

JUDICIAL COUNCIL OF CALIFORNIA
COUNTY OF LOS ANGELES
FOLTZ COURTHOUSE ROOF REPLACEMENT

210 WEST TEMPLE STREET, LOS ANGELES, CA 90012

GENERAL NOTES

1. REFERENCING OF DETAILS AND KEYNOTES ARE FOR CONVENIENCE ONLY. ALL DETAILS AND KEYNOTES PROVIDED WITHIN THIS SET OF CONSTRUCTION DOCUMENTS SHALL APPLY TO ALL TYPICAL LOCATIONS. THIS DETERMINATION SHALL BE MADE BY THE ARCHITECT.
2. ALL ITEMS SPECIFIED AS "(N)" SHALL BE C.F.C.I. (CONTRACTOR FURNISHED CONTRACTOR INSTALLED).
3. ALL ITEMS SPECIFIED AS "(E)" ARE EXISTING.
4. ANY ITEM THAT IS NOT SPECIFIED AS EITHER "(N)" FOR NEW OR "(E)" FOR EXISTING SHALL BE CONSIDERED NEW AND C.F.C.I. (CONTRACTOR FURNISHED CONTRACTOR INSTALLED).
5. CONTRACTOR SHALL DEMOLISH, AND CONSTRUCT ALL REQUIRED ITEMS WITHIN THIS SET OF CONTRACT DOCUMENTS. AS A RESULT OF THIS WORK, CONTRACTOR SHALL PATCH, REPAIR AND REPLACE ANY AND ALL ITEMS NECESSARY TO REPAIR ADJACENT STRUCTURE, UTILITIES AND FINISHES TO MATCH THE EXISTING CONDITION. IF THE EXISTING STRUCTURE, UTILITY AND FINISH MATERIALS ARE NO LONGER AVAILABLE AND/OR NOT PERMITTED BY CODE, THEN DIFFERENT MATERIALS OF EQUAL OR GREATER VALUE SHALL BE USED AS ACCEPTED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE DISTRICT. IF THE CONTRACT DOCUMENTS SPECIFY DIFFERENT STRUCTURE, UTILITIES AND FINISHES THAN THOSE EXISTING, THEN THOSE SPECIFIED SHALL BE USED FOR THE PATCH AND REPAIR.
6. ANY DAMAGE THAT MAY OCCUR TO THE EXISTING PROJECT SITE AND STRUCTURES AS A RESULT OF THE CONTRACTORS WORK AND/OR NEGLIGENCE SHALL BE PATCHED, REPAIRED AND REPLACED TO MATCH THE EXISTING CONDITIONS. IF THE EXISTING STRUCTURE, UTILITY AND FINISH MATERIALS FOR SITE AND STRUCTURES ARE NO LONGER AVAILABLE AND/OR NOT PERMITTED BY CODE, THEN DIFFERENT MATERIALS OF EQUAL OR GREATER VALUE SHALL BE USED AS ACCEPTED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE DISTRICT. IF THE CONTRACT DOCUMENTS SPECIFY DIFFERENT STRUCTURE, UTILITIES AND FINISHES THAN THOSE EXISTING, THEN THOSE SPECIFIED SHALL BE USED FOR THE PATCH AND REPAIR.
7. CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS, PROJECT SITE AND STRUCTURES THOROUGHLY AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS PRIOR TO BEGINNING OF ANY WORK.

8. CONTRACTOR SHALL NOT PROCEED WITH ANY DEMOLITION, ADDITIONS AND CONSTRUCTION WITHIN ANY PROJECT SITE AREAS AND STRUCTURES IF ANY CONFLICT EXISTS WITHIN THE CONTRACT DOCUMENTS OR PROJECT SITE AREAS AND STRUCTURES. IF CONTRACTOR PROCEEDS WITH ANY DEMOLITION, ADDITIONS AND CONSTRUCTION WITHOUT PRIOR CLARIFICATION OF CONFLICTS FROM THE ARCHITECT, THEN THE CONSTRUCTOR SHALL BE RESPONSIBLE FOR ANY AND ALL REWORK NECESSARY TO CORRECT THE ISSUE AT NO ADDITIONAL COST TO THE DISTRICT.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING MATERIALS THAT ARE TO REMAIN IN PLACE.
10. THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS.
11. IF THERE ARE ANY CONFLICTS WITHIN THE CONTRACT DOCUMENTS THAT SPECIFY ANY ITEM AS OWNER FURNISHED, OWNER INSTALLED, OWNER PROVIDED, DISTRICT FURNISHED, DISTRICT INSTALLED, DISTRICT PROVIDED, FURNISHED BY OTHERS, INSTALLED BY OTHERS, PROVIDED BY OTHERS, ETC., BUT IS SPECIFIED AND/OR DETAILED WITHIN THE CONTRACT DOCUMENTS SHALL BE C.F.C.I. (CONTRACTOR FURNISHED CONTRACTOR INSTALLED). BY SUBMISSION OF BID THE CONTRACTOR ACKNOWLEDGES THAT ALL WORK AND ITEMS SPECIFIED WITHIN THESE CONTRACT DOCUMENTS SHALL BE INCLUDED WITHIN THERE BID EXCEPT AS EXCLUDED WITHIN THIS NOTE.

DRAWING INDEX

T-1 TITLE SHEET, SITE PLAN, CODES AND NOTES

ARCHITECTURAL

- A-2.1 EXISTING BASE SERVICE LEVEL FLOOR PLAN
- A-2.2 EXISTING FIRST FLOOR PLAN
- A-2.3 EXISTING NINETEENTH FLOOR PLAN
- A-5.1 EXISTING DEMO PENTHOUSE ROOF PLAN
- A-5.2 NEW PENTHOUSE ROOF PLAN
- A-5.3 EXISTING DEMO TOP ROOF PLAN
- A-5.4 NEW TOP ROOF PLAN
- A-5.5 EXISTING PENTHOUSE ELEVATIONS
- A-5.6 EXISTING PENTHOUSE ELEVATIONS
- A-10.1 TYPICAL ROOF DETAILS
- A-10.2 TYPICAL ROOF DETAILS

