

300 EAST OLIVE AVE., BURBANK, CA 91502

DRAWING INDEX

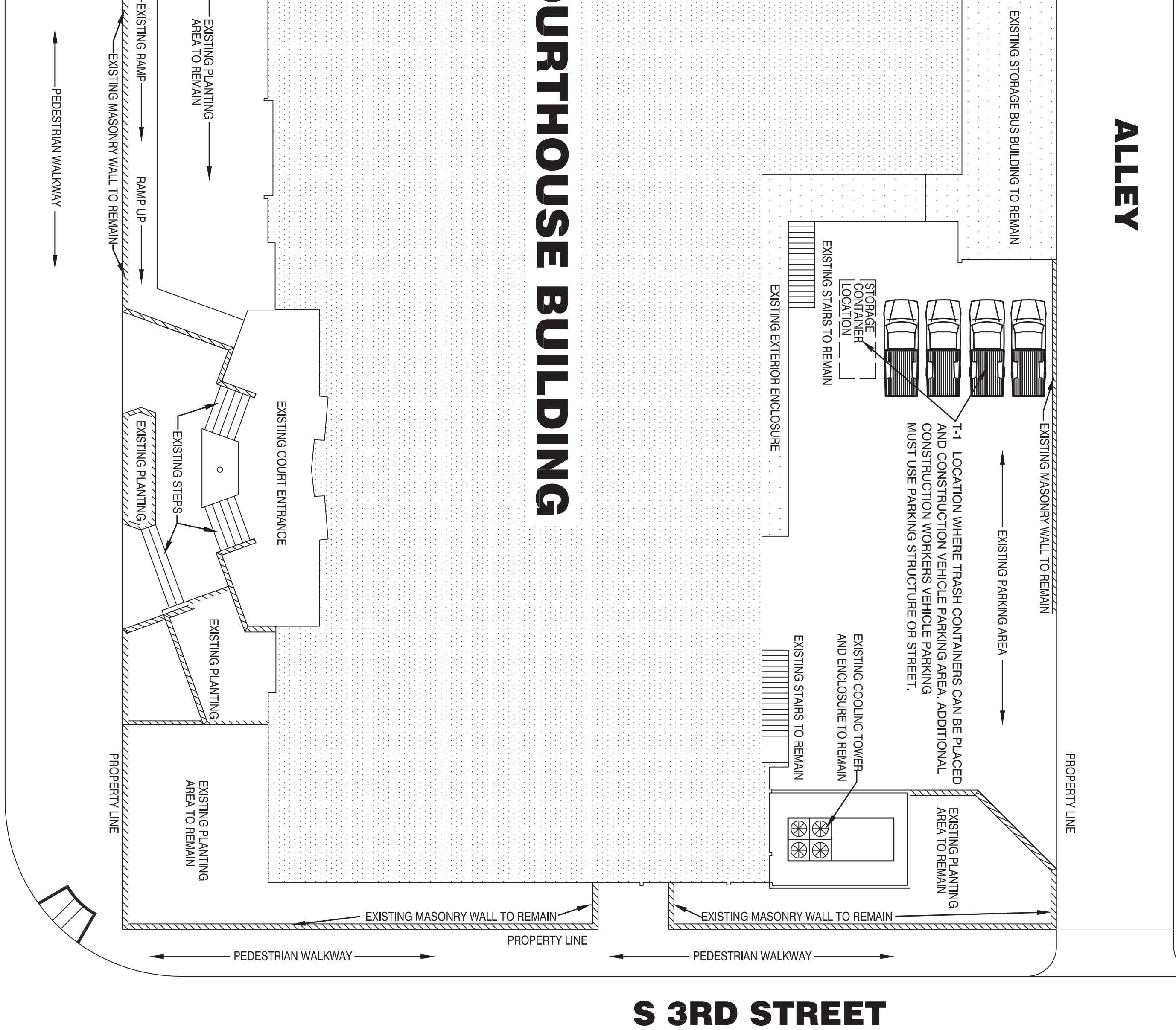
- CONTRACTOR SHALL NOT PROCEED WITH ANY DEMOLITION, ADDITIONS AND CONSTRUCTION WITHIN ANY PROJECT SITE AREAS AND STRUCTURES IF ANY CONFLICT EXISTS WITHIN THE CONTRACT DOCUMENTS OR PROJECT SITE AREAS AND STRUCTURES. CONTRACTOR PROCEEDS WITH ANY DEMOLITION AND CONSTRUCTION OF THE PROJECT WITHIN ANY PROJECT SITE AREAS FROM THE ARCHITECT. THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL REWORK NECESSARY TO CORRECT THE ISSUE AT NO ADDITIONAL COST TO THE DISTRICT.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING MATERIALS THAT ARE TO REMAIN IN PLACE.
- THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS.
- IF THERE ARE ANY CONFLICTS WITHIN THE CONTRACT DOCUMENTS THAT SPECIFY AN ITEM AS OWNER PROVIDED, OWNER INSTALLED, OWNER PROVIDED, DISTRICT INSTALLED OR OWNER PROVIDED, DISTRICT INSTALLED, DISTRICT PROVIDED, DISTRICT INSTALLED BY OTHERS, PROVIDED BY OTHERS, ETC. BUT IS SPECIALLY CONTRACTOR INSTALLED WITHIN THE CONTRACT DOCUMENTS SHALL BE C.F.C.I. (CONTRACTOR FURNISHED CONTRACTOR INSTALLED). BY SUBMISSION OF BID THE CONTRACTOR ACKNOWLEDGES THAT ALL WORK AND ITEMS SPECIFIED WITHIN THESE CONTRACT DOCUMENTS SHALL BE INCLUDED WITHIN THEIR BID EXCEPT AS EXCLUDED WITHIN THIS NOTE.

APPLICABLE CODES



CONSULTANTS

ARCHITECT	DC ARCHITECTS	RICHARD DUNCAN	820 N. MOUNTAIN AVE., SUITE 200 UPLAND, CA 91786 TEL. (909) 985-8639 FAX. (909) 985-0684 dduncan@dcarchitects.net
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TITLE SHEET
SITE PLAN
CODES AND NOTES

**JUDICIAL COUNCIL OF CALIFORNIA
COUNTY OF LOS ANGELES**
BURBANK COURTHOUSE ROOF REPLACEMENT
300 EAST OLIVE AVE., BURBANK, CA 91502





