	50,000.00	250,000
Stem walls	1,325	SF	75.00	99,375
A1020 Special Foundations				
A1030 Slab On Grade				768,505
Slab-on grade				
Reinforced concrete slab on grade	21,389	SF	25.00	534,725
Reinforced concrete curb	663	LF	30.00	19,890
Waterproofing under slab-on grade	21,389	SF	10.00	213,890
				1,545,660
A20 Basement Construction				
A2010 Basement Excavation				1,722,707
Excavation				
Basement excavation	9,410	CY	50.00	470,477
Shoring				
Shoring sides of excavation - 4 sides	12,522	SF	100.00	1,252,230
A2020 Basement Walls				1,335,065
Retaining walls				
Reinforced concrete retaining walls	11,926	SF	95.00	1,132,970
Waterproofing sides of retaining walls	11,926	SF	15.00	178,890
Subsurface drainage				
Perforated drain pipe	663	LF	35.00	23,205
				3,057,772



Feasibility Study Cost Plan

Option 2 - Replacement of Existing Courthouse

Item Description	Quantity	Unit	Rate	Total
B10 Superstructure				
B1010 Floor Construction				10,338,836
Lateral framing system				
Steel framing system (12 psf)	84,779	SF	46.20	3,916,790
Gravity framing system				
Steel framing system (10 psf)	84,779	SF	33.00	2,797,707
Metal deck with concrete fill	84,779	SF	30.00	2,543,370
Fireproofing				
Fireproofing steelworks	84,779	SF	5.00	423,895
Miscellaneous				
Secondary framing to façade	49,815	SF	5.00	249,075
Premium for hardened walls - Lower Level	2,920	SF	40.00	116,800
Elevator lateral bracing and connections	17	EA	3,500.00	59,500
Miscellaneous metals and rough carpentry	77,233	SF	3.00	231,699
B1020 Roof Construction				105,000
Included Above				
Allow for secondary roof	3,000	SF	35.00	105,000
				10,443,836

B20 Exterior Enclosure

B2010 Exterior Walls				5,869,313
Wall framing, furring and insulation				
Studs framing, sheathing, insulation, vapor membrane	49,815	SF	40.00	1,992,600
Applied exterior finish				
Anti-graffiti coating	6,800	SF	2.50	17,000
Prefabricated cladding panels				
Cladding panels	28,730	SF	85.00	2,442,084
Interior finish to exterior walls				
Gypsum board lining, painted	28,730	SF	10.00	287,304



Feasibility Study Cost Plan

Option 2 - Replacement of Existing Courthouse

Item Description	Quantity	Unit	Rate	Total
Fascias, bands, screen and trim				
Architectural detailings	49,815	SF	3.00	149,445
Soffits				
Finish to soffits	7,546	SF	120.00	905,520
Balustrades, parapets and roofscreens				
Finish to back of parapet walls	2,512	SF	30.00	75,360
B2020 Exterior Windows				3,365,750
Glazed aluminum framed curtain walls	19,926	SF	125.00	2,490,750
Premium for ballistic glazing - Chamber side	3,500	SF	250.00	875,000
B2030 Exterior Doors				170,000
Aluminum glazed entrances	4	EA	20,000.00	80,000
Sallyport doors	2	EA	5,000.00	10,000
Roll-up grilles - Sallyport	2	EA	30,000.00	60,000
Overhead roll-up door - Secured parking	1	EA	20,000.00	20,000
				9,405,063

B30 Roofing

B3010 Roof Coverings				1,548,670
Roofing				
Membrane roofing	21,218	SF	30.00	636,540
Roof deck or traffic surfaces				
Plaza pavers, including waterproofing	7,717	SF	65.00	501,605
Roof upstands and sheetmetal	28,935	SF	5.00	144,675
Caulking and sealants				
Miscellaneous caulking and sealants	77,233	SF	1.00	77,233



Feasibility Study Cost Plan

Option 2 - Replacement of Existing Courthouse

Item Description	Quantity	Unit	Rate	Total
Security caulking	77,233	SF	0.50	38,617
Secondary roof Allow for canopy covering	3,000	SF	50.00	150,000
B3020 Roof Openings				
				1,548,670
C10 Interior Construction				
C1010 Partitions				824,640
Partition framing and surfacing				
Staircase shaft walls	5,040	SF	36.00	181,440
Elevator shaft walls	13,600	SF	36.00	489,600
MEP room walls	4,800	SF	32.00	153,600
C1020 Interior Doors				104,500
Interior doors and frames				
Staircase doors	9	EA	5,500.00	49,500
MEP room doors	11	EA	5,000.00	55,000
C1030 Fittings				358,932
Prefabricated compartment and accessories				
Including toilet partitions and accessories - public toilets	77,233	SF	1.00	77,233
Amenities and convenience items				
Exterior signage	1	LS	50,000.00	50,000
Interior code required signage	77,233	SF	1.00	77,233
Miscellaneous fittings	77,233	SF	2.00	154,466
				1,288,072

C20 Stairways



Feasibility Study Cost Plan

Option 2 - Replacement of Existing Courthouse

Item Description	Quantity	Unit	Rate	Total
C2010 Stair Construction				720,000
Staircase flights, floor to floor				
Steel framed staircase including railing and finish , 20' rise	9	EA	80,000.00	720,000
				720,000
C30 Interior Finishes				
C3010 Wall Finishes				456,540
Premium for public corridor	22,827	SF	20.00	456,540
C3020 Floor Finishes				299,920
Premium for public corridor	7,498	SF	40.00	299,920
C3030 Ceiling Finishes				224,940
Premium for public corridor	7,498	SF	30.00	224,940
				981,400
D10 Conveying Systems				
D1010 Elevators & Lifts				1,505,000
Public elevators	6	STP	80,000.00	480,000
Premium for elevator cab finishes	2	EA	50,000.00	100,000
Judges' / staff elevator, 3 stops	4	STP	65,000.00	260,000
In-custody holding elevator	7	STP	95,000.00	665,000
				1,505,000



Feasibility Study Cost Plan

Option 2 - Existing Courthouse Site Areas

	SF	SF	SF
Areas			
Net Site Areas	21,611		
Net Site Area		21,611	
Building Footprint Areas			
Building Footprint Area	21,389		
Subtotal of Building Footprint Areas		21,389	
GROSS SITE AREA			43,000



Feasibility Study Cost Plan

Option 2 - Existing Courthouse Site Summary

Ref.	Description		%	\$/SF	TOTAL \$ x 1,000
			Gross Area:	43,000 SF	
G10	Site Preparation		47%	68.98	2,966
G20	Site Improvements		18%	25.79	1,109
G30	Site Mechanical Utilities		2%	3.60	155
G40	Site Electrical Utilities		2%	3.59	154
G90	Other Site Construction		0%	0.00	0
G	Building Sitework		70%	101.96	4,384
SITE ELEMENTAL COST BEFORE CONTINGENCIES			70%	101.96	4,384
Z10	Design Contingency	12.00%	8%	12.24	526
Z11	General Requirements	4.00%	3%	4.57	196
Z12	Construction Contingency	3.00%	2%	3.56	153
Z13	Other 3	0.00%	0%	0.00	0
SITE ELEMENTAL COST INCLUDING CONTINGENCIES			84%	122.33	5,260
Z21	General Conditions	6.00%	5%	7.34	316
Z22	Bonds & Insurance	2.00%	2%	2.59	112
Z23	Contractor's Overhead, Profit & Fee	3.00%	3%	3.97	171
SITE CONSTRUCTION COST BEFORE ESCALATION			100%	145.77	6,268
Z30	Escalation Is Not Included	0.00%	0%	0.00	0
RECOMMENDED BUDGET - June, 2022			100%	145.77	6,268



Feasibility Study Cost Plan

Option 2 - Existing Courthouse Site

Item Description	Quantity	Unit	Rate	Total
G10 Site Preparation				
G1010 Site Clearing				21,500
Site clearing				
Miscellaneous site clearing	43,000	SF	0.50	21,500
G1020 Site Demolition and Relocations				2,078,190
Building demolition				
Demolish existing Annex building	54,032	SF	20.00	1,080,640
Demolish existing Historic Courthouse	28,310	SF	25.00	707,750
Remove existing foundation	28,980	SF	10.00	289,800
G1030 Site Earthwork				43,111
Grading				
Rough grading	43,000	SF	0.50	21,500
Fine grading - site area	21,611	SF	1.00	21,611
G1040 Hazardous Waste Remediation				823,420
Hazmat abatement				
Annex building	54,032	SF	10.00	540,320
Historic Courthouse	28,310	SF	10.00	283,100
				2,966,221
G20 Site Improvements				
G2010 Roadways				86,444
Reinforced concrete vehicular paving	4,322	SF	20.00	86,444
G2020 Parking Lots				
G2030 Pedestrian Paving				216,110