REVIEWED FOR CODE COMPLIANCE

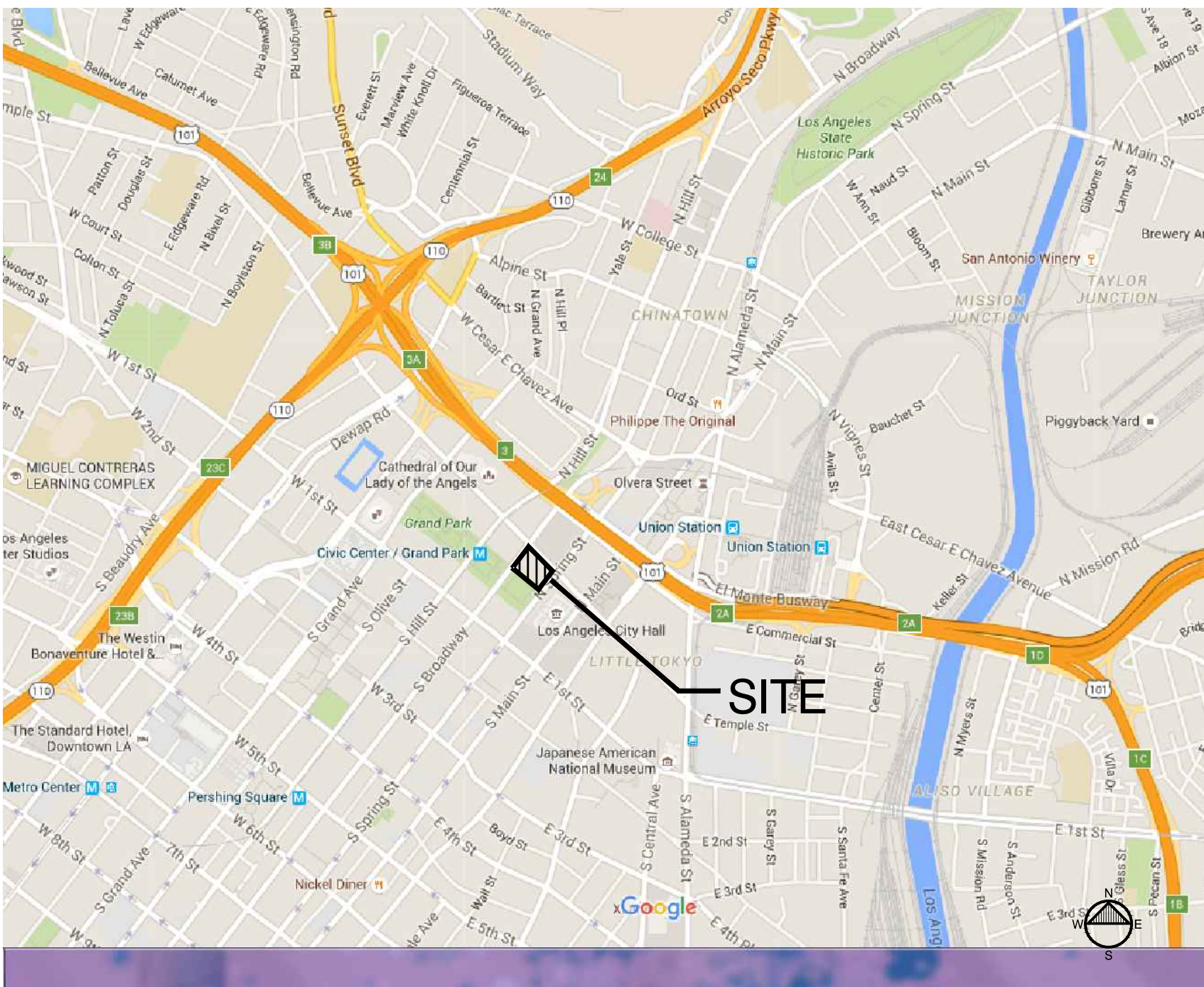
USING THE FOLLOWING CODES

- ☒ 2013 CALIFORNIA RESIDENTIAL CODE
- ☒ 2013 CALIFORNIA BUILDING CODE
- ☒ 2013 CALIFORNIA ELECTRICAL CODE
- ☒ 2013 CALIFORNIA PLUMBING CODE
- ☒ 2013 CALIFORNIA MECHANICAL CODE
- ☒ 2013 CALIFORNIA ENERGY CODE
- ☒ 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE
- ☒ 2013 CALIFORNIA BUILDING CODE - STRUCTURAL PROVISIONS ONLY
- ☒ 2013 CALIFORNIA FIRE CODE
- ☒ OTHER

COMPLETION OF THIS REVIEW DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE OR LOCAL REGULATIONS. DATE: Dec. 2, 2016

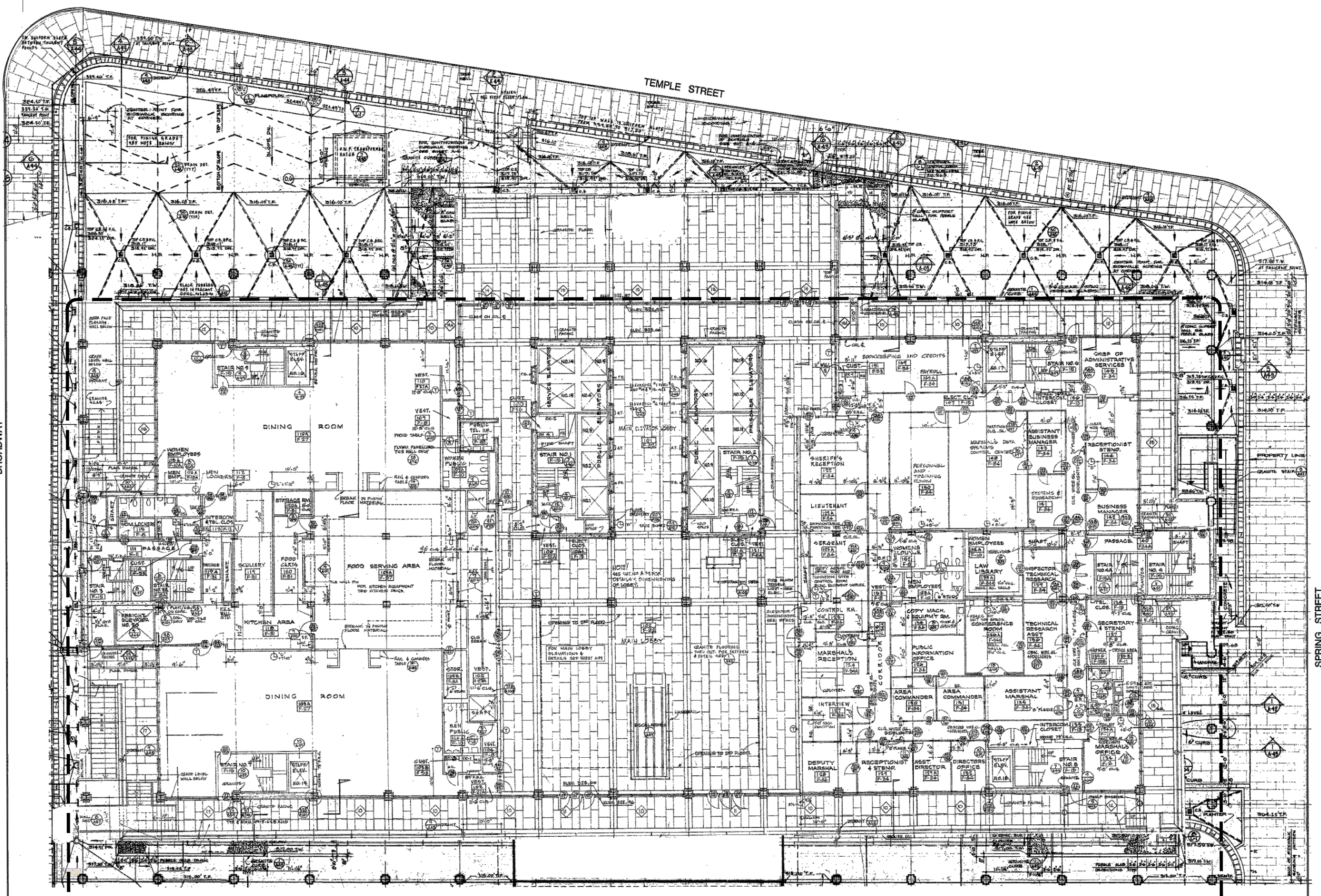
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VICINITY MAP