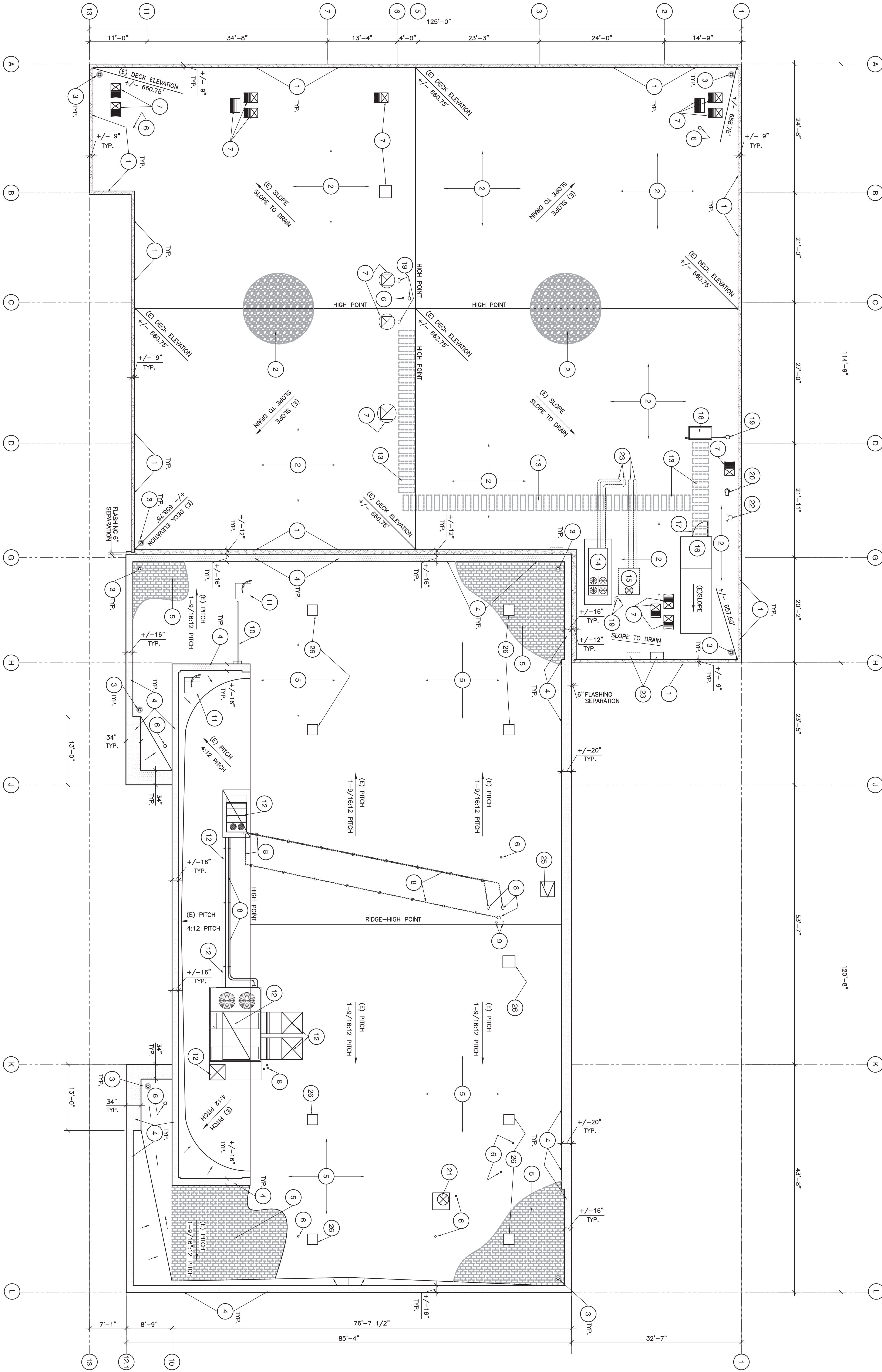
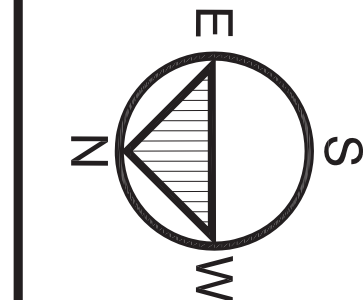
11/22/16

KEYNOTES

- EXISTING SHEET METAL COPING TO BE REMOVED IN ITS ENTIRETY TYPICAL.
- REMOVE IN ITS ENTIRETY THE EXISTING GRAVEL SURFACE HOT ASPHALT APPLIED BUILT-UP ROOF. REMOVE ALL EXISTING 2" ASPHALT BASE MATERIAL FROM THE EXISTING CONCRETE ROOF SUBSTRATE/DECK.
- REMOVE ALL EXISTING DRAINS, SCREENS IN THERE ENTIRETY.
- SAND AND REMOVE IN ITS ENTIRETY ALL CONCRETE PARAPET MATERIAL AND EXISTING MATERIAL FINAL TO RECEIVE NEW CONCRETE WATER PROOF MATERIAL.
- REMOVE IN ITS ENTIRETY THE EXISTING COMPOSITION ASPHALT SHINGLES AND WEATHER PROOF UNDERLAYMENT DOWN TO THE EXISTING 1X6 EXISTING PITCH FLASHING.
- REMOVE ALL EXISTING PIPES, CONDUTS, VENT PIPES TYPICAL, FLASHING AROUND ALL PIPES, CONDUTS, VENT PIPES TYPICAL.
- EXISTING EXHAUST VENTS AND GRAVITY VENTS TO REMAIN, REMOVE ALL FLASHING IN THERE ENTIRETY TO RECEIVE NEW FLASHING.
- REMOVE ELECTRICAL CONDUTS AND SUPPORT BLOCKS IN THERE ENTIRETY. REMOVE ELECTRICAL CONDUT RISERS WHERE CONNECTIONS POINTS IN THE ROOF OCCUR. PATCH CONDUT BLOCKS TO MATCH EXISTING PITCH FLASHING.
- REMOVE IN THERE ENTIRETY THE EXISTING WATER PIPE RISERS AND CAP THE WATER PIPE WITHIN THE ATTIC AREA TYPICAL.
- REMOVE OR LIFT IN PLACE THE EXISTING ELECTRICAL CONDUT EXISTING ELECTRICAL CONDUT ON NEW ROOF SUPPORT BLOCKING AS CALLED OUT ON THE NEW ROOF PLAN.
- EXISTING SATELLITE DISH AND PAN TO BE LIFT IN PLACE. REMOVE SATELLITE DISH AND PAN PER THE DETAILS OR INFORMATION AS SHOWN ON THE NEW ROOF PLAN.
- REMOVE IN THERE ENTIRETY THE EXISTING HVAC UNIT, DUCTS, PIPES, CONDUTS, CONDUT RISERS, GAS PIPE & GAS RISERS, CONDUT AND GAS PIPE SUPPORT BLOCKS AND ENTIRE RAISED PLATFORM FOR THE DUCT CROPS USING 2X8 #1GRADE S4S ROOF PARTERS SPACED AT 24" INCHES ON CENTER. USE SIMSON LUTER AT EACH END OF THE ROOF. RAFTER PROVIDE 2X4/6. NOTE NEW ROOF SHEATHING SHALL BE THE SAME THICKNESS AS THE EXISTING 1X6 ROOF SPACER SHEATHING. USE 10d GALVANIZED NAILS SPACED 6" @ 7/12 TYPICAL.
- REMOVE IN ITS ENTIRETY THE EXISTING WALK-BRAYS TYPICAL.
- EXISTING FLASHING AROUND THE EXISTING COOLING TOWER CURB IN ITS ENTIRETY TO RECEIVE NEW FLASHING PER THE NEW ROOF PLAN.
- REMOVE IN ITS ENTIRETY THE EXISTING BOILER PLATFORM TO RECEIVE NEW FLASHING PER THE NEW ROOF PLAN.
- EXISTING METAL ROOF TOP OF THE EXISTING STAIR TOWER TO REMAIN. HOLLOW METAL FINISHES AND HOLLOW METAL DOOR TO BE SANDED, PRIMED AND REPAINTED MINIMUM 2-COATS. REMOVE DOOR HARDWARE WHEN PAINTING IS COMPLETED.
- REMOVE IN ITS ENTIRETY THE EXISTING FLASHING TO RECEIVE NEW FLASHING PER THE NEW ROOF PLAN.
- EXISTING ELECTRICAL PIPE RISER TO REMAIN, REMOVE THE ENTIRE ELECTRICAL PIPE RISER TO RECEIVE NEW FLASHING PER THE NEW ROOF PLAN.
- EXISTING VENT FLUE TO REMAIN, REMOVE EXISTING FLASHING TO RECEIVE NEW FLASHING PER THE NEW ROOF PLAN.
- EXISTING VENT FLUE ATTACHED TO THE TOP OF AN EXISTING RAISED PLATFORM, EXISTING RAISED PLATFORM TO REMAIN, REMOVE EXISTING FLASHING TO RECEIVE NEW FLASHING PER THE NEW ROOF PLAN.
- REMOVE IN ITS ENTIRETY THE EXISTING FLASHING AROUND THE EXISTING VENT FLUE TO RECEIVE NEW FLASHING AND REMOVE IN ITS ENTIRETY THE EXISTING FLASHING AND FLASHING AROUND THE EXISTING RAISED PLATFORM TO RECEIVE NEW FLASHING.
- EXISTING RAISED FINE HYDRANT TO REMAIN, REMOVE EXISTING FLASHING AND WASTE IN ITS ENTIRETY AROUND THE ENTIRE RAISED FINE HYDRANT TO RECEIVE NEW FLASHING PER THE NEW ROOF PLAN.
- REMOVE OFF THE PARAPET WALL THE EXISTING ELECTRICAL PANELS TEMPORARILY TO INSTALL THE NEW ROOF WEATHERBANE MATERIAL. RENEWALL THE ELECTRICAL PANELS WITH NEW MATERIALS. REMOVE IN ITS ENTIRETY THE EXISTING NEW ANCHORS SHALL MATCH THE EXISTING ANCHOR TYPE AND SIZE. SET ALL NEW ANCHORS IN A BED OF SEALANT TYPICAL. OR PER ROOMING ANCHOR/ANCHORS REQUIREMENTS. REMOVE IN ITS ENTIRETY THE EXISTING FLASHING AND WASTE TO RECEIVE NEW FLASHING PER THE NEW ROOF PLAN.
- EXISTING METAL ROOF HATCH TO REMAIN, REMOVE EXISTING FLASHING AND WASTE IN ITS ENTIRETY AROUND THE HATCH TO RECEIVE NEW FLASHING TO RECEIVE NEW VENTS TYPICAL.