Feasibility Study Cost Plan

Option 2 - Existing Courthouse Site

Item Description	Quantity	Unit	Rate	Total
Architectural concrete paving	8,644	SF	25.00	216,110
G2040 Site Development				503,900
Premium for Plaza - including walls, planter walls , drainage	6,290	SF	30.00	188,700
Security bollards (Main and Church Street	246	LF	1,200.00	295,200
Site signage	1	LS	20,000.00	20,000
G2050 Landscaping				302,554
Allow for softscaping (including soil preparation, trees,	8,644	SF	35.00	302,554
				1,109,008

G30 Site Mechanical Utilities

G3010 Water Supply				35,000
Water supply				
Fire and domestic water pipework, valves, specialties,	100	LF	350.00	35,000
G3020 Sanitary Sewer				30,000
Sanitary sewer				
Underground pipework, manholes, connections to existing infrastructure	100	LF	300.00	30,000
G3030 Storm Sewer				
G3040 Heating Distribution				64,833
Storm sewer				
Storm water management systems, containment,	21,611	SF	3.00	64,833
G3050 Cooling Distribution				



Feasibility Study Cost Plan

Option 2 - Existing Courthouse Site

Item Description	Quantity	Unit	Rate	Total
G3060 Fuel Distribution				25,000
Natural gas				
Pipework, fittings, valves, specialties, connection to	100	LF	250.00	25,000
G3090 Other Site Mechanical Utilities				
				154,833
G40 Site Electrical Utilities				
G4010 Electrical Distribution				49,500
Electrical contractor to provide primary conduit only				
Primary - conduit only, (2) 5"	60	LF	275.00	16,500
Secondary - (5) 5" conduit and cable	60	LF	550.00	33,000
G4020 Site Lighting				64,833
Site lighting	21,611	SF	3.00	64,833
G4030 Site Communications & Security				40,000
Telecommunications/signals - feeder conduit/cable	100	LF	200.00	20,000
Connection manhole	1	LS	20,000.00	20,000
				154,333



Feasibility Study Cost Plan

Perimeter Street Improvements

Item Description	Quantity	Unit	Rate	Total
Perimeter Street Improvements - Option 2				
Street vacation - Washington Street	240	LF)		
Relocate existing utilities	240	LF	200.00	48,000
Site demolition	6,700	SF	5.00	33,500
New surfacing	6,700	SF	20.00	134,000
Patch and repair existing curbs	480	LF	10.00	4,800
Code upgrades including ramps/ curb cuts	6,700	SF	5.00	33,500
Main Street	190	LF)		
Site demolition	3,800	SF	5.00	19,000
New surfacing	1,900	SF	15.00	28,500
Patch and repair existing curbs	190	LF	10.00	1,900
Sidewalk improvement	1,900	SF	25.00	47,500
Code upgrades including ramps/ curb cuts	3,800	SF	5.00	19,000
Church Street	230	LF)		
Site demolition	6,600	SF	5.00	33,000
New surfacing	6,600	SF	15.00	99,000
Patch and repair existing curbs	230	LF	10.00	2,300
Sidewalk improvement	2,300	SF	40.00	92,000
Code upgrades including ramps/ curb cuts	6,600	SF	5.00	33,000
N. Pine Street	200	LF)		
Site demolition	6,550	SF	5.00	32,750
New surfacing	6,550	SF	15.00	98,250
Patch and repair existing curbs	200	LF	10.00	2,000
Sidewalk improvement	2,000	SF	25.00	50,000
Code upgrades including ramps/ curb cuts	6,550	SF	5.00	32,750
Street Improvement to suit New Parking (Including new driveway, curbs and sidewalk improvement, utility relocation, street lights)				
Main Washington Lot	440	LF	1,400.00	616,000
215 Washington Street	820	LF	1,400.00	1,148,000
Trade Cost Before Markups				2,608,750
Z10 Design Contingency	12.00%			313,050



Feasibility Study Cost Plan

Perimeter Street Improvements

Item Description	Quantity	Unit	Rate	Total
Z11 General Requirements	4.00%			116,872
Z12 Construction Contingency	3.00%			91,160
Z21 General Conditions	6.00%			187,790
Z22 Bonds & Insurance	2.00%			66,352
Z23 Contractor's Overhead, Profit & Fee	3.00%			101,519
Z24 Design & Build Fee	7.00%			243,985
Z30 Escalation Is Not Included	0.00%			
				<hr/>
				3,729,478



Feasibility Study Cost Plan

Option 3 - New Courthouse Areas

		GFA	AFA
Areas			
Enclosed Areas			Program Areas
Level 1	16	27,896	
Level 2	18.5	24,621	
Level 3	18.5	23,272	
Penthouse			
<hr/>			
Subtotal of Enclosed Areas		75,788	
Covered Areas			
Canopy		2,890	
	Sub-Total	<hr/> 2,890	
<hr/>			
Subtotal of Covered Areas at 50%		1,445	
<hr/>			
TOTAL GROSS FLOOR AREA		77,233	<hr/> 0 <hr/>



Feasibility Study Cost Plan

Option 3 - New Courthouse Areas

	GFA		AFA
Control Quantities			Ratio to GFA
Functional Units		6 Courts	0.000
Number of stories		3 EA	0.000
Program Area		53,893 SF	0.698
Gross Area		77,233 SF	1.000
Volume		1,332,341 CF	17.251
Enclosed Area		75,788 SF	0.981
Covered Area		2,890 SF	0.037
Footprint Area		27,896 SF	0.361
Basement Volume		CF	-
Retaining Wall Area		SF	-
Structural Framed Slab		78,678 SF	1.019
Gross Wall Area		47,884 SF	0.620
Finished Wall Area		28,730 SF	0.372
Windows or Glazing	40%	19,154 SF	0.248
Roof Area - Flat		27,896 SF	0.361
Roof Area - Sloping		2,890 SF	0.037
Roof Area - Total		30,785 SF	0.399
Roof Glazing Area		SF	-
Interior Partitions		2,627 LF	0.034
Interior Doors		EA	-
Staircase (floor to floor)		10 FLT	0.129
Shelled Area		53,893 SF	0.698
Finished Area		21,895 SF	0.283
Elevators (Ratio x 1,000)		14 EA	0.181
Plumbing Fixtures (Ratio x 1,000)		EA	-
HVAC		CFM	-
Sprinkler Systems		77,233 SF	1.000
Electrical Load (Ratio x 1,000)		kVA	-
Lighting Systems		75,788 SF	0.981



Feasibility Study Cost Plan

Option 3 - New Courthouse Summary

Ref.	Description		%	\$/SF	TOTAL \$ x 1,000
			Gross Area:	77,233 SF	
A10	Foundations		5%	24.54	1,895
A20	Basement Construction		0%	0.00	0
A	Substructure		5%	24.54	1,895
B10	Superstructure		25%	127.29	9,831
B20	Exterior Enclosure		25%	125.95	9,727
B30	Roofing		3%	16.01	1,237
B	Shell		54%	269.26	20,795
C10	Interior Construction		3%	13.46	1,039
C20	Stairways		2%	10.36	800
C30	Interior Finishes		4%	18.74	1,447
C	Interiors		9%	42.55	3,287
D10	Conveying Systems		3%	17.41	1,345
D20	Plumbing Systems		0%	0.00	0
D30	Heating, Ventilation & Air Conditioning		0%	0.00	0
D40	Fire Protection		0%	0.00	0
D50	Electrical Lighting, Power & Communications		0%	0.00	0
D	Services		3%	17.41	1,345
E10	Equipment		0%	0.91	70
E20	Furnishings		0%	0.00	0
E	Equipment & Furnishings		0%	0.91	70
F10	Special Construction		0%	0.00	0
F20	Selective Demolition		0%	0.00	0
F	Special Construction & Demolition		0%	0.00	0
BUILDING ELEMENTAL COST BEFORE CONTINGENCIES			71%	354.67	27,392
Z10	Design Contingency	12.00%	9%	42.56	3,287
Z11	General Requirements	3.00%	2%	11.92	920
Z12	Construction Contingency	3.00%	2%	12.27	948
Z13	Other 3	0.00%	0%	0.00	0
BUILDING ELEMENTAL COST INCLUDING CONTINGENCIES			84%	421.43	32,548
Z21	General Conditions	5.50%	5%	23.18	1,790
Z22	Bonds & Insurance	2.00%	2%	8.89	687
Z23	Contractor's Overhead, Profit & Fee	3.00%	3%	13.60	1,051
Z24	Design & Build Fee	7.00%	7%	32.70	2,525
BUILDING CONSTRUCTION COST BEFORE ESCALATION			100%	499.80	38,601
Z30	Escalation Is Not Included	0.00%	0%	0.00	0
RECOMMENDED BUDGET - June, 2022			100%	499.80	38,601