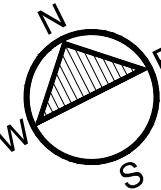
APPLICABLE CODES

- PARTIAL LIST OF APPLICABLE CODES AS OF January 1, 2014*
- 2013 California Administrative Code, Part 1, Title 24 C.C.R.*
- 2013 California Building Code (CBC), Part 2, Title 24 C.C.R.*
- 2013 California Electrical Code (CEC), Part 3, Title 24 C.C.R.*
- 2013 California Mechanical Code (CMC), Part 4, Title 24 C.C.R.*
- 2013 California Plumbing Code (CPC), Part 5, Title 24 C.C.R.*
- 2013 California Energy Code (CEC), Part 6, Title 24 C.C.R.*
- 2013 California Fire Code, Part 9, Title 24 C.C.R.*
- 2013 California Green Building Standards Code, Part 11, Title 24 C.C.R.*
- 2013 California Referenced Standards, Part 12, Title 24 C.C.R.*
- 2019 C.C.R., Public Safety, State Fire Marshal Regulations.
- 2007 ASME A17.1(w/A17.1a/CSA B44a-08 addenda) Safety Code For Elevators and Escalators
- PARTIAL LIST OF APPLICABLE STANDARDS
- | | | |
|-----------|---------------------------------------------------------------------------------------|--------------|
| NFPA 13 | Automatic Sprinkler Systems | 2013 Edition |
| NFPA 14 | Standpipe Systems | 2013 Edition |
| NFPA 17 | Dry Chemical Extinguishing Systems | 2013 Edition |
| NFPA 17a | Wet Chemical Systems | 2013 Edition |
| NFPA 20 | Stationary Pumps | 2013 Edition |
| NFPA 22 | Water tanks for Private Fire Protection | 2013 Edition |
| NFPA 24 | Private Fire Mains | 2013 Edition |
| NFPA 72 | National Fire Alarm Code | 2013 Edition |
| NFPA 80 | Fire doors and Other Opening Protectives | 2013 Edition |
| NFPA 92 | Standard for Smoke Control Systems | 2012 Edition |
| NFPA 253 | Critical Radiant Flux of Floor Covering Systems | 2006 Edition |
| NFPA 2001 | Clean Agent Fire Extinguishing Systems | 2012 Edition |
| ICC 300 | ICC Standards on Bleachers, Folding and Telescoping Seating and Grand stands | 2012 Edition |
| UL 300 | Fire Testing of Fire Extinguishing Systems for Protection Of Restaurant Cooking Areas | 2005 Edition |
| UL 464 | Audible Signal Appliances | 2003 Edition |
| UL 521 | Heat Detectors for Fire Protective Signaling Systems | 1999 Edition |



AREA OF WORK

SITE PLAN
NOT TO SCALE



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SUITE 200
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TITLE SHEET
SITE PLAN
CODES AND NOTES

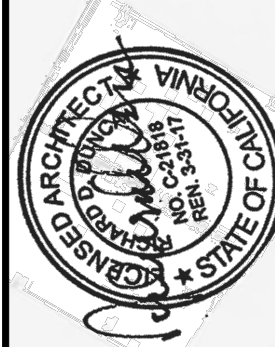
JOB NUMBER
2015-055
DRAWN
JY
DATE
04-2016

T-1

KEYNOTES

1. DESIGNATE AREA FOR CONTRACTOR WORK VEHICLES OR AS DESIGNATED BY THE OWNER
2. LOCATION FOR CONTRACTORS TRASH BINS. ALL TRASH BINS SHALL HAVE COVERS. ALL SHALL BE LOCKABLE.
3. SERVICE ELEVATORS THE CONTRACTOR SHALL USE FOR WORK PERSONNEL TO RIDE TO THE ROOF & FOR TRANSPORTING DEMO ROOF MATERIALS, NEW ROOF MATERIALS, TOOLS, EQUIPMENT
4. CONSTRUCTION ACCESS ENTRANCE, COORDINATE WITH OWNER FOR DAILY ACCESS & SECURITY TO ENTER FOR PARKING ANY CONSTRUCTION VEHICLES AND WORK PERSONNEL