ROOF LEGEND

- EXISTING SLOPE OF THE EXISTING ROOF TO THE ROOF DRAINS
- EXISTING APPROXIMATE PITCH OF THE EXISTING ROOF
- ROOF DRAINAGE FLOOR LINE OR DIRECTION OF FLOW FOR THE ROOF CRICKET
- KEYNOTE SYMBOL
- TYP. TYPICAL ITEM MEANING THE SAME DESCRIPTION REPETITIVE
- EXISTING GRAVEL SURFACED ASPHALT ROOF IN PERLUITE INSULATION TO BE REMOVED
- EXISTING COMPOSITION ASPHALT SHINGLE ROOF AND WEATHER PROOF ROOF UNDERLAYMENT TO BE REMOVED IN ITS ENTIRETY
- EXISTING HVAC RAISED PLATFORM TO BE REMOVE IN ITS ENTIRETY



1/8" = 1'-0"

EXISTING DEMOLITION ROOF PLAN

1



ISSUE FOR	

DC ARCHITECTS

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SUITE 200
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JUDICIAL COUNCIL OF CALIFORNIA
COUNTY OF LOS ANGELES
BURBANK COURTHOUSE ROOF REPLACEMENT
300 EAST OLIVE AVE., BURBANK, CA 91502

EXISTING DEMOLITION
ROOF PLAN

JOB NUMBER: 2015-054	AC
DRAWN:	
DATE:	04-2016

A-5.1

11/22/16

KEYNOTES

1. NEW GALV. METAL FLASHING PER ROOF MANUFACTURERS SPECIFICATIONS TYPICAL.
2. NEW FELT BACKED 90 MIL. THERMOPLASTIC PVC MEMBRANE ROOF MATERIAL OVER NEW 2 INCH DENSE DECK APPLIED OVER CONCRETE SUBSTRATE/ROCK.
3. NEW DRAINS, SCREENS AS DETAILED AND PER SPECIFICATIONS.
4. SAND AND REMOVE IN ITS ENTIRETY ALL CONCRETE PARAPET TOPS. CONCRETE WATER PROOF MATERIAL, PLACED NEW 2" MIN. THICKNESS. DECORATIVE SYSTEM COATING MINIMUM .35 INCH DENSE DECK APPLIED OVER EXISTING 1X6 SPACER.
5. NEW FELT BACKED 90 MIL. THERMOPLASTIC PLASTIC PVC MEMBRANE ROOF MATERIAL OVER NEW INSULATION BOARD OVER 2 INCH DENSE DECK APPLIED OVER EXISTING 1X6 SPACER.
6. NEW FLASHING AROUND ALL PIPES, CONDUITS, VENT PIPES AS DETAILED AND PER ROOF MANUFACTURERS SPECIFICATIONS.
7. EXISTING EXHAUST VENTS AND GRABBY VENTS TO REMAIN, REMOVE NEW FLASHING AROUND VENTS AS DETAILED AND PER ROOF MANUFACTURERS SPECIFICATIONS.
8. REMOVE OR LEFT IN PLACE THE EXISTING ELECTRICAL CONDUIT TEMPORARILY TO INSTALL THE NEW ROOF MATERIAL. PLACE THE EXISTING ELECTRICAL CONDUIT ON NEW ROOF SUPPORT SPECIFICATIONS.
9. EXISTING SATELLITE DISH AND PAN TO BE LEFT IN PLACE TEMPORARILY TO INSTALL A NEW ROOF MEMBRANE AND NEW FLASHING AROUND SATELLITE DISH AND PAN ONTO THE NEW WALK TREAD MATERIAL TYPICAL.
10. WHERE THE RAISED HVAC PLATFORM OCCURRED, INSTALL NEW FLASHING AROUND EXISTING PLATFORM AS DETAILED AND PER ROOF MANUFACTURERS SPECIFICATIONS.
11. NEW PVC 14 MIL. HEAVY TEXTURED WALKWAY MAT TYPICAL.
12. EXISTING COOLING TOWER AND PLATFORM TO REMAIN, INSTALL NEW FLASHING AROUND EXISTING PLATFORM AS DETAILED AND PER ROOF MANUFACTURERS SPECIFICATIONS.
13. NEW FLASHING AROUND EXISTING PLATFORM AS DETAILED AND PER ROOF MANUFACTURERS SPECIFICATIONS.
14. EXISTING METAL ROOF TOP OF THE EXISTING STAIR TOWER TO REMAIN, REMOVE DOOR FRAME AND HOLLOW METAL ROOF TO BE SANDED, PRIMED AND REPAINTED MINIMUM 2 COATS.
15. REMOVE DOOR HARDWARE TO SAND AND REPAINT AND REINSTALL DOOR HARDWARE WHEN FINISHING IS COMPLETED.
16. REMAIN, INSTALL NEW FLASHING AROUND EXISTING PLATFORM AS DETAILED AND PER ROOF MANUFACTURERS SPECIFICATIONS.
17. EXISTING METAL ROOF HATCH TO RECEIVE NEW FLASHING.
18. NEW STAKED BRID INSULATION CRICKET TYPICAL.
19. NEW SHEET METAL VENT NEW VENT TO MATCH EXISTING VENT IN STYLE AND SHAPE, EXCEPT THE BOTTOM VENT FLANGE TO THE VENT ID SHALL BE 12 INCHES FROM THE ROOF.
20. EXISTING VENT FLE TO REMAIN, PROVIDE NEW FLASHING AROUND VENT FLE TYPICAL.
21. EXISTING RAISED THE PLATFORM TO REMAIN, PROVIDE NEW FLASHING AROUND EXISTING PLATFORM AS DETAILED AND PER ROOF MANUFACTURERS SPECIFICATIONS.
22. STEEL SAFETY ANCHORS FOR USE BY MAINTENANCE WORKERS NEW PLATFOR LADDER.