Feasibility Study Cost Plan

Option 3 - New Courthouse

Item Description	Quantity	Unit	Rate	Total
A10 Foundations				
A1010 Standard Foundations				895,737
Reinforced concrete including excavation				
Reinforced concrete pad foundation	27,896	SF	20.00	557,912
Elevator pit	5	EA	50,000.00	250,000
Stem walls	1,171	SF	75.00	87,825
A1030 Slab On Grade				999,745
Slab-on grade				
Reinforced concrete slab on grade	27,896	SF	25.00	697,390
Reinforced concrete curb	780	LF	30.00	23,400
Waterproofing under slab-on grade	27,896	SF	10.00	278,956
				1,895,482
B10 Superstructure				
B1010 Floor Construction				9,730,132
Lateral framing system				
Steel framing system (12 psf)	78,678	SF	46.20	3,634,917
Gravity framing system				
Steel framing system (10 psf)	78,678	SF	33.00	2,596,370
Metal deck with concrete fill	78,678	SF	30.00	2,360,336
Fireproofing				
Fireproofing steelworks	78,678	SF	5.00	393,389
Miscellaneous				
Secondary framing to façade	47,884	SF	5.00	239,420
MEP/ Penthouse and enclosure framing	3,000	SF	75.00	225,000
Elevator lateral bracing and connections	14	EA	3,500.00	49,000
Miscellaneous metals and rough carpentry	77,233	SF	3.00	231,699
B1020 Roof Construction				101,141
Included Above				



Feasibility Study Cost Plan

Option 3 - New Courthouse

Item Description	Quantity	Unit	Rate	Total
Allow for secondary roof	2,890	SF	35.00	101,141
				9,831,272
B20 Exterior Enclosure				
B2010 Exterior Walls				6,288,279
Wall framing, furring and insulation				
Studs framing, sheathing, insulation, vapor membrane	47,884	SF	40.00	1,915,360
Applied exterior finish				
Anti-graffiti coating	7,800	SF	2.50	19,500
Prefabricated cladding panels				
Cladding panels	28,730	SF	100.00	2,873,040
Interior finish to exterior walls				
Gypsum board lining, painted	28,730	SF	10.00	287,304
Fascias, bands, screen and trim				
Architectural detailings	47,884	SF	3.00	143,652
Mechanical screens	5,000	SF	120.00	600,000
Soffits				
Finish to soffits	2,890	SF	120.00	346,768
Balustrades, parapets and roofscreens				
Finish to back of parapet walls	2,933	SF	35.00	102,655
B2020 Exterior Windows				3,269,200
Glazed aluminum framed curtain walls	19,154	SF	125.00	2,394,200
Premium for ballistic glazing - Chamber side	3,500	SF	250.00	875,000
B2030 Exterior Doors				170,000
Aluminum glazed entrances	4	EA	20,000.00	80,000
Sallyport doors	2	EA	5,000.00	10,000
Roll-up grilles - Sallyport	2	EA	30,000.00	60,000
Overhead roll-up door - Secured parking	1	EA	20,000.00	20,000



Feasibility Study Cost Plan

Option 3 - New Courthouse

Item Description	Quantity	Unit	Rate	Total
				9,727,479
B30 Roofing				
B3010 Roof Coverings				1,236,682
Roofing				
Membrane roofing	27,896	SF	30.00	836,867
Roof upstands and sheetmetal	27,896	SF	5.00	139,478
Caulking and sealants				
Miscellaneous caulking and sealants	77,233	SF	1.00	77,233
Security caulking	77,233	SF	0.50	38,617
Secondary roof				
Allow for canopy covering	2,890	SF	50.00	144,487
				1,236,682
C10 Interior Construction				
C1010 Partitions				758,400
Partition framing and surfacing				
Staircase shaft walls	5,600	SF	36.00	201,600
Elevator shaft walls	11,200	SF	36.00	403,200
MEP room walls	4,800	SF	32.00	153,600
C1020 Interior Doors				110,000
Interior doors and frames				
Staircase doors	10	EA	5,500.00	55,000
MEP room doors	11	EA	5,000.00	55,000
C1030 Fittings				171,023
Amenities and convenience items				
Exterior signage	1	LS	50,000.00	50,000
Interior code required signage	77,233	SF	1.00	77,233



Feasibility Study Cost Plan

Option 3 - New Courthouse

Item Description	Quantity	Unit	Rate	Total
Miscellaneous fittings	21,895	SF	2.00	43,790
				1,039,423
C20 Stairways				
C2010 Stair Construction				800,000
Staircase flights, floor to floor				
Steel framed staircase including railing and finish , 20' rise	10	EA	80,000.00	800,000
				800,000
C30 Interior Finishes				
C3010 Wall Finishes				535,600
Premium for public corridor	26,780	SF	20.00	535,600
C3020 Floor Finishes				520,880
Premium for public corridor	13,022	SF	40.00	520,880
C3030 Ceiling Finishes				390,660
Premium for public corridor	13,022	SF	30.00	390,660
				1,447,140
D10 Conveying Systems				
D1010 Elevators & Lifts				1,345,000
Public elevators	6	STP	80,000.00	480,000
Premium for elevator cab finishes	2	EA	50,000.00	100,000
Judges' / staff elevator, 3 stops	3	STP	65,000.00	195,000
In-custody holding elevator	6	STP	95,000.00	570,000
				1,345,000



Feasibility Study Cost Plan

Option 3 - New Courthouse

Item Description	Quantity	Unit	Rate	Total
E10 Equipment				
E1010 Commercial Equipment				70,000
Window washing davits	1	LS	20,000.00	20,000
Loading dock equipment	1	LS	50,000.00	50,000
				<hr/>
				70,000



Feasibility Study Cost Plan

Option 3 - Interiors & Services Areas

	NSF	CGSF	
Areas			
Space Program			
Public Spaces	4	2,148	2,578
Court Sets	6	17,165	21,456
Chambers & Courtroom Supports	9	3,400	4,250
Court Operations & Courtroom Clerks	3	256	320
Clerk's Office	28	5,481	7,399
Family Court, Civil & ADR	11	2,765	3,733
Self-Help	2	733	953
Administration	11	2,694	3,368
Jury Services	2	2,379	2,974
Sheriff	1	1,255	1,569
Central Holding		1,150	1,725
Building Support		2,854	3,568
Subtotal of Program Area			53,893
TOTAL PROGRAM AREA		53,893	0



Feasibility Study Cost Plan

Option 3 - Interiors & Services Summary

Ref.	Description		%	\$/SF	TOTAL \$ x 1,000
			Gross Area:	77,233 SF	
A10	Foundations		0%	0.00	0
A20	Basement Construction		0%	0.00	0
A	Substructure		0%	0.00	0
B10	Superstructure		0%	0.00	0
B20	Exterior Enclosure		0%	0.00	0
B30	Roofing		0%	0.00	0
B	Shell		0%	0.00	0
C10	Interior Construction		13%	74.68	5,768
C20	Stairways		0%	0.00	0
C30	Interior Finishes		13%	72.37	5,590
C	Interiors		26%	147.06	11,358
D10	Conveying Systems		0%	0.00	0
D20	Plumbing Systems		3%	17.32	1,338
D30	Heating, Ventilation & Air Conditioning		14%	79.58	6,146
D40	Fire Protection		1%	7.50	579
D50	Electrical Lighting, Power & Communications		21%	116.93	9,031
D	Services		39%	221.34	17,095
E10	Equipment		1%	6.66	515
E20	Furnishings		3%	19.42	1,500
E	Equipment & Furnishings		5%	26.09	2,015
F10	Special Construction		0%	0.00	0
F20	Selective Demolition		0%	0.00	0
F	Special Construction & Demolition		0%	0.00	0
BUILDING ELEMENTAL COST BEFORE CONTINGENCIES			70%	394.48	30,467
Z10	Design Contingency	12.00%	8%	47.34	3,656
Z11	General Requirements	4.00%	3%	17.67	1,365
Z12	Construction Contingency	3.00%	2%	13.78	1,065
Z13	Other 3	0.00%	0%	0.00	0
BUILDING ELEMENTAL COST INCLUDING CONTINGENCIES			84%	473.28	36,553
Z21	General Conditions	6.00%	5%	28.40	2,193
Z22	Bonds & Insurance	2.00%	2%	10.03	775
Z23	Contractor's Overhead, Profit & Fee	3.00%	3%	15.35	1,186
Z24	Design & Build Fee	7.00%	7%	36.89	2,849
BUILDING CONSTRUCTION COST BEFORE ESCALATION			100%	563.96	43,556
Z30	Escalation Is Not Included	0.00%	0%	0.00	0
RECOMMENDED BUDGET - June, 2022			100%	563.96	43,556