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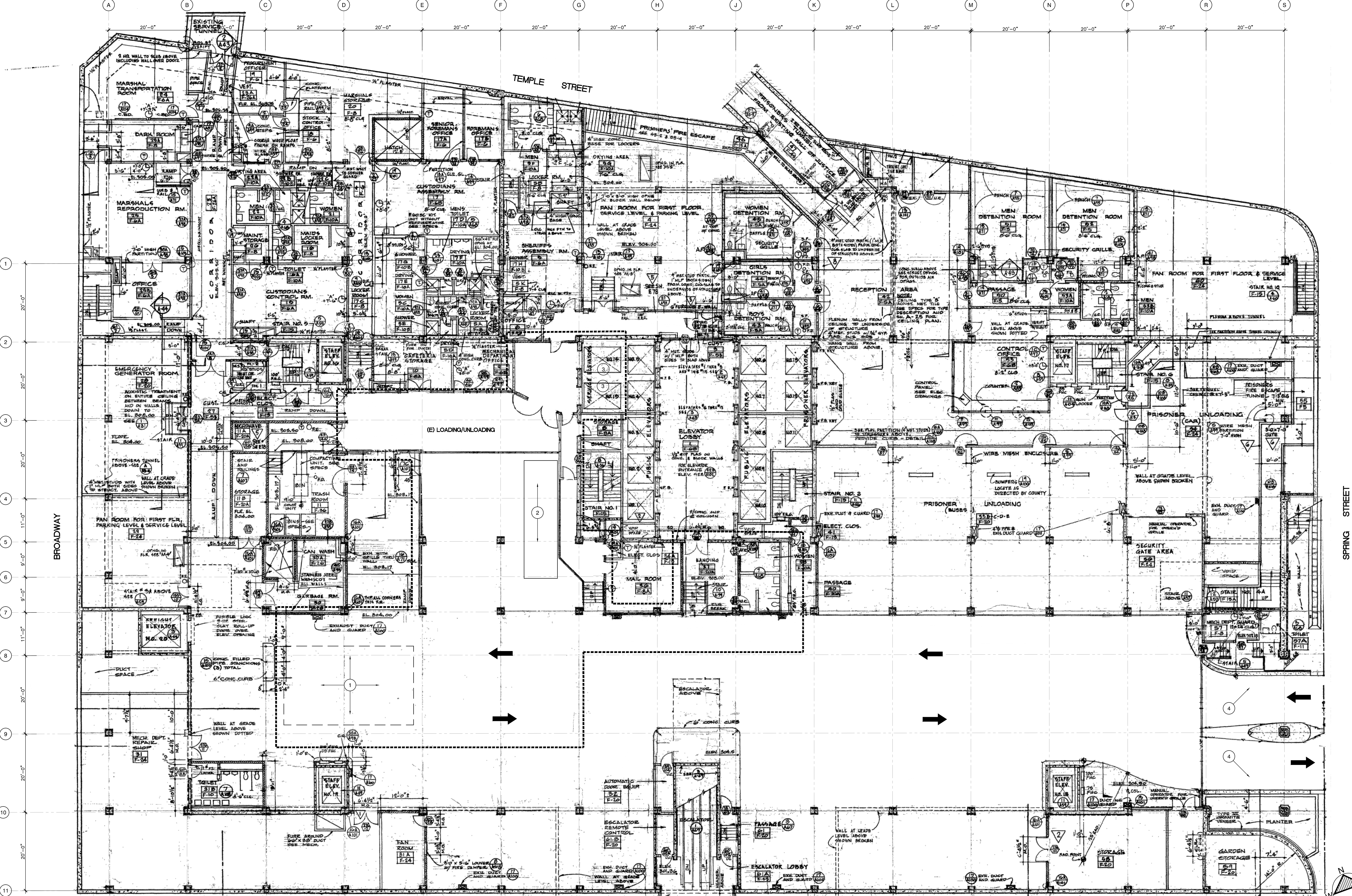
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(E) SERVICE LEV. FL. PLAN

2015-055
DATE 04-2016
A-2.1



- SPECIAL NOTES:
1. TRASH CHUTE AND TRASH DUMPSTER LOCATIONS DURING CONSTRUCTION HOURS. CONTRACTOR APPROVAL FROM THE OWNER.
 2. LOCATION OF PARKING SPACE FOR CRANE TO LIFT AND REPLACE TRASH DUMPSTER DURING CONSTRUCTION HOURS. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND GET APPROVAL FROM OWNER.

AREA OF WORK

3/32" = 1'-0"

EXISTING SERVICE LEVEL FLOOR PLAN

1

KEYNOTES

- SERVICE ELEVATORS THE CONTRACTOR SHALL USE FOR WORK PERSONNEL TO RIDE TO THE ROOF & FOR TRANSPORTING DEMO ROOF MATERIALS, NEW ROOF MATERIALS, TOOLS, EQUIPMENT
- CONSTRUCTION ACCESS ENTRANCE, COORDINATE WITH OWNER FOR DAILY ACCESS & SECURITY TO ENTER FOR PARKING ANY CONSTRUCTION VEHICLES AND WORK PERSONNEL