THE STEEL SAFETY FALL PROTECTION ANCHORS ARE AN ADDITIVE ALTERNATE, AND WILL BE DIFFERED APPROVED.



VENTURA COUNTY OFFICE OF EDUCATION
PHOENIX SCHOOL MODERNIZATION
500 AIRPORT WAY, CAMARILLO, CA 93010

NEW ROOF PLAN

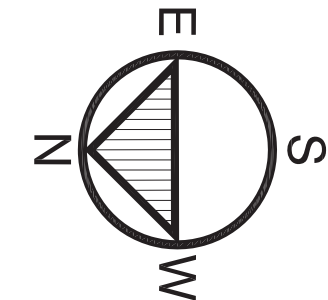
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DRAWN: ALAN C. AC
DATE: 2-5-2016

A-5.2

11/22/16

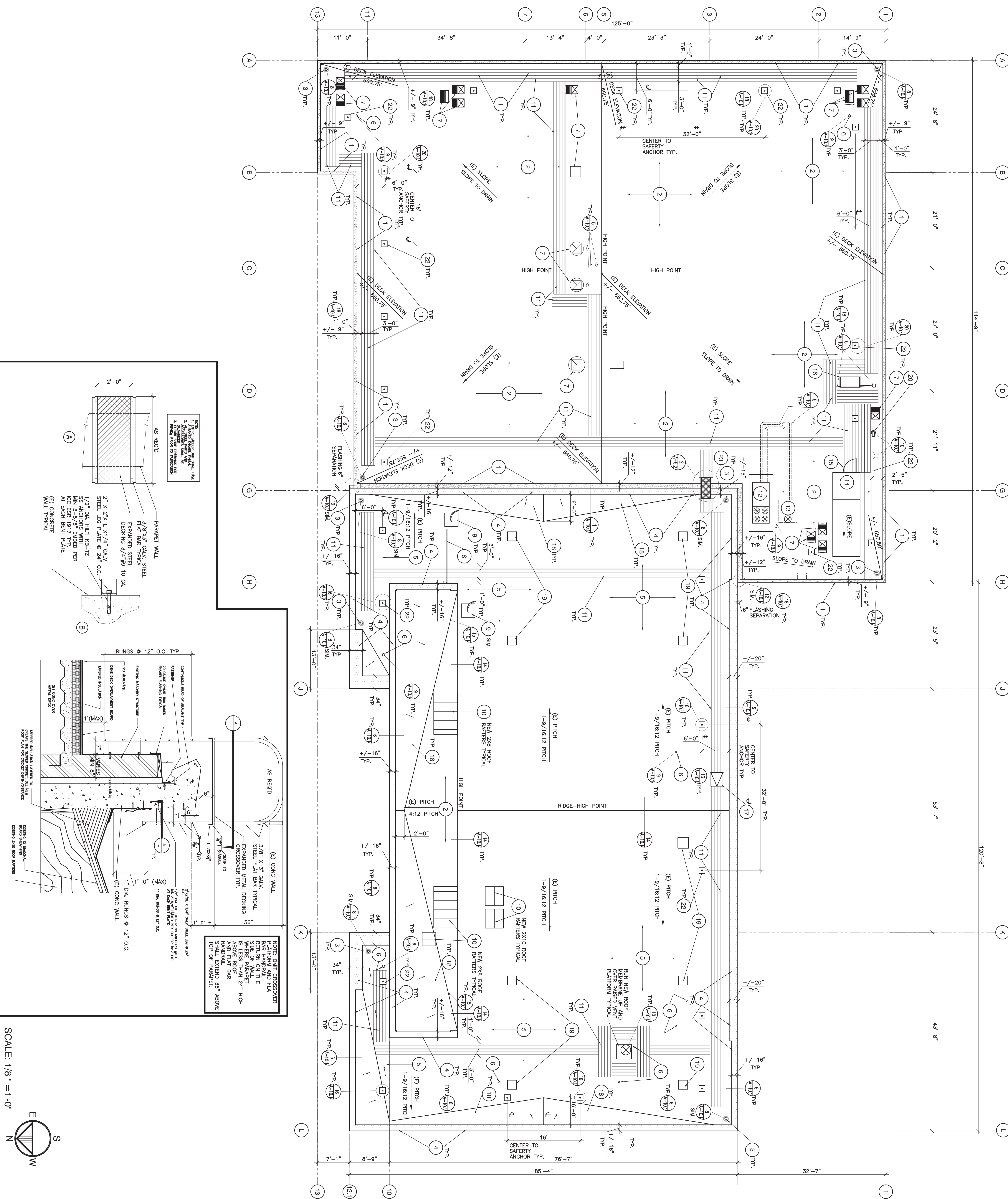