Feasibility Study Cost Plan

Option 3 - Interiors & Services

Item Description	Quantity	Unit	Rate	Total
C10 Interior Construction				
C1010 Partitions				4,979,722
Concrete, block or CMU walls				
CMU walls	11,248	SF	40.00	449,920
Partition framing and surfacing				
Metal studs framing, gypsum board lining, insulation and painting on both sides	142,909	SF	30.00	4,287,284
Window walls and borrowed lights				
Interior glazing	1,617	SF	150.00	242,519
C1020 Interior Doors	137	EA)		627,626
Interior doors, frames and hardware				
Courtroom entry	12	EA	10,000.00	120,000
Judges/ jury courtroom entry	12	EA	5,000.00	60,000
Defendant entry	6	EA	5,000.00	30,000
Evidence closet	6	EA	6,000.00	36,000
Judges chamber	18	EA	3,500.00	63,000
Jury deliberation	12	EA	3,500.00	42,000
Public toilets	9	EA	4,000.00	36,000
Jury assembly	2	EA	8,000.00	16,000
Detention	6	EA	6,000.00	36,000
Other doors	54	EA	3,500.00	188,626
C1030 Fittings				160,733
Prefabricated compartment and accessories				
Toilet accessories	26	EA	1,000.00	26,000
Signage				
Room identification signage	53,893	SF	1.50	80,840
Miscellaneous				
Miscellaneous specialties	53,893	SF	1.00	53,893
				5,768,080



Feasibility Study Cost Plan

Option 3 - Interiors & Services

Item Description	Quantity	Unit	Rate	Total
C30 Interior Finishes				
C3010 Wall Finishes				2,777,505
Public Spaces	2,578	SF	50.00	128,900
Court Sets	21,456	SF	90.00	1,931,040
Chambers & Courtroom Supports	4,250	SF	40.00	170,000
Court Operations & Courtroom Clerks	320	SF	20.00	6,400
Clerk's Office	7,399	SF	20.00	147,980
Family Court, Civil & ADR	3,733	SF	20.00	74,660
Self-Help	953	SF	10.00	9,530
Administration	3,368	SF	20.00	67,360
Jury Services	2,974	SF	50.00	148,700
Sheriff	1,569	SF	20.00	31,380
Central Holding	1,725	SF	15.00	25,875
Building Support	3,568	SF	10.00	35,680
C3020 Floor Finishes				703,236
Public Spaces	2,578	SF	40.00	103,120
Court Sets	21,456	SF	10.00	214,560
Chambers & Courtroom Supports	4,250	SF	10.00	42,500
Court Operations & Courtroom Clerks	320	SF	10.00	3,200
Clerk's Office	7,399	SF	10.00	73,990
Family Court, Civil & ADR	3,733	SF	10.00	37,330
Self-Help	953	SF	10.00	9,530
Administration	3,368	SF	10.00	33,680
Jury Services	2,974	SF	50.00	148,700
Sheriff	1,569	SF	10.00	15,690
Central Holding	1,725	SF	8.00	13,800
Building Support	3,568	SF	2.00	7,136
C3030 Ceiling Finishes				2,108,965
Public Spaces	2,578	SF	70.00	180,460
Court Sets	21,456	SF	60.00	1,287,360
Chambers & Courtroom Supports	4,250	SF	25.00	106,250
Court Operations & Courtroom Clerks	320	SF	15.00	4,800
Clerk's Office	7,399	SF	15.00	110,985
Family Court, Civil & ADR	3,733	SF	15.00	55,995
Self-Help	953	SF	15.00	14,295
Administration	3,368	SF	15.00	50,520
Jury Services	2,974	SF	50.00	148,700



Feasibility Study Cost Plan

Option 3 - Interiors & Services

Item Description	Quantity	Unit	Rate	Total
Sheriff	1,569	SF	40.00	62,760
Central Holding	1,725	SF	40.00	69,000
Building Support	3,568	SF	5.00	17,840
				5,589,706

D20 Plumbing Systems

D2010 Plumbing Fixtures				440,000
Sanitary fixtures, domestic service, waste/vent pipework systems, including hose bibs, water softening, hot water heating equipment - allow (1000 SF/Fixture)				
	80	EA	2,000.00	160,000
D2020 Domestic Water Distribution				280,000
Sanitary waste, vent and service pipework				
Domestic service pipework				
	80	EA	3,500.00	280,000
D2030 Sanitary Waste				550,316
Sanitary waste, vent and service pipework				
Waste, vent, fittings				
	80	EA	3,500.00	280,000
Floor/area drains and sinks, < = 6", complete with connection pipework, trap primers				
	77,233	SF	2.50	193,083
Condensate drainage pipework, fittings, < = 1-1/2", insulated				
	77,233	SF	1.00	77,233
D2040 Rain Water Drainage				193,083
Surface water drainage				
Roof & overflow drain pipe, < = 6"				
	77,233	SF	2.50	193,083
D2090 Other Plumbing Systems				154,466
Natural gas - re HHW boilers, DX unit and kitchen service				
	77,233	SF	2.00	154,466
				1,337,864
			16.69 \$/SF	

D30 Heating, Ventilation & Air Conditioning

D3020 Heat Generating Systems				1,055,413
Heating hot water pipework, fittings				
Condensing heating hot water boiler, gas-fired, including flue, pipework connections, gas train (45 btuh per SF) - thermal expansion compensation, circulatory equipment				
	3,000	Mbth	30.00	90,000



Feasibility Study Cost Plan

Option 3 - Interiors & Services

Item Description	Quantity	Unit	Rate	Total
Pipework, fittings - heating hot water, valves, equipment hook-up and insulation	77,233	SF	12.50	965,413
D3030 Cooling Generating Systems				1,029,248
Chilled water generation systems				
Water cooled chiller (250 SF/ton) - thermal expansion compensation, circulatory equipment	300	Ton	1,500.00	450,000
Pipework, fittings - chilled water, valves, equipment hook-up and insulation	77,233	SF	7.50	579,248
D3040 Distribution Systems				1,930,825
Air distribution and return				
Galvanized sheet metal ductwork, dampers, insulation, diffusers, registers and grilles	77,233	SF	25.00	1,930,825
D3050 Terminal & Package Units				1,288,571
Air handling units, custom modular type, OA economizer, (VAV), heating and cooling, filtration, sound attenuation, vibration isolation (1 cfm/SF)	80,000	CFM	12.50	1,000,000
CRAC units - MPOE (2 EA)	10	Ton	6,000.00	60,000
VAV boxes, reheat (1/700 SF)	114	EA	2,000.00	228,571
D3060 Controls and Instrumentation				656,481
Controls and instrumentation				
Direct digital energy management system	77,233	SF	8.50	656,481
D3070 Systems Testing & Balancing				115,850
Test and balance air systems	77,233	SF	1.50	115,850
D3090 Other HVAC Systems & Equipment				70,000
Unit ventilation/exhaust fans				
Restroom, plant rooms	1	LS	37,500.00	37,500
Central holding	1	LS	32,500.00	32,500
	79.58	\$/SF		6,146,386
D40 Fire Protection				
D4010 Sprinklers				579,248
Fire protection				
Automatic wet fire sprinklers - complete	77,233	SF	7.50	579,248



Feasibility Study Cost Plan

Option 3 - Interiors & Services

Item Description	Quantity	Unit	Rate	Total
Fire pump				<i>Not Required</i>
	7.50	\$/SF		579,248