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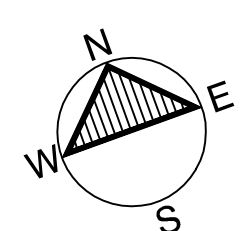
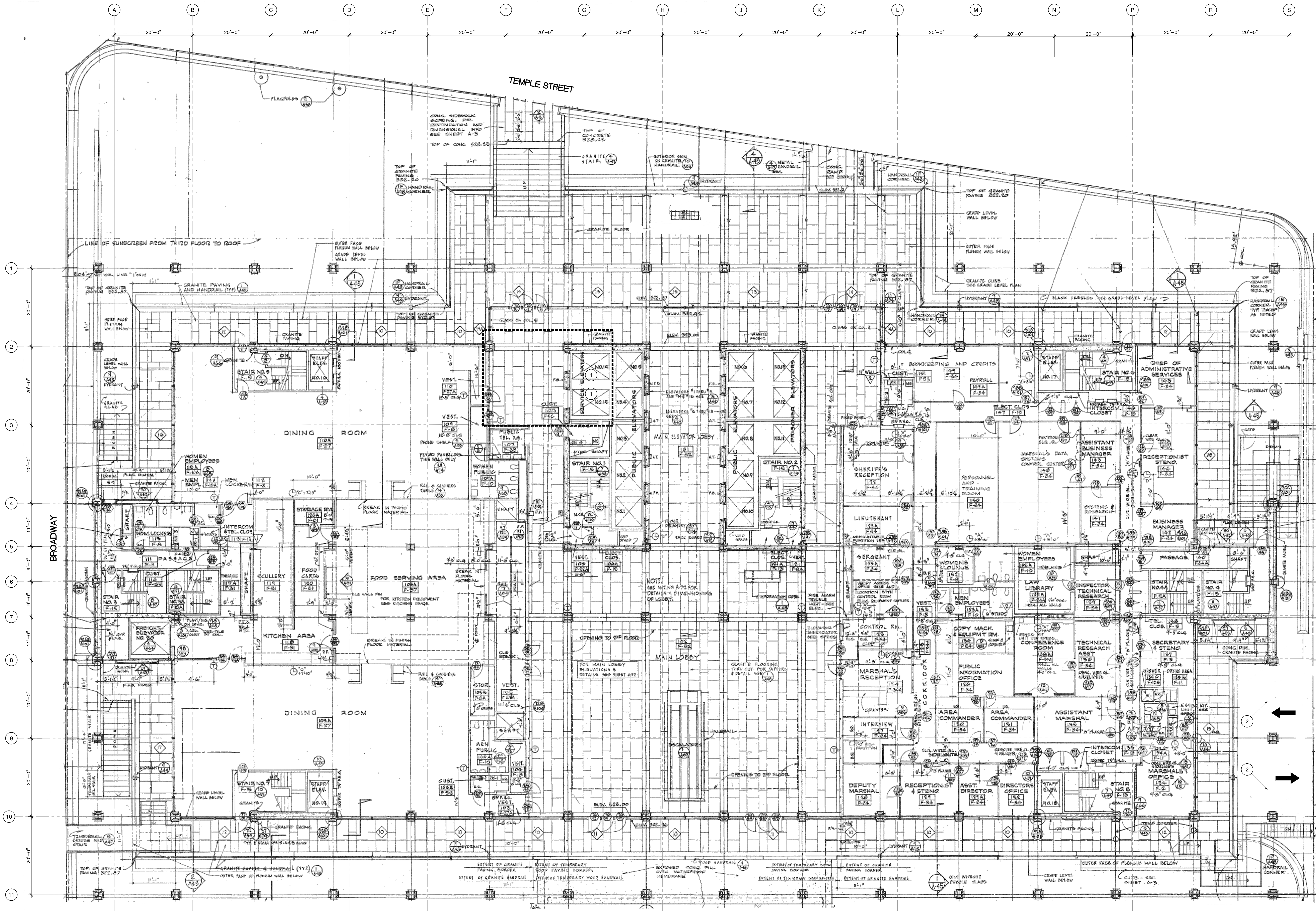
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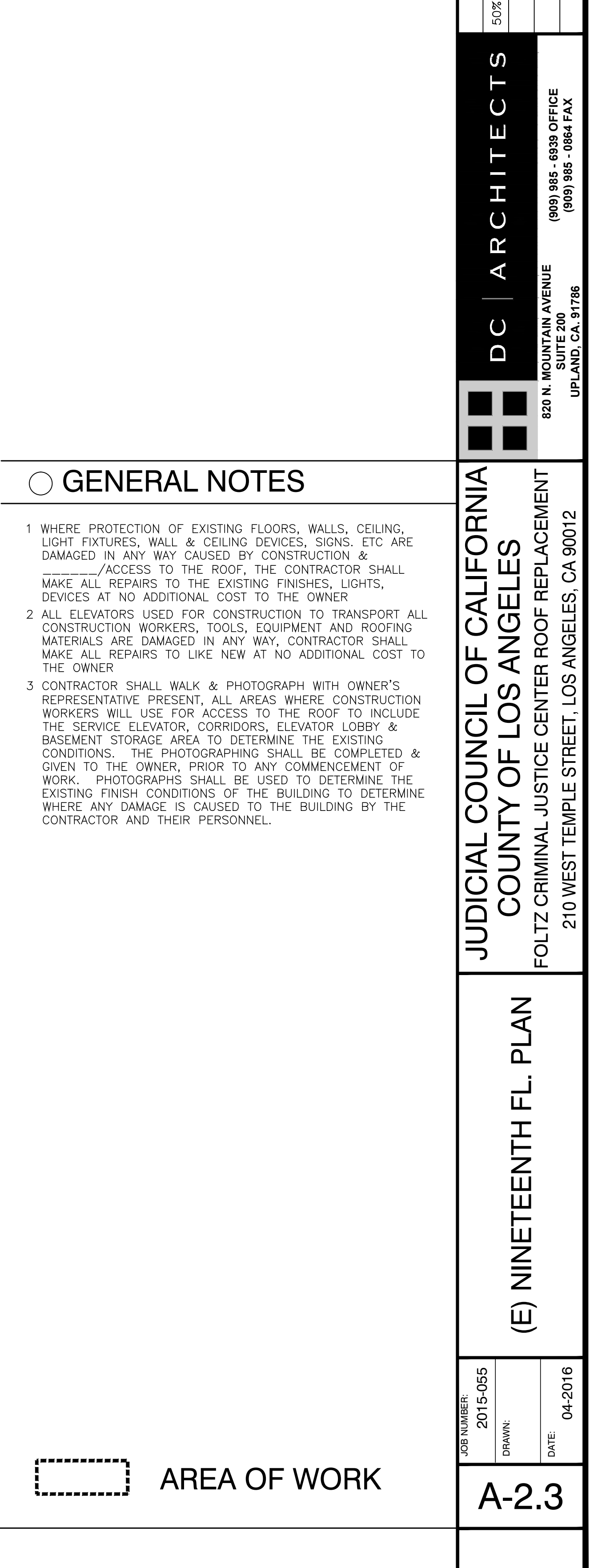
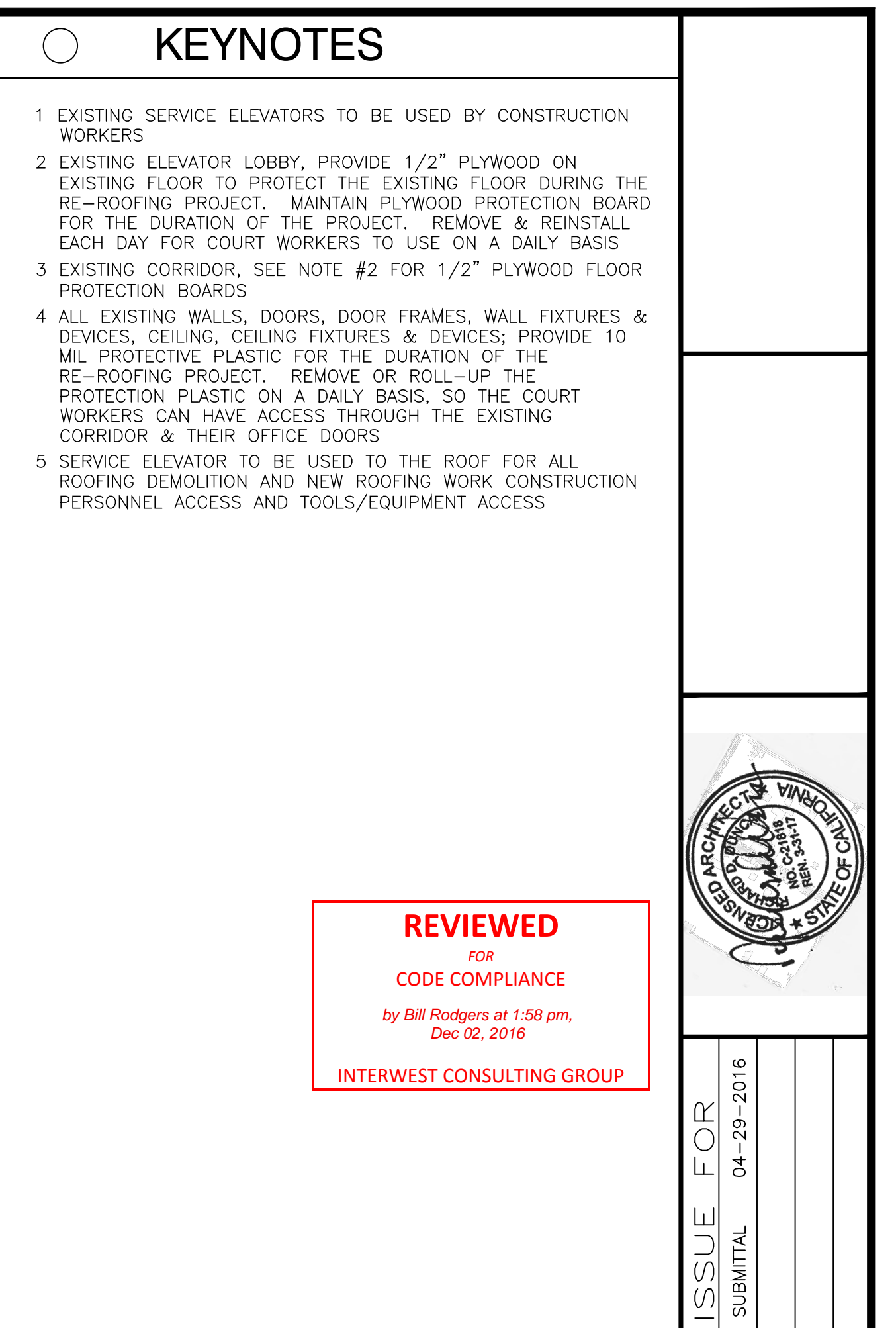
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(E) FIRST FLOOR PLAN