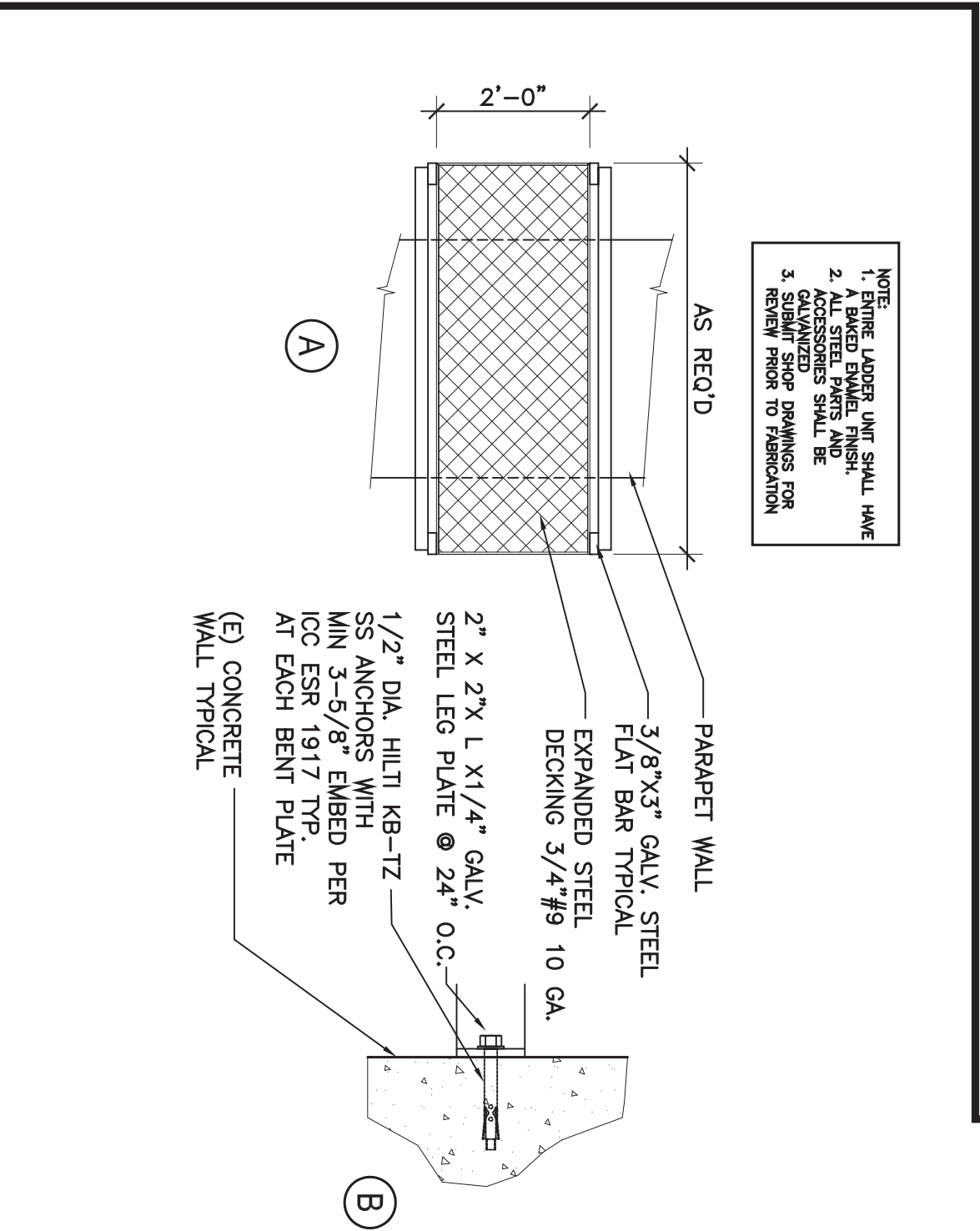
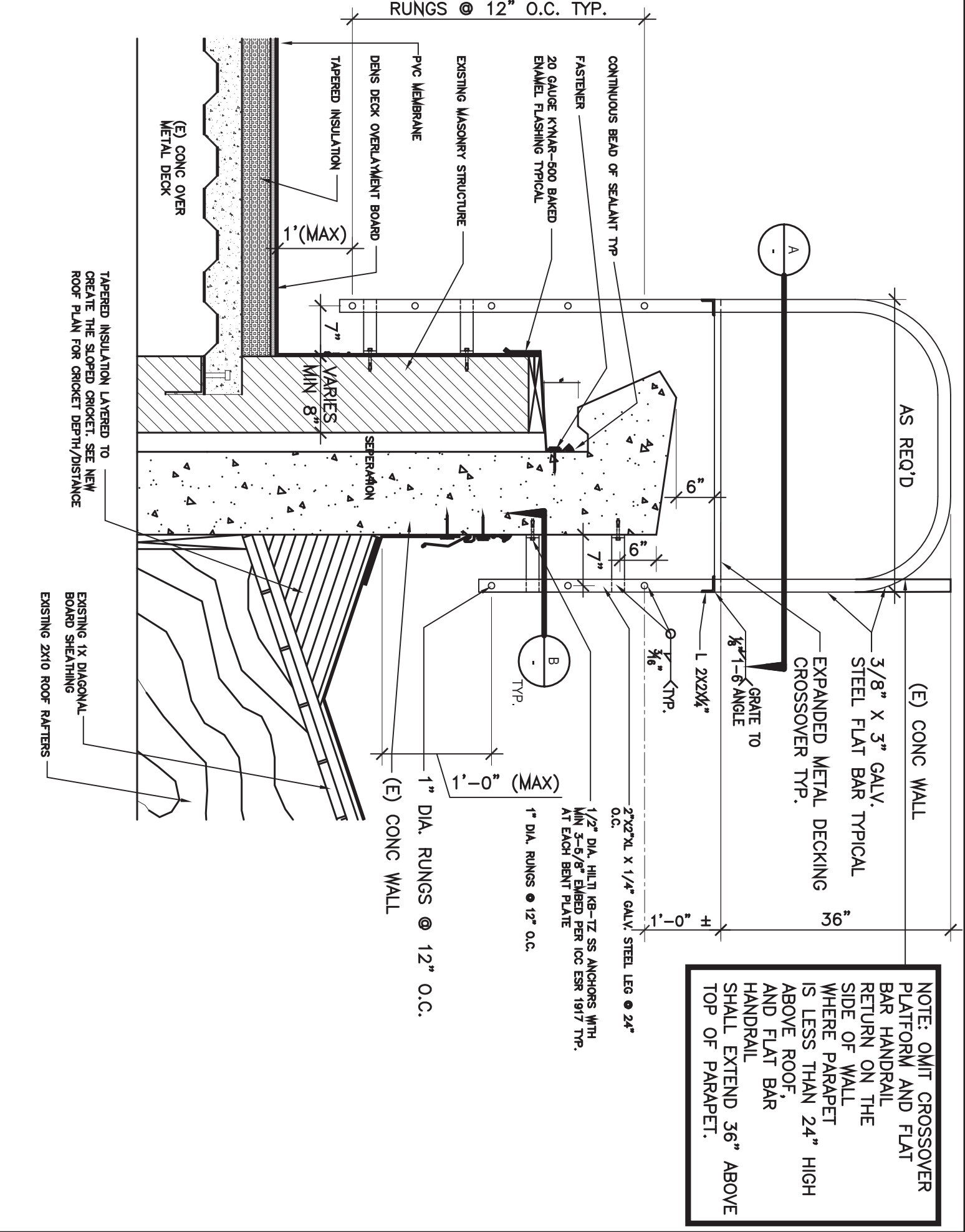
ROOF LEGEND

- EXISTING SLOPE OF THE EXISTING ROOF TO THE ROOF DRAINS
- EXISTING APPROXIMATE PITCH OF THE EXISTING ROOF
- ROOF DRAINAGE FLOOR LINE OR DIRECTION OF FLOW FOR THE ROOF CRICKET
- KEYNOTE SYMBOL
- NO. KEYNOTE ITEM MEANING THE SAME DESCRIPTION REPETITIVE
- NEW FELT BACKED 72 MIL. THERMOPLASTIC PVC MEMBRANE ROOF MATERIAL TYPICAL