D50 Electrical Lighting, Power & Communications

D5010 Electrical Service & Distribution				2,714,515
Mains power and distribution				
480/120 V distribution equipment and feeders (25 kVA/GFA)	2,000	kVA	287.50	575,000
Emergency power				
Emergency power generator, load bank, sound attenuated, emissions control, belly tank, associated 480-120/208 distribution equipment & feeders - 25% normal power	500	kVA	1,750.00	875,000
UPS - rack-mounted < 5 KW	6	EA	18,750.00	112,500
Photovoltaics				
Photovoltaics				
Photovoltaic panels, storage and distribution equipment/cabling 10% normal power	200	KVA	3,250.00	650,000
Machine and equipment power				
Connections and switches, including conduit and cable				
Miscellaneous connections, < 100 AM - including courtrooms, mechanical, A/V equipment, food service, dampers, BMS power, fire, IT and security systems	1	LS	502,014.50	502,015
D5020 Lighting & Branch Wiring				3,640,085
User convenience power				
Panel board breakers, 120 V circuits - feeder conduit and cable	77,233	SF	1.50	115,850
Receptacles, including conduit and cable, controlled	77,233	SF	6.50	502,015
Lighting				
Panel board breakers, 277 V circuits - feeder conduit and cable	77,233	SF	1.50	115,850
Fixtures/switches, including conduit and cable - including dimmable systems/day lighting/LED	77,233	SF	30.00	2,316,990
Lighting and power specialties				
Grounding IT/Electrical rooms	1	LS	48,750.00	48,750



Feasibility Study Cost Plan

Option 3 - Interiors & Services

Item Description	Quantity	Unit	Rate	Total
Lighting control - LV panels, occupancy sensors, daylight dimming	77,233	SF	5.00	386,165
Cable tray/wire-way/j-hooks	77,233	SF	2.00	154,466
D5030 Communications & Security				1,829,029
Telephone and communications				
Telephone/data/WAP - including conduit & cable	77,233	SF	6.50	502,015
WAP	77,233	SF	1.50	115,850
ERRS	77,233	SF	2.00	154,466
Audiovisual systems, rough-in				
Equipment	6	EA	137,500.00	825,000
Audiovisual conduit & cable	77,233	SF	3.00	231,699
D5090 Other Electrical Systems				847,549
Fire alarm systems	77,233	SF	4.50	347,549
Security	1	LS	500,000.00	500,000
	116.93	\$/SF		9,031,177

E10 Equipment

E1020 Institutional Equipment				514,672
Detention equipment (including holding cells, doors, interview counter, etc.)	6	EA	75,000.00	450,000
Queuing system	53,893	SF	1.20	64,672
				514,672

E20 Furnishings

E2010 Fixed Furnishings				1,500,000
Courtroom fixed furnishings	6	EA	250,000.00	1,500,000
				1,500,000



Feasibility Study Cost Plan

Parking - New Courthouse Site Areas

	SF	SF	SF
Areas			
Net Site Areas	240	102,000	
Net Site Area			102,000
Building Footprint Areas			
Building Footprint Area			
Subtotal of Building Footprint Areas			0
GROSS SITE AREA			102,000



Feasibility Study Cost Plan

Parking - New Courthouse Site Summary

Ref.	Description		%	\$/SF	TOTAL \$ x 1,000
			Gross Area:	102,000 SF	
G10	Site Preparation		4%	1.44	147
G20	Site Improvements		57%	23.09	2,355
G30	Site Mechanical Utilities		7%	3.00	306
G40	Site Electrical Utilities		3%	1.17	119
G90	Other Site Construction		0%	0.00	0
G	Building Sitework		71%	28.70	2,927
SITE ELEMENTAL COST BEFORE CONTINGENCIES			71%	28.70	2,927
Z10	Design Contingency	12.00%	8%	3.44	351
Z11	General Requirements	3.00%	2%	0.96	98
Z12	Construction Contingency	3.00%	2%	0.99	101
Z13	Other 3	0.00%	0%	0.00	0
SITE ELEMENTAL COST INCLUDING CONTINGENCIES			84%	34.10	3,478
Z21	General Conditions	6.00%	5%	2.05	209
Z22	Bonds & Insurance	2.00%	2%	0.72	74
Z23	Contractor's Overhead, Profit & Fee	3.00%	3%	1.11	113
SITE CONSTRUCTION COST BEFORE ESCALATION			100%	40.63	4,144
Z30	Escalation Is Not Included	0.00%	0%	0.00	0
RECOMMENDED BUDGET - June, 2022			100%	40.63	4,144



Feasibility Study Cost Plan

Parking - New Courthouse Site

Item Description	Quantity	Unit	Rate	Total
G10 Site Preparation				
G1010 Site Clearing				51,000
Site clearing	102,000	SF	0.50	51,000
G1020 Site Demolition and Relocations				
G1030 Site Earthwork				96,000
Rough grading	102,000	SF	0.50	51,000
Fine grading - site area	90,000	SF	0.50	45,000
G1040 Hazardous Waste Remediation				
				147,000
G20 Site Improvements				
G2010 Roadways				
G2020 Parking Lots				1,800,000
Asphalt concrete paving including curbs and gutter	90,000	SF	20.00	1,800,000
G2030 Pedestrian Paving				135,000
Premium for pedestrian paving	13,500	SF	10.00	135,000
G2040 Site Development				
G2050 Landscaping				420,000



Feasibility Study Cost Plan

Parking - New Courthouse Site

Item Description	Quantity	Unit	Rate	Total
Allow for softscaping (including soil preparation, trees, groundcover)	12,000	SF	35.00	420,000
				2,355,000
G30 Site Mechanical Utilities				
G3030 Storm Sewer				306,000
Storm sewer				
Storm water management systems, containment,	102,000	SF	3.00	306,000
				306,000
G40 Site Electrical Utilities				
G4010 Electrical Distribution				
G4020 Site Lighting				119,000
Surface parking lights	34	EA	3,500.00	119,000
				119,000



Feasibility Study Cost Plan

Option 3 - New Courthouse Site Areas

	SF	SF	SF
Areas			
Net Site Areas	67,104		
Net Site Area		67,104	
Building Footprint Areas			
Building Footprint Area	27,896		
Subtotal of Building Footprint Areas		27,896	
GROSS SITE AREA			95,000



Feasibility Study Cost Plan

Option 3 - New Courthouse Site Summary

Ref.	Description		%	\$/SF	TOTAL \$ x 1,000
			Gross Area:	95,000 SF	
G10	Site Preparation		32%	50.27	4,776
G20	Site Improvements		20%	30.98	2,943
G30	Site Mechanical Utilities		7%	10.82	1,028
G40	Site Electrical Utilities		3%	4.26	405
G90	Other Site Construction		10%	15.79	1,500
G	Building Sitework		71%	112.12	10,652
SITE ELEMENTAL COST BEFORE CONTINGENCIES			71%	112.12	10,652
Z10	Design Contingency	12.00%	8%	13.45	1,278
Z11	General Requirements	3.00%	2%	3.77	358
Z12	Construction Contingency	3.00%	2%	3.88	369
Z13	Other 3	0.00%	0%	0.00	0
SITE ELEMENTAL COST INCLUDING CONTINGENCIES			84%	133.22	12,656
Z21	General Conditions	6.00%	5%	7.99	759
Z22	Bonds & Insurance	2.00%	2%	2.82	268
Z23	Contractor's Overhead, Profit & Fee	3.00%	3%	4.32	411
SITE CONSTRUCTION COST BEFORE ESCALATION			100%	158.75	15,081
Z30	Escalation Is Not Included	0.00%	0%	0.00	0
RECOMMENDED BUDGET - June, 2022			100%	158.75	15,081



Feasibility Study Cost Plan

Option 3 - New Courthouse Site

Item Description	Quantity	Unit	Rate	Total
G10 Site Preparation				
G1010 Site Clearing				47,500
Site clearing	95,000	SF	0.50	47,500
G1020 Site Demolition and Relocations				2,600,000
Building demolition	1	LS	2,000,000.00	2,000,000
Site demolition	200,000	SF	3.00	600,000
G1030 Site Earthwork				2,128,552
Cut/ fill - 40' range	200,000	SF	10.00	2,000,000
Rough grading	95,000	SF	1.00	95,000
Fine grading - site area	67,104	SF	0.50	33,552
G1040 Hazardous Waste Remediation				
				4,776,052
G20 Site Improvements				
G2010 Roadways				668,418
Reinforced concrete vehicular paving	13,421	SF	20.00	268,418
Road access	200,000	SF	2.00	400,000
G2020 Parking Lots				
Refer to Parking - New Site				
G2030 Pedestrian Paving				671,044
Architectural concrete paving	26,842	SF	25.00	671,044
G2040 Site Development				664,000
Judges' parking enclosure	200	LF	400.00	80,000
Judges' parking roof / canopy structure	4,700	SF	120.00	564,000
Site signage	1	LS	20,000.00	20,000