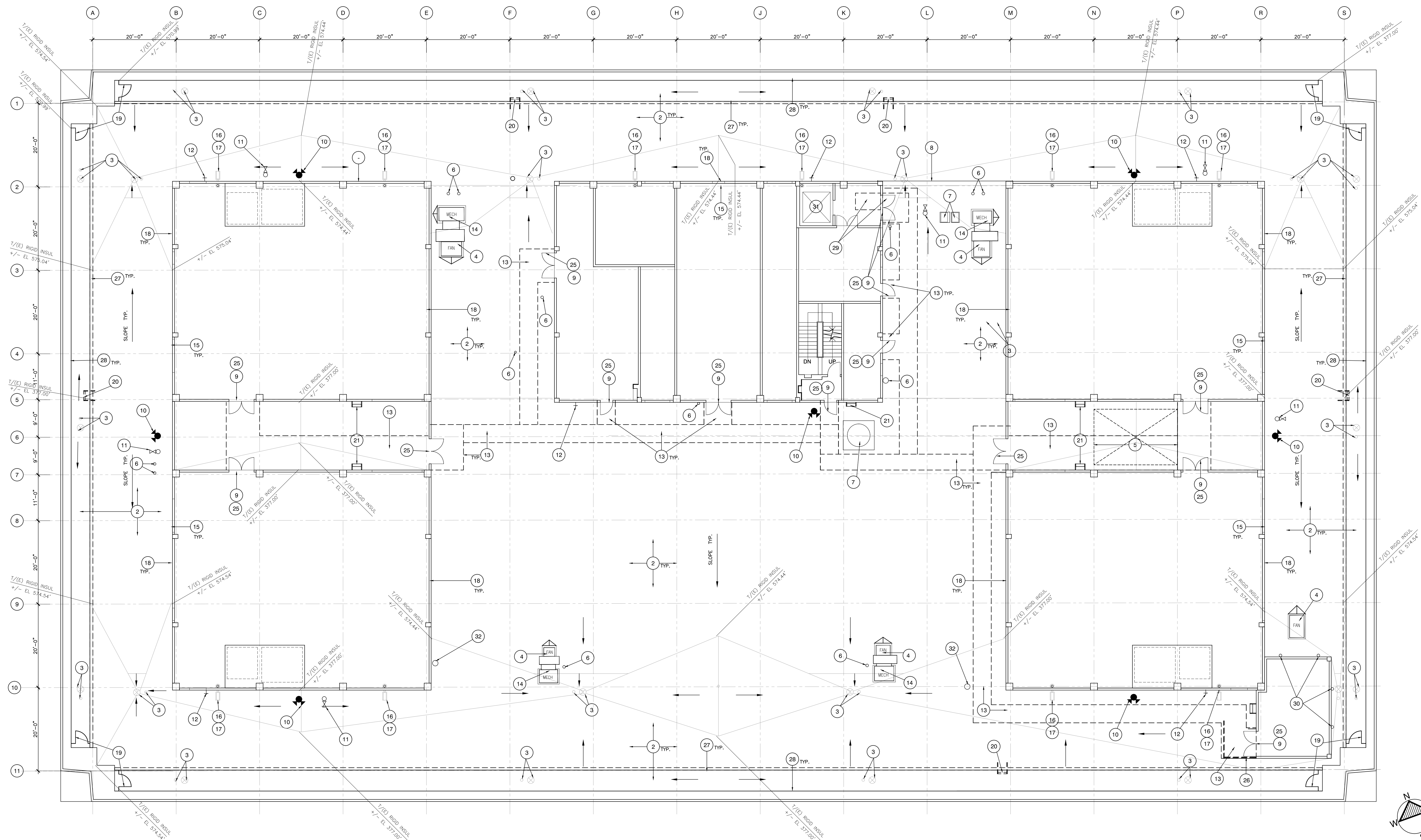
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DRAWN DATE 04-2016
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AREA OF WORK



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3/32" = 1'-0"

EXISTING DEMO PENTHOUSE ROOF PLAN 1

KEYNOTES

- 1 NOT USED
- 2 REMOVE IN ITS ENTIRETY THE EXISTING GRAVEL SURFACE HOT ASPHALT APPLIED BUILT-UP ROOF, IN ITS ENTIRETY, GRIND EXCESS ASPHALT BASE MATERIAL FROM THE EXISTING CONCRETE ROOF SUBSTRATE. REMOVE (E) INSULATION CONCRETE WITH RIGID INSULATION WHERE IT IS DAMAGED BY WATER. PROVIDE ALLOWANCE FOR 15 CUBIC YARDS OF REMOVAL
- 3 REMOVE ALL EXISTING DRAINS, OVERFLOW AND SCREENS IN THERE ENTIRETY, ROTO-ROOTER DRAIN LINE AND SCOPE EACH DRAIN LINE, ESPECIALLY THE FIRST ELBOW.
- 4 (E) EXHAUST FANS ON (E) FAN CURB TO REMAIN. REMOVE (E) FLASHING IN ITS ENTIRETY
- 5 (E) MICROWAVE TOWER TO REMAIN.
- 6 REMOVE ALL EXISTING PITCH POCKET FLASHING, MASTIC AND FLASHING AROUND ALL PIPES, CONDUITS, VENT PIPES, TYPICAL
- 7 (E) VENTS TO REMAIN. REMOVE ALL FLASHING IN THERE ENTIRETY TO RECEIVE NEW FLASHING PER THE NEW ROOFING PLAN.
- 8 (E) ELECTRICAL CONDUIT ON SUPPORTS. REMOVE ALL (E) SUPPORTS. LIFT (E) CONDUITS TO INSTALL NEW ROOFING.
- 9 (E) DOOR THRESHOLD TO REMAIN.
- 10 (E) FIRE HYDRANT TO REMAIN. REMOVE FLASHING AROUND FIRE HYDRANT
- 11 (E) FIRE STAND-PIPE TO REMAIN. REMOVE FLASHING AROUND PIPE
- 12 (E) HOSE BIBB TO REMAIN. REMOVE FLASHING AROUND HOSE BIBB.
- 13 REMOVE IN ITS ENTIRETY THE (E) RAISED WOOD PADS, TYPICAL
- 14 (E) MECHANICAL UNIT AND PLATFORM TO REMAIN. REMOVE (E) FLASHING AROUND THE (E) UNIT CURB IN ITS ENTIRETY TO RECEIVE NEW FLASHING PER THE NEW ROOF PLAN. (E) MULTIPLE PIPES, CONDUITS, ETC. ON ROOF IN THIS AREA TO REMAIN (NOT SHOWN ON PLAN) - CONTRACTOR TO FIELD VERIFY LOCATIONS AND QUANTITIES.
- 15 INSTALL SEALANT TO SEAL MULTIPLE PENETRATIONS OF CONDUITS AND PIPES THRU (E) WINDOW OPENINGS
- 16 (E) CONC SPLASH BLOCK TO DEMOLISH (E) ROOF MEMBRANE. REINSTALL SPLASH BLOCK WHEN NEW ROOF MEMBRANE IS INSTALLED.
- 17 REMOVE (E) DOWNSPOUTS IN ITS ENTIRETY, TYPICAL
- 18 ALL (E) CORRUGATED METAL LEAD BASE PAINT TO BE REMOVED, TYP..
- 19 (E) METAL GATE TO REMAIN.
- 20 (E) LADDER ON ROOF TO REMAIN. UNINSTALL/DISCONNECT FOR INSTALLATION OF NEW ROOFING. REINSTALL/RECONNECT AFTER NEW ROOFING IS INSTALLED.
- 21 (E) LADDER TO REMAIN.
- 22 NOT USED.
- 23 NOT USED.
- 24 NOT USED.
- 25 (E) HOLLOW METAL DOOR FRAME AND DOOR TO REMAIN.
- 26 (E) GUARD RAILS ON WOOD DECK. REMOVE ALL (E) WOOD DECK TO INSTALL NEW ROOFING.
- 27 REMOVE (E) GRAVEL STOP, FASCIA AND FLASHING IN ITS ENTIRETY TO RECEIVE NEW ROOFING.
- 28 (E) METAL AND COUNTER FLASHING ON WALL TO REMOVE IN THERE ENTIRETY TO RECEIVE NEW FLASHING PER THE NEW ROOFING.
- 29 REMOVE (E) RAMPS IN ITS ENTIRETY.
- 30 (E) SATELLITE SUPPORT TO REMAIN.
- 31 SERVICE ELEVATORS THE CONTRACTOR SHALL USE FOR WORK PERSONNEL TO RIDE TO THE ROOF & FOR TRANSPORTING DEMO ROOF MATERIALS, NEW ROOF MATERIALS, TOOLS, EQUIPMENT.
- 32 (E) MOISTURE RELEASE VENTS TO REMAIN. REMOVE (E) FLASHING IN ITS ENTIRETY.