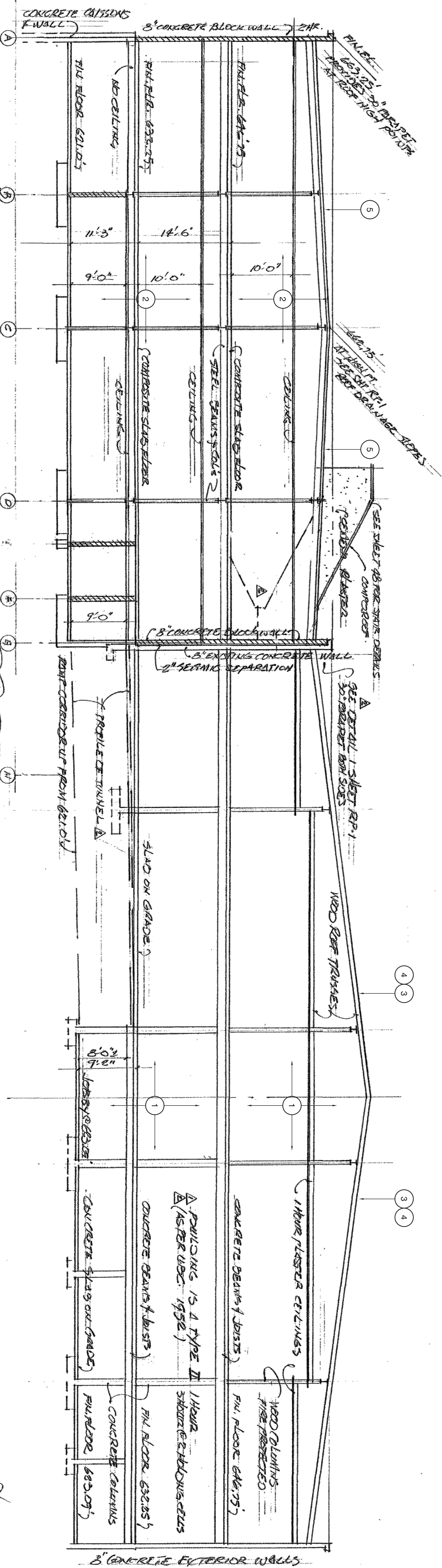


SCALE: 1/8" = 1'-0"

NO SCALE: PLATFORM LADDER DETAIL



- 1 EXISTING ORIGINAL BUILDING.
- 2 EXISTING ADDITION BUILDING.
- 3 EXISTING 2X10 ROOF RAFTER SPACED AT 24" O.C. TYPICAL.
- 4 EXISTING 1-9/16"/12" PITCHED ROOF.
- 5 EXISTING SLOPED ROOF.



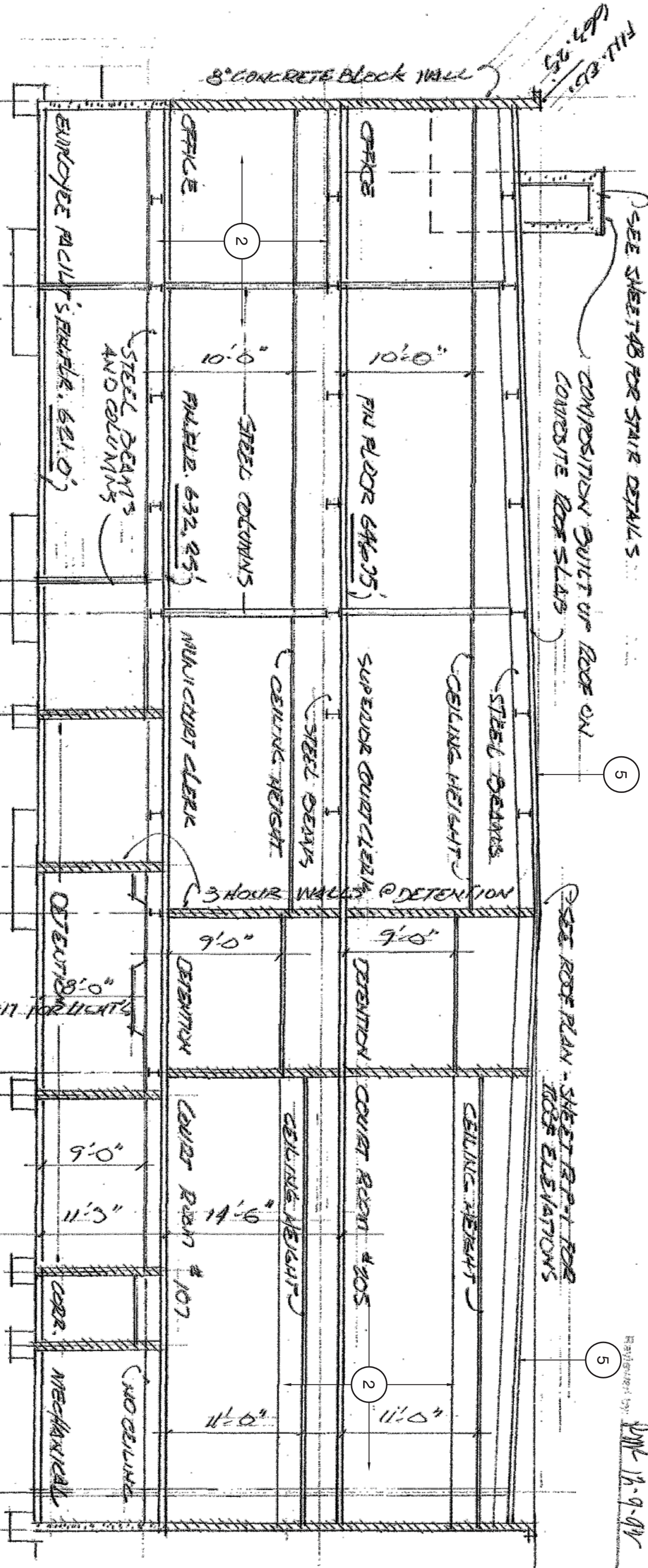
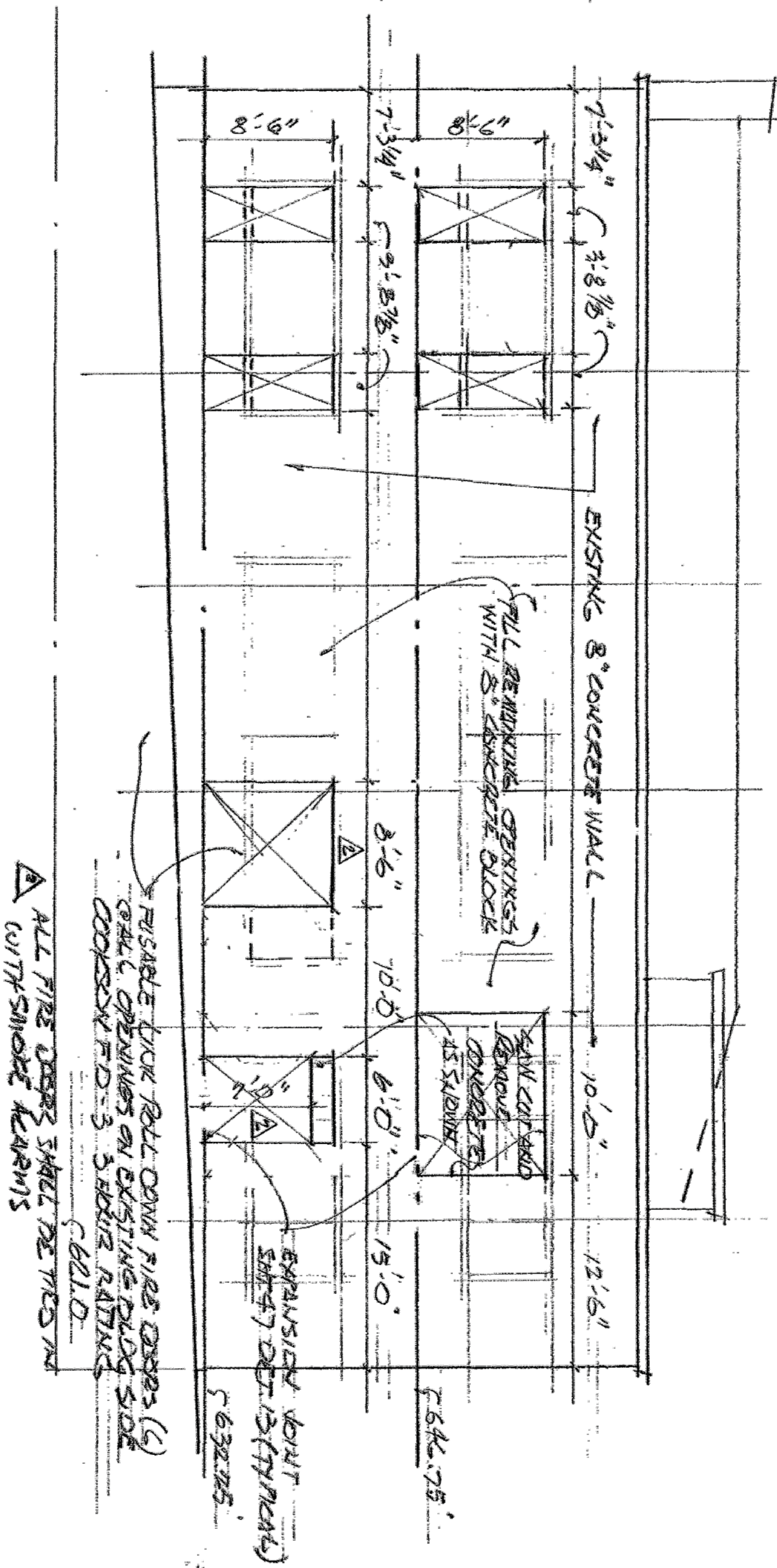
ARCHITECT FOR JORDAN, MAY
"AS BUILT" DATE 12.8.16