Feasibility Study Cost Plan

Option 3 - New Courthouse Site

Item Description	Quantity	Unit	Rate	Total
G2050 Landscaping				939,462
Allow for softscaping (including soil preparation, trees,	26,842	SF	35.00	939,462
				2,942,924
G30 Site Mechanical Utilities				
G3010 Water Supply				550,000
Water supply				
Fire and domestic water pipework, valves, specialties, post indicator valves, fire hydrants, fire department connections etc	1,000	LF	350.00	350,000
Fire pump and jockey pump including electrical connections	1	LS	110,000.00	110,000
Booster pump including electrical connections	1	LS	90,000.00	90,000
G3020 Sanitary Sewer				105,000
Sanitary sewer				
Underground pipework, manholes, connections to existing infrastructure	350	LF	300.00	105,000
G3030 Storm Sewer				285,000
Storm sewer				
Storm water management systems, containment, treatment and run-off	95,000	SF	3.00	285,000
G3060 Fuel Distribution				87,500
Natural gas				
Pipework, fittings, valves, specialties, connection to existing infrastructure	350	LF	250.00	87,500
				1,027,500

G40 Site Electrical Utilities



Feasibility Study Cost Plan

Option 3 - New Courthouse Site

Item Description	Quantity	Unit	Rate	Total
G4010 Electrical Distribution				123,750
Electrical contractor to provide primary conduit only ductbank to Power Co. Transformer. Secondary feeder conduit and cable by electrical contractor				
Primary - conduit only, (2) 5"	150	LF	275.00	41,250
Secondary - (5) 5" conduit and cable	150	LF	550.00	82,500
G4020 Site Lighting				201,313
Site lighting	67,104	SF	3.00	201,313
G4030 Site Communications & Security				80,000
Telecommunications/signals - feeder conduit/cable	300	LF	200.00	60,000
Connection manhole	1	LS	20,000.00	20,000
G4090 Other Site Electrical Utilities				
				405,063
G90 Other Site Construction				1,500,000
G9010 Service & Pedestrian Tunnels				
G9090 Other Site Systems				1,500,000
Provision of new traffic signals	1	LS	500,000.00	500,000
Provision of new utility and new connections- proposed	200,000	SF	5.00	1,000,000
				1,500,000



Feasibility Study Cost Plan

Perimeter Street Improvements

Item Description	Quantity	Unit	Rate	Total
Perimeter Street Improvements - Option 3				
North	520	LF)		
Site demolition	10,400	SF	5.00	52,000
New surfacing	5,200	SF	15.00	78,000
Patch and repair existing curbs	520	LF	10.00	5,200
Sidewalk improvement	5,200	SF	25.00	130,000
Code upgrades including ramps/ curb cuts	10,400	SF	5.00	52,000
East	370	LF)		
Site demolition	7,400	SF	5.00	37,000
New surfacing	3,700	SF	15.00	55,500
Patch and repair existing curbs	370	LF	10.00	3,700
Sidewalk improvement	3,700	SF	25.00	92,500
Code upgrades including ramps/ curb cuts	7,400	SF	5.00	37,000
South	520	LF)		
Site demolition	10,400	SF	5.00	52,000
New surfacing	5,200	SF	15.00	78,000
Patch and repair existing curbs	520	LF	10.00	5,200
Sidewalk improvement	5,200	SF	40.00	208,000
Code upgrades including ramps/ curb cuts	10,400	SF	5.00	52,000
West	370	LF)		
Site demolition	7,400	SF	5.00	37,000
New surfacing	3,700	SF	15.00	55,500
Patch and repair existing curbs	370	LF	10.00	3,700
Sidewalk improvement	3,700	SF	25.00	92,500
Code upgrades including ramps/ curb cuts	7,400	SF	5.00	37,000
Alternate Cost Before Markups				1,163,800
Z10 Design Contingency	12.00%			139,656
Z11 General Requirements	4.00%			52,138
Z12 Construction Contingency	3.00%			40,668
Z21 General Conditions	6.00%			83,776
Z22 Bonds & Insurance	2.00%			29,601
Z23 Contractor's Overhead, Profit & Fee	3.00%			45,289
Z24 Design & Build Fee	7.00%			108,845
Z30 Escalation Is Not Included	0.00%			
				1,663,773



Feasibility Study Cost Plan

Movable Furniture & Equipment Summary

Ref.	Description		%	\$/SF	TOTAL \$ x 1,000
			Gross Area:	53,893 SF	
A10	Foundations		0%	0.00	0
A20	Basement Construction		0%	0.00	0
A	Substructure		0%	0.00	0
B10	Superstructure		0%	0.00	0
B20	Exterior Enclosure		0%	0.00	0
B30	Roofing		0%	0.00	0
B	Shell		0%	0.00	0
C10	Interior Construction		0%	0.00	0
C20	Stairways		0%	0.00	0
C30	Interior Finishes		0%	0.00	0
C	Interiors		0%	0.00	0
D10	Conveying Systems		0%	0.00	0
D20	Plumbing Systems		0%	0.00	0
D30	Heating, Ventilation & Air Conditioning		0%	0.00	0
D40	Fire Protection		0%	0.00	0
D50	Electrical Lighting, Power & Communications		0%	0.00	0
D	Services		0%	0.00	0
E10	Equipment		5%	1.67	90
E20	Furnishings		65%	23.38	1,260
E	Equipment & Furnishings		70%	25.05	1,350
F10	Special Construction		0%	0.00	0
F20	Selective Demolition		0%	0.00	0
F	Special Construction & Demolition		0%	0.00	0
BUILDING ELEMENTAL COST BEFORE CONTINGENCIES			70%	25.05	1,350
Z10	Design Contingency	12.00%	8%	3.01	162
Z11	General Requirements	4.00%	0%	1.12	60
Z12	Construction Contingency	3.00%	0%	0.88	47
Z13	Other 3	0.00%	0%	0.00	0
BUILDING ELEMENTAL COST INCLUDING CONTINGENCIES			84%	30.05	1,620
Z21	General Conditions	6.00%	5%	1.80	97
Z22	Bonds & Insurance	2.00%	2%	0.64	34
Z23	Contractor's Overhead, Profit & Fee	3.00%	3%	0.97	53
BUILDING CONSTRUCTION COST BEFORE ESCALATION			100%	35.81	1,930
Z30	Escalation Is Not Included	0.00%	0%	0.00	0
RECOMMENDED BUDGET - June, 2022			100%	35.81	1,930



Feasibility Study Cost Plan

Movable Furniture & Equipment

Item Description	Quantity	Unit	Rate	Total
E10 Equipment				
E1020 Institutional Equipment				90,000
Detention and holding (including gun lockers, cuff chain hooks, self contained	6	EA	15,000.00	90,000
				90,000
E20 Furnishings				
E2020 Movable Furnishings				1,260,000
Including chairs, tables, lectern, cash storage, file cabinets, casegoods, workstations, shelving)	6	EA	150,000.00	900,000
Delivery and installation	40%	of	900,000.00	360,000
				1,260,000



Feasibility Study Cost Plan

Data, Communications & Security Summary

Ref.	Description		%	\$/SF	TOTAL \$ x 1,000
			Gross Area:	53,893 SF	
A10	Foundations		0%	0.00	0
A20	Basement Construction		0%	0.00	0
A	Substructure		0%	0.00	0
B10	Superstructure		0%	0.00	0
B20	Exterior Enclosure		0%	0.00	0
B30	Roofing		0%	0.00	0
B	Shell		0%	0.00	0
C10	Interior Construction		0%	0.00	0
C20	Stairways		0%	0.00	0
C30	Interior Finishes		0%	0.00	0
C	Interiors		0%	0.00	0
D10	Conveying Systems		0%	0.00	0
D20	Plumbing Systems		0%	0.00	0
D30	Heating, Ventilation & Air Conditioning		0%	0.00	0
D40	Fire Protection		0%	0.00	0
D50	Electrical Lighting, Power & Communications		70%	31.81	1,714
D	Services		70%	31.81	1,714
E10	Equipment		0%	0.00	0
E20	Furnishings		0%	0.00	0
E	Equipment & Furnishings		0%	0.00	0
F10	Special Construction		0%	0.00	0
F20	Selective Demolition		0%	0.00	0
F	Special Construction & Demolition		0%	0.00	0
BUILDING ELEMENTAL COST BEFORE CONTINGENCIES			70%	31.81	1,714
Z10	Design Contingency	12.00%	8%	3.82	206
Z11	General Requirements	4.00%	0%	1.43	77
Z12	Construction Contingency	3.00%	0%	1.11	60
Z13	Other 3	0.00%	0%	0.00	0
BUILDING ELEMENTAL COST INCLUDING CONTINGENCIES			84%	38.17	2,057
Z21	General Conditions	6.00%	5%	2.29	123
Z22	Bonds & Insurance	2.00%	2%	0.81	44
Z23	Contractor's Overhead, Profit & Fee	3.00%	3%	1.24	67
Z24	Design & Build Fee	7.00%	7%	2.98	160
BUILDING CONSTRUCTION COST BEFORE ESCALATION			100%	45.48	2,451
Z30	Escalation Is Not Included	0.00%	0%	0.00	0
RECOMMENDED BUDGET - June, 2022			100%	45.48	2,451