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LEGEND

- | | |
|--|--------------------------------|
| | (E) SLOPE OF ROOF TYP. |
| | TOP OF DRAIN HEIGHT TYP. |
| | (E) SLOPE OF CRICKET TYP. |
| | (E) ROOF DRAIN TYP. |
| | (E) OVERFLOW DRAIN TYP. |
| | (E) ROOF GUTTER DOWNSPOUT TYP. |
| | (E) WOOD WALKWAY PAD |
| | CENTER LINE OF COLUMN |
| | (E) FIRE HYDRANT |
| | (E) STAND PIPE |
| | (E) HOSE BIBB |
| | (E) ROOF DRAIN |



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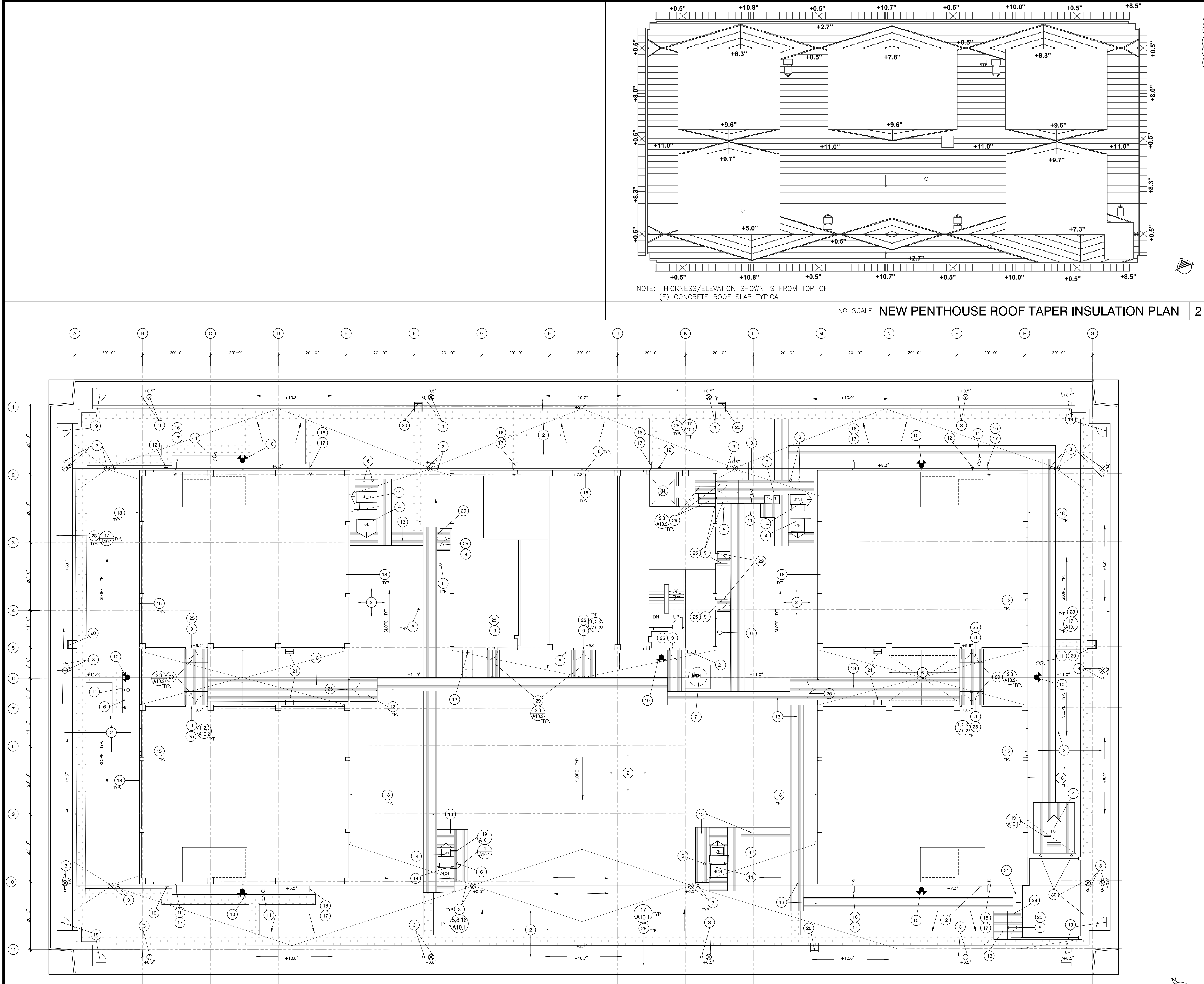
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COUNTY OF LOS ANGELES
FOLTZ CRIMINAL JUSTICE CENTER ROOF REPLACEMENT
210 WEST TEMPLE STREET, LOS ANGELES, CA 90012

(E) DEMO PENTHOUSE
ROOF PLAN

JOB NUMBER
2015-055
DRAWN:
DATE
04/20/16

A-5.1

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NOTE: SEE TAPER INSULATION PLAN 2/A5.2 ON THIS SHEET FOR INFO ON ROOF SLOPE AND THICKNESS OF RIGID INSULATION.