SECTION AT COLUMN LINE 3 SCALE 1/8" = 1'

TYPICAL SECTION / EXISTING BUILDING

CALIFORNIA STATE FIRE MARSHAL
APPROVED
Approval of this plan does not constitute or represent
any endorsement or approval of the project or the
design, construction or materials used. The fire marshal
does not assume any liability for fire loss or damage.
This seal of approval does not constitute an endorsement of
the project or the design.

DATE: 12.9.16



EXISTING EAST ELEVATION / DEMOLITION SCALE 1/8" = 1'

SECTION AT COLUMN LINE C SCALE 1/8" = 1'

REFERENCE ONLY
EXISTING BUILDING
SECTIONS

JUDICIAL COUNCIL OF CALIFORNIA
COUNTY OF LOS ANGELES
BURBANK COURTHOUSE ROOF REPLACEMENT
300 EAST OLIVE AVE., BURBANK, CA 91502



DC ARCHITECTS
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UPLAND, CA 91786
(909) 985-6839 OFFICE
(909) 985-0864 FAX

ISSUE FOR

JOB NUMBER:
2015-054
DRAWN:
AC
DATE:
04-2016

A-5.3

11/22/16

NO SCALE: REFERENCE ONLY EXISTING BUILDING SECTIONS 1

1 SEE SHEET A-5.4 FOR EXISTING STRUCTURAL ROOF SYSTEM
(INCL. ONLY) FOR FURTHER STRUCTURAL INFORMATION
2 THIS IS THE EXISTING ORIGINAL BUILDING ROOF FRAMING PLAN
3 THIS IS THE EXISTING ORIGINAL BUILDING ROOF FRAMING PLAN
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DC ARCHITECTS		ISSUE FOR
820 N. MOUNTAIN AVENUE SUITE 200 UPLAND, CA 91786		
(909) 985-6939 OFFICE (909) 985-0864 FAX		

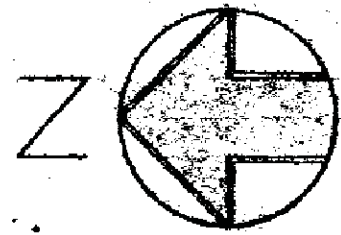
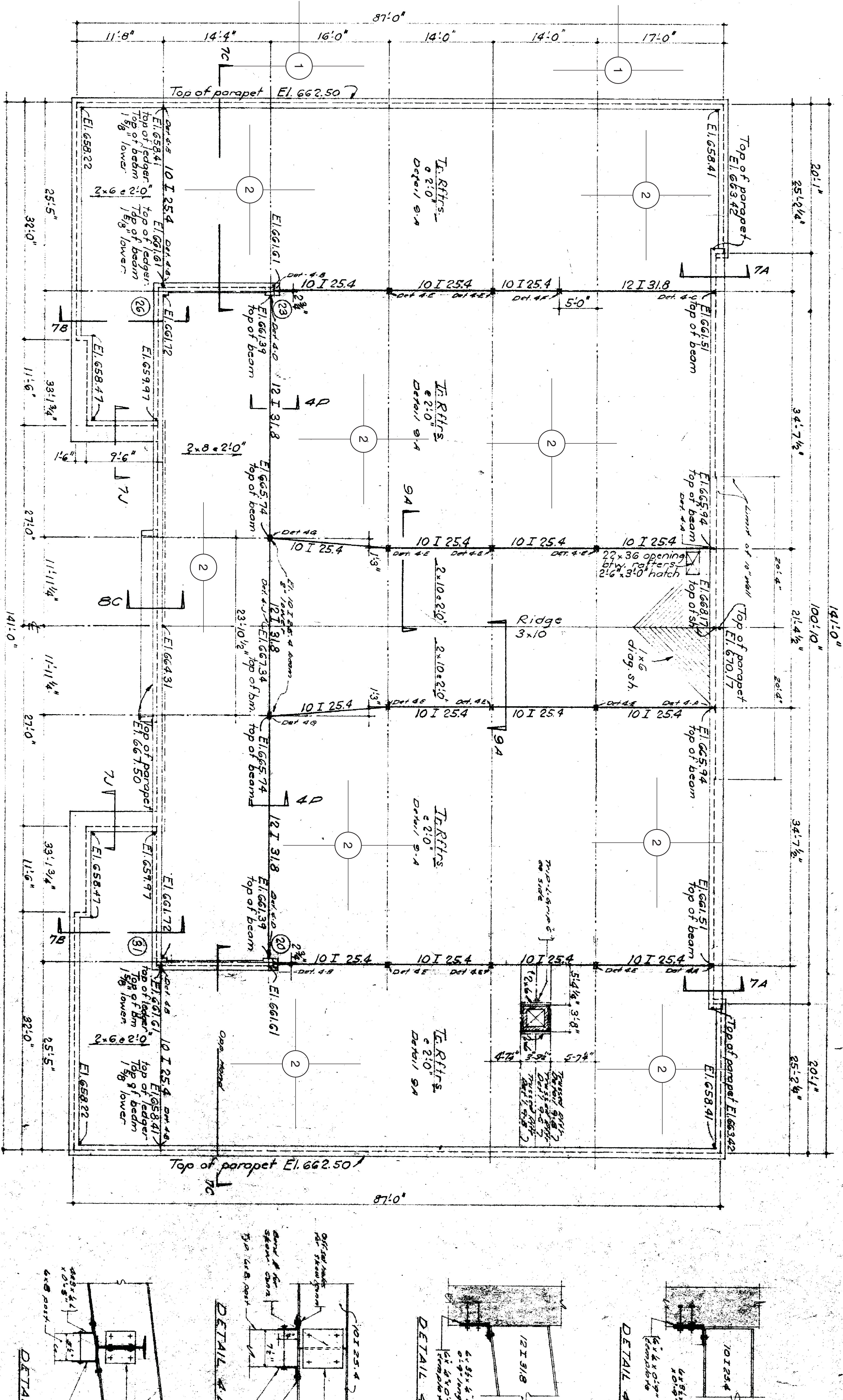
JUDICIAL COUNCIL OF CALIFORNIA
COUNTY OF LOS ANGELES
BURBANK COURTHOUSE ROOF REPLACEMENT
300 EAST OLIVE AVE., BURBANK, CA 91502