Feasibility Study Cost Plan

Data, Communications & Security

Item Description	Quantity	Unit	Rate	Total
D50 Electrical Lighting, Power & Communications				
D5030 Communications & Security				1,714,466
Distributed Antenna Systems	77,233	SF	2.00	154,466
Security Systems	6	EA	120,000.00	720,000
Integrated Audio-Video System	6	EA	100,000.00	600,000
Lobby Areas				
Waiting Areas				
Jury Assembly Areas				
Courtroom Areas				
Jury Deliberation Areas				
Conference Rooms / Meeting Rooms / Training Rooms				
Public Queuing Systems	6	EA	15,000.00	90,000
Digital Signage Systems	6	EA	25,000.00	150,000
				1,714,466

The background of the slide features a large, faint, circular seal of the State of California. The seal contains the text "THE GREAT SEAL OF THE STATE OF CALIFORNIA" around the perimeter and "EUREKA" in the center. The central image of the seal depicts a figure holding a torch and a scale, with a ship and a landscape below.

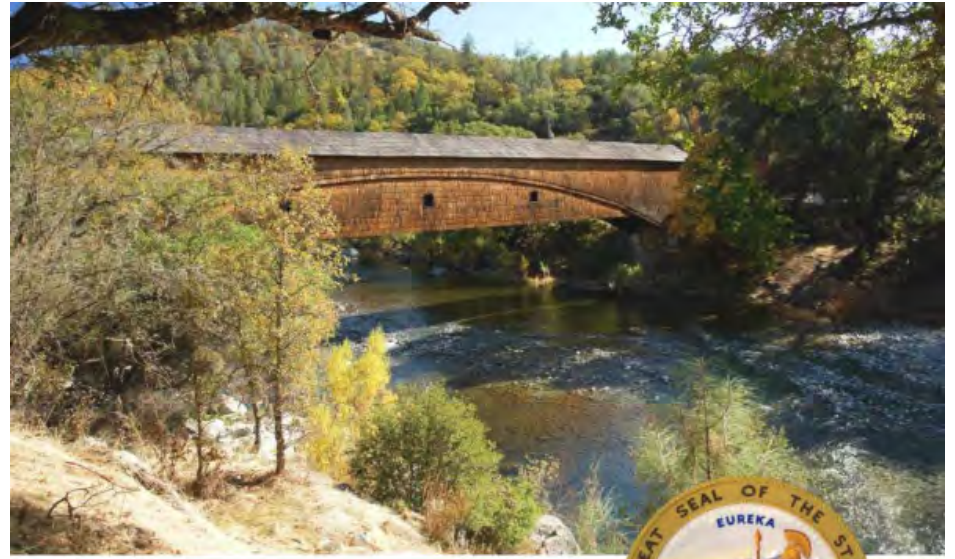
Superior Court of Nevada County New Nevada City Courthouse Planning Study

Project Study Review

Court Facilities Advisory Committee Meeting
June 17, 2022

Agenda

- Comments Summary
- Impact of Changes
 - Criteria Evaluation
 - Cost Model
 - Final Score
- Committee Action



NEVADA COUNTY

New Nevada City Courthouse Planning Study

JUNE 9, 2022

Comments Summary

- **Agreed and revised: 22**
 - 10 – Project Background and Methodology
 - 8 – Site / Site Function
 - 2 – Cost
 - 2 - Sustainability

- **No change required: 18**
 - 7 – Site / Site Function
 - 5 – Cost
 - 3 – Community Goals
 - 2 – Project Background and Methodology
 - 1 - Sustainability

Comments Summary

Disagree and response provided: 6

Section 2.3 - Option 3; Cost Estimate

Comment:

“The draft study assigns a perfect score for the cost of Option 3 where the cost is based on a very limited “model” that does not include any site configuration while Option 1 and Option 2 are costed based upon actual site impacts. Option 3 is certain to have site constraints that will influence the development, cost, and timing of the project. The costing of a hypothetical in Option 3 versus an actual in Option 1 and Option 2 cannot be reconciled as an accurate comparison and should not be used for scoring in this configuration.”

Response:

“It would be negligent to not include a cost model for the courthouse options. The Study team has provided a very reasonable approach to costing the (3) options. Site constraints were included in the cost model for Option 3 and it is still clearly the lowest cost. The methodology used to score cost is based on using the lowest cost as a perfect score (100) and the remaining options receive a proportional cost score based on a scale of 0 to 100. If their cost is close to the lowest cost, their cost score will be close to 100. This methodology has precedent within the JCC and is consistent with the overall Study's approach.”

Comments Summary

Disagree and response provided: 6

Section 2.1 - Option 1; Criteria Evaluation, Site Function, Accessibility

Comment:

“Minimal improvements for ADA accessibility or security are incorporated into Option 1 and this results in low scores. The study does not adequately address the accessibility and security improvements in Option 1 and this is resulting in a point discrepancy of 20 points with Option 1 as compared to Option 2 and 38 points with Option 1 as compared with Option 3. Several opportunities exist, such as constructing an at-grade entrance at Church Street with an elevator or building a plaza along the west side of the building facing Pine Street. Setbacks can also be increased where portions of the building need to be reconstructed.”

Response:

“Accessibility & security options to the courthouse were reviewed. The designs used for the Study are reasonable and conceptual in nature and will need further evaluation in all aspects, including accessibility & security. There may be additional work-arounds to improve these and other conditions. Even if other measures are incorporated, accessibility & security issues will remain problematic for Option 1.”

Comments Summary

Disagree and response provided: 6

Section 2.1 - Option 1; Cost Estimate

Comment:

“Option 2 has a construction cost that is \$19 million higher than Option 3 despite the building structure being similar size, massing, and configuration. The cost of sitework should be less with Option 2 because streets and much of parking/site infrastructure is existing, whereas Option 3 would have all new sitework with walls, grading, 240-space parking lot, sidewalks, and new street accesses that would need to be developed. Also not considered is the cost of highway improvements and utility extensions that would be needed with Option 3. The cost difference results in a point difference of 30 points.”

Response:

“The main differences in the cost of site between Option 2 and Option 3 are:

1. Option 2 includes basement construction making the building 4 story – added basement excavation/ shoring/ waterproofing / additional vertical component such as elevator stop / stair
2. Option 2 includes a higher cost to capture the blast requirements (less in Option 3 since 25’ stand-off has been satisfied
3. Site Costs in Option 2 is higher due to the demolition of the existing Courthouse (though Option 3 included allowance for structure demolition). It will be more expensive to demolish and dispose in downtown Nevada.
4. Parking in Option 2 is included as parking structure as compared to surface parking for Option 3 – including perimeter street improvement for 2 parking sites (similar # of stalls add +\$9.7M)
5. Highway improvements and utility connection , new retaining walls, extensive grading are included in Option 3 (equivalent to \$8M)

These elements result in Option 2 having a more expensive sitework cost.”

Comments Summary

Disagree and response provided: 6

Section 2.1 - Option 1; Cost Estimate

Comment:

“The differences in schedule related to the cost plan needs review. The start and completion dates do not align with actual time frames for the work nor represented the reasonable time frame for land acquisition and environmental study for Option 3. This discrepancy affects the project delivery point system and results in variance that favors Option 3 by 27 points.”

Response:

“The schedules for each option were developed using standard development time frames and are applicable in this study. The main reason Options 1 & 2 take longer than Option 3 is because they require the court function to move out of the facility into swing space. The second reason is their construction is more complex and will require a longer duration. Option 3 shows a reasonable 2-year time frame for site acquisition and environmental study.”

Comments Summary

Disagree and response provided: 6

Section 2.1 - Option 1; Cost Estimate

Comment:

“The Report notes for Option 3 that “frontage improvements will include two new driveway entrances connecting to Highway 49”. In the absence of a comprehensive site layout and given the constraints of highway intersection in the area this is an unreasonable assertion. Given that two driveways cannot be reasonably built without significant offsite infrastructure changes the site access and circulation identified cannot be considered valid.”

Response:

“This type of work is fairly typical and the team is reasonably certain it can be achieved. If it cannot be achieved the design will need to accommodate a divide on site vehicular path of travel, which is possible.”

Comments Summary

Disagree and response provided: 6

Section 2.1 - Option 1; Cost Estimate

Comment:

“The mothballing costs to maintain the existing structure associated with Option 3 should be factored into the total project cost.”