3/32" = 1'-0"

NEW PENTHOUSE ROOF PLAN 1

KEYNOTES

- GENERAL NOTE: ALL ITEMS ARE NEW UNLESS OTHERWISE NOTED
- 1 NOT USED.
 - 2 NEW FELT BACKED 80 MIL THERMOPLASTIC PVC MEMBRANE ROOF MATERIAL OVER NEW 1/2 INCH DENSE DECK APPLIED OVER EXISTING INSULATING CONCRETE SUBSTRATE. REMOVE (E) INSULATING CONCRETE AND INSTALL NEW PER SPECIFICATIONS WHERE EXISTING IS WATER DAMAGED (LOCATIONS TO BE DETERMINED IN FIELD). PROVIDE ALLOWANCE FOR 15 CUBIC YARDS OF REMOVAL OF AND INSTALLATION OF (N) INSULATING CONCRETE.
 - 3 NEW DRAINS, OVERFLOW AND SCREENS AS DETAILS 5,8,16/A10.1 AND 13/A10.2 AND PER MANUFACTURER'S SPECIFICATIONS.
 - 4 (E) EXHAUST FANS TO REMAIN. PROVIDE NEW FLASHING AROUND FAN CURBS AS DETAIL 19/A10.1 AND PER ROOFING MANUFACTURER'S SPECIFICATIONS.
 - 5 (E) MICROWAVE TOWER TO REMAIN.
 - 6 NEW FLASHING AROUND ALL PIPES, CONDUITS, VENT PIPES AS DETAILS 5,9 AND 10/A10.1 AND PER ROOF MANUFACTURER'S SPECIFICATIONS.
 - 7 (E) VENTS TO REMOVE. PROVIDE NEW FLASHING AROUND VENTS AS DETAILED AND PER ROOFING MANUFACTURER'S SPECIFICATIONS.
 - 8 REMOVE OR LIFT IN PLACE THE EXISTING ELECTRICAL CONDUIT TEMPORARILY TO INSTALL THE NEW ROOF MATERIAL. PLACE THE EXISTING ELECTRICAL CONDUIT ON NEW ROOF SUPPORT BLOCKING PER DETAIL 2/A10.1 AND PER ROOFING MANUFACTURER'S SPECIFICATIONS.
 - 9 (E) DOOR THRESHOLD TO REMAIN.
 - 10 (E) FIRE HYDRANT TO REMAIN. PROVIDE NEW FLASHING AROUND RISER PIPE PER ROOFING MANUFACTURER'S SPECIFICATIONS.
 - 11 (E) FIRE STAND-PIPE TO REMAIN. PROVIDE NEW FLASHING AROUND RISER PIPE PER ROOFING MANUFACTURER'S SPECIFICATIONS.
 - 12 (E) HOSE BIBB TO REMAIN. PROVIDE NEW FLASHING PER ROOFING MANUFACTURER'S SPECIFICATIONS.
 - 13 NEW PVC 14 MIL HEAVY TEXTURED WALKWAY MAT TYPICAL. "CROSSGRIP" OR "SARNATED" AS SHOWN ON PLAN. INSTALL PER ROOF MANUFACTURER'S SPECIFICATIONS.
 - 14 (E) MECHANICAL UNIT AND PLATFORM TO REMAIN. INSTALL NEW FLASHING AROUND EXISTING PLATFORM AS DETAIL 4/A10.1 AND PER ROOF MANUFACTURER'S SPECIFICATIONS.
 - 15 INSTALL SEALANT TO SEAL MULTIPLE PENETRATIONS OF CONDUITS AND PIPES THRU (E) WINDOW OPENINGS PER SPECIFICATIONS. CONTRACTOR FIELD VERIFY QUANTITIES.
 - 16 (E) CONC SPLASH BLOCK TO REMAIN -UNINSTALL FOR ROOF DEMOLITION AND REINSTALL AFTER NEW ROOFING INSTALLED PER PVC 14 MIL HEAVY TEXTURED WALKWAY MAT.
 - 17 NEW GALVANIZED DOWNSPOUTS, MIN. 20 GA. ATTACHED TO EXISTING WALL USING THE SAME METHOD OF ATTACHMENT AS THE EXISTING DOWNSPOUT ATTACHMENT.
 - 18 REPAINT (E) CORRUGATED METAL SIDING, MINIMUM 2 COATS, TYP.
 - 19 SAND AND REPAINT (E) METAL GATE MINIMUM 2 COATS..
 - 20 (E) LADDER TO BE REMOVED TEMPORARILY TO INSTALL A NEW ROOF MEMBRANE AND NEW WALK TREAD. REINSTALL THE (E) LADDER ONTO THE NEW WALK TREAD MATERIAL.
 - 21 (E) LADDER TO REMAIN INSTALL CAGE PROTECTION. SEE DETAIL 2/A10.3
 - 22 NOT USED.
 - 23 NOT USED.
 - 24 NOT USED.
 - 25 (E) HOLLOW METAL FRAMES AND HOLLOW METAL DOOR TO BE SANDED, PRIMED AND REPAINTED MINIMUM 2 COATS. REMOVE DOOR HARDWARE TO SAND, REPAINT AND REINSTALL DOOR HARDWARE WHEN PAINTING IS COMPLETED.
 - 26 NOT USED.
 - 27 NOT USED.
 - 28 INSTALL WALL MOUNT SHEET METAL REGLET AND COUNTER FLASHING ON WALL AS DETAIL 17/A10.1 AND PER ROOF MANUFACTURER'S SPECIFICATIONS. TYPICAL WHERE ROOFING MEETS BUILDING WALLS.
 - 29 RIGID INSULATION RAMP ON 1/2" DENSDECK. SEE DETAILS 2/A10.2 AND 3/A10.2.
 - 30 (E) SATELLITE SUPPORT TO REMAIN.
 31. SERVICE ELEVATORS THE CONTRACTOR SHALL USE FOR WORK PERSONNEL TO RIDE TO THE ROOF & FOR TRANSPORTING DEMO ROOF MATERIALS, NEW ROOF MATERIALS, TOOLS, EQUIPMENT.

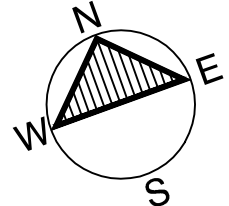