REFERENCE ONLY EXISTING
ORIGINAL ROOF
FRAMING PLAN

JOB NUMBER:
2015-054
DRAWN:
AC
DATE:
04-2016

A-5.5

11/22/16



Elevations are given to tops of ledgers unless otherwise noted.
Note: For roof framing, gables, down spouts, eaves, etc. dimensions
not shown, see sheet A-5.4.
All wood roof: 6x8 unless otherwise noted.
Scale: 1/8" = 1'-0"

DETAIL 4-D
Scale: 1/8" = 1'-0"

DETAIL 4-N

DETAIL 4-M

OWNER JUDICIAL COUNCIL OF CALIFORNIA COUNTY OF LOS ANGELES	DESIGNER DC ARCHITECTS
ARCHITECT HAROLD C. WHITE STRUCTURAL 300 E. OLIVE AVE., SUITE 200 BURBANK, CA 91502	DATE 04-2016

KEYNOTES

- 1 THIS IS THE EXISTING ADDITION ROOF FRAMING PLAN (REFERENCE ONLY) TO INDICATE THE EXISTING STRUCTURAL ROOF FRAMING SYSTEM.
2 THIS IS THE EXISTING BUILDING ROOF FRAMING PLAN (REFERENCE ONLY) TO INDICATE THE EXISTING STRUCTURAL ROOF FRAMING SYSTEM.
3 THIS IS THE EXISTING BUILDING ROOF FRAMING PLAN (REFERENCE ONLY) TO INDICATE THE EXISTING STRUCTURAL ROOF FRAMING SYSTEM.
4 THIS IS THE EXISTING BUILDING ROOF FRAMING PLAN (REFERENCE ONLY) TO INDICATE THE EXISTING STRUCTURAL ROOF FRAMING SYSTEM.



ISSUE FOR

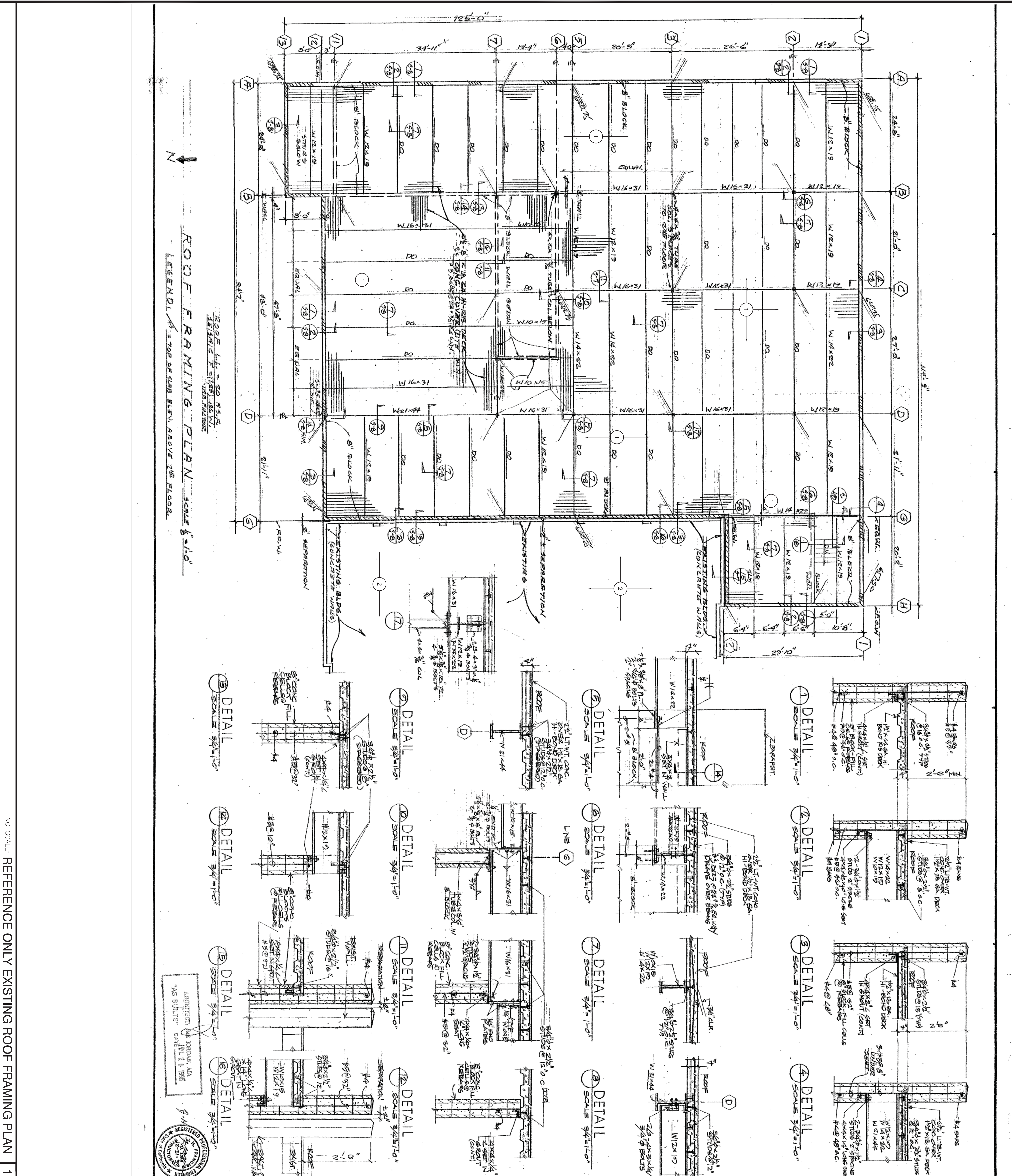
DC ARCHITECTS
820 N. MOUNTAIN AVENUE
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UPLAND, CA 91786
(909) 985-6939 OFFICE
(909) 985-0864 FAX

JUDICIAL COUNCIL OF CALIFORNIA
COUNTY OF LOS ANGELES
BURBANK COURTHOUSE ROOF REPLACEMENT
300 EAST OLIVE AVE., BURBANK, CA 91502

REFERENCE ONLY EXISTING
ROOF FRAMING PLAN

JOB NUMBER: 2015-054
DRAWN: AC
DATE: 04-2016
A-5.4
11/22/16

NO SCALE: REFERENCE ONLY EXISTING ROOF FRAMING PLAN 1





BASEMENT FLOOR PLAN / SOUTH SCALE 1/4"=1'