Response:

“The mothballing cost to maintain the existing structure associated with Option 3, if it is held for 30 years at an Operations & Maintenance cost of \$30,000 per year, would be \$500,000 in today's net present value, but we do not know how long the facility will be mothballed. It could be sold or leased at any time. Due to this uncertainty, we are not including this cost under Option 3 in the Study. Note: even under a worst-case-scenario, the \$500,000 Operations & Maintenance cost would not change the scoring.”

Impact of Changes: Criteria Evaluation

- Biggest Impact: Site Function: lowered points for Option 3

WEIGHT (%)	ITEM	OPTION 1 Renovate Existing		OPTION 2 Rebuild On-Site		OPTION 3 Build on New Site	
		Score	Weight	Score	Weight	Score	Weight
35.0%	Court Function	58	20	99	34	100	35
20.0%	Site Function	45	9	70	14	94	19
15.0%	Local Community Goals	96	14	92	14	32	5
15.0%	Judicial Council Goals	70	11	94	14	99	15
15.0%	Project Delivery	64	10	64	10	96	14
100.0%	Final Criteria Score	64		86		88	

May 2022 Draft Scores

WEIGHT (%)	ITEM	OPTION 1 Renovate Existing		OPTION 2 Rebuild On-Site		OPTION 3 Build on New Site	
		Score	Weight	Score	Weight	Score	Weight
35.0%	Court Function	58	20	99	34	100	35
20.0%	Site Function	45	9	70	14	90	18
15.0%	Local Community Goals	96	14	92	14	32	5
15.0%	Judicial Council Goals	70	11	94	14	99	15
15.0%	Project Delivery	64	10	64	10	91	14
100.0%	Final Criteria Score	64		86		87	

June 2022 Final Scores

Impact of Changes: Cost

- **Biggest Impact:** changing the site acquisition cost from \$500,000 to \$4,550,000

ITEM	OPTION 1 Renovate Existing	OPTION 2 Rebuild On-Site	OPTION 3 Build on New Site
Construction Costs	\$133,820,000	\$148,816,000	\$112,501,000
Project Soft Costs	\$36,131,400	\$40,180,320	\$30,375,270
Property Acquisition Costs	\$5,005,000	\$4,997,500	\$500,000
Escalation Costs (May 2022 to midpoint)	\$44,823,830	\$52,688,722	\$28,159,099
Total Cost	\$219,780,230	\$246,628,542	\$171,535,369
Score	78	70	100

May 2022 Draft Costs

ITEM	OPTION 1 Renovate Existing	OPTION 2 Rebuild On-Site	OPTION 3 Build on New Site
Construction Costs	\$133,820,000	\$148,816,000	\$112,798,000
Project Soft Costs	\$36,131,400	\$40,180,320	\$30,455,460
Property Acquisition Costs	\$5,005,000	\$4,997,500	\$4,550,000
Escalation Costs (May 2022 to midpoint)	\$44,823,830	\$52,688,722	\$29,028,600
Total Cost	\$219,780,230	\$246,628,542	\$176,832,060
Score	80	72	100

June 2022 Final Costs

Impact of Changes: Final Score

WEIGHT (%)	ITEM	OPTION 1 Renovate Existing		OPTION 2 Rebuild On-Site		OPTION 3 Build on New Site	
		Score	Weight	Score	Weight	Score	Weight
70.0%	Criteria Evaluation Weighted Score	64	45	86	60	88	62
30.0%	Cost Weighted Score	78	23	70	21	100	30
100.0%	Final Score	68		81		92	

May 2022 Draft Scores

WEIGHT (%)	ITEM	OPTION 1 Renovate Existing		OPTION 2 Rebuild On-Site		OPTION 3 Build on New Site	
		Score	Weight	Score	Weight	Score	Weight
70.0%	Criteria Evaluation Weighted Score	64	45	86	60	87	61
30.0%	Cost Weighted Score	80	24	72	22	100	30
100.0%	Final Score	69		82		91	

June 2022 Final Scores

Action

- Committee to make a decision on selection of project option.

SUPERIOR COURT OF THE STATE OF CALIFORNIA
County of Nevada

S. ROBERT TICE-RASKIN,
Presiding Judge

B. SCOTT THOMSEN, *Judge*

THOMAS M. ANDERSON, *Judge*

JASON LACHANCE,
Commissioner



LINDA J. SLOVEN,
Assistant Presiding Judge

CANDACE S. HEIDELBERGER,
Judge

YVETTE DURANT, *Judge*

JASON B. GALKIN,
Court Executive Officer

201 Church Street
Nevada City, CA 95959
(530) 362-4309
www.nevada.courts.ca.gov

7 June 2022

Via United States Mail and Electronic Mail

The Honorable Brad R. Hill
Chairman of the Court Facilities Advisory Committee
Administrative Presiding Justice
Court of Appeal, Fifth Appellate District
2424 Ventura Street
Fresno, California 93721

Dear Justice Hill and Members of the Court Facilities Advisory Committee:

Warm greetings, again, from the Judges of the Nevada County Superior Court. As promised, we have the following thoughts regarding the three proposed options discussed in the draft "New Nevada City Courthouse Planning Study" by HOK (the "study").

First and foremost, we are extraordinarily pleased that the Judicial Council and the Court Facilities Advisory Committee ("CFAC") recognize the critical need for a new Nevada City courthouse. As you know, the study notes that our current courthouse is "considered unsafe, undersized, substandard, overcrowded and functionally deficient." We urge CFAC to take immediate action to choose one of the three courthouse options during its 17 June 2022 meeting. The citizens of our county deserve a modernized courthouse as soon as that is reasonably possible.

Second, in our judgment, the ideal scenario for our community would be Option Two, construction of a state-of-the-art courthouse at the current *downtown* site. Our downtown courthouse has been a historic, civic, cultural and economic centerpiece for Nevada *County* for over one-hundred and fifty years. Option Two allows the court to have a highly functional courthouse that meets all the court's space needs to serve the public. Option Two significantly improves safety and security for the courthouse as well as accessibility for courthouse patrons. Option Two allows the court to stay conveniently proximate to numerous critical courthouse participants (including the District Attorney, the Public Defender, the Probation Office and private counsel) whose offices (and scores of employees) are located in the core of Nevada City.

Furthermore, option Two promotes the “local community goals” of maintaining a vibrant downtown Nevada City.

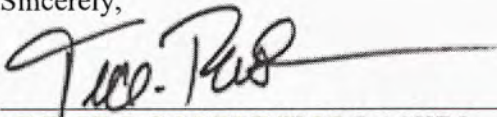
In addition, and of great importance, we have grave reservations about relegating this prominent, public edifice at the heart of our county seat to dormancy and potential decay for years to come. There is a foreseeable risk that an empty, downtown courthouse could become a blight for the entire community, with significant long-term and adverse consequences for Nevada City and Nevada County. We note, with concern, that there are presently two prominent commercial/government buildings in or immediately proximate to the county seat (the Alpha Building and the Nevada County Health, Education and Welfare buildings) that have been vacant and/or abandoned for years. The continued existence of a downtown courthouse, in our view, is critical to ensure the sustained and long-term vitality of our county seat.

Third, we do not recommend selection of Option One, renovation of the existing courthouse. Simply put, any Option One courthouse would be substandard and inadequate to meet the required needs of the community we serve. As the study notes, the courthouse itself would have “unresolved functional issues” and would not meet all of the facility standards ordinarily required for California courts. Moreover, the site would have “inherent, unresolved security, access, and functional issues.”

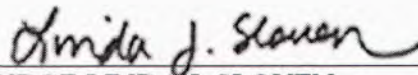
We recognize that CFAC must act as a steward for numerous statewide capital projects for the judiciary, including ours, and that CFAC ultimately must make its own measured decision of the appropriate choice given the totality of the relevant considerations.

We respectfully wish to underscore, again, our ardent desire that CFAC move forward on one of the three options during its June meeting; the time is now ripe for this essential modernization of our Nevada City courthouse. Thank you for considering our suggestions and for all of the work you perform for the benefit of our court, as well as the judicial branch as a whole.

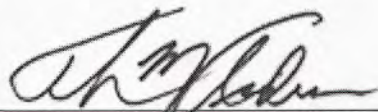
Sincerely,



JUDGE S. ROBERT TICE-RASKIN
Presiding Judge



JUDGE LINDA J. SLOVEN
Assistant Presiding Judge



JUDGE THOMAS M. ANDERSON



JUDGE YVETTE DURANT



JUDGE CANDACE S. HEIDEBERGER



JUDGE B. SCOTT THOMSEN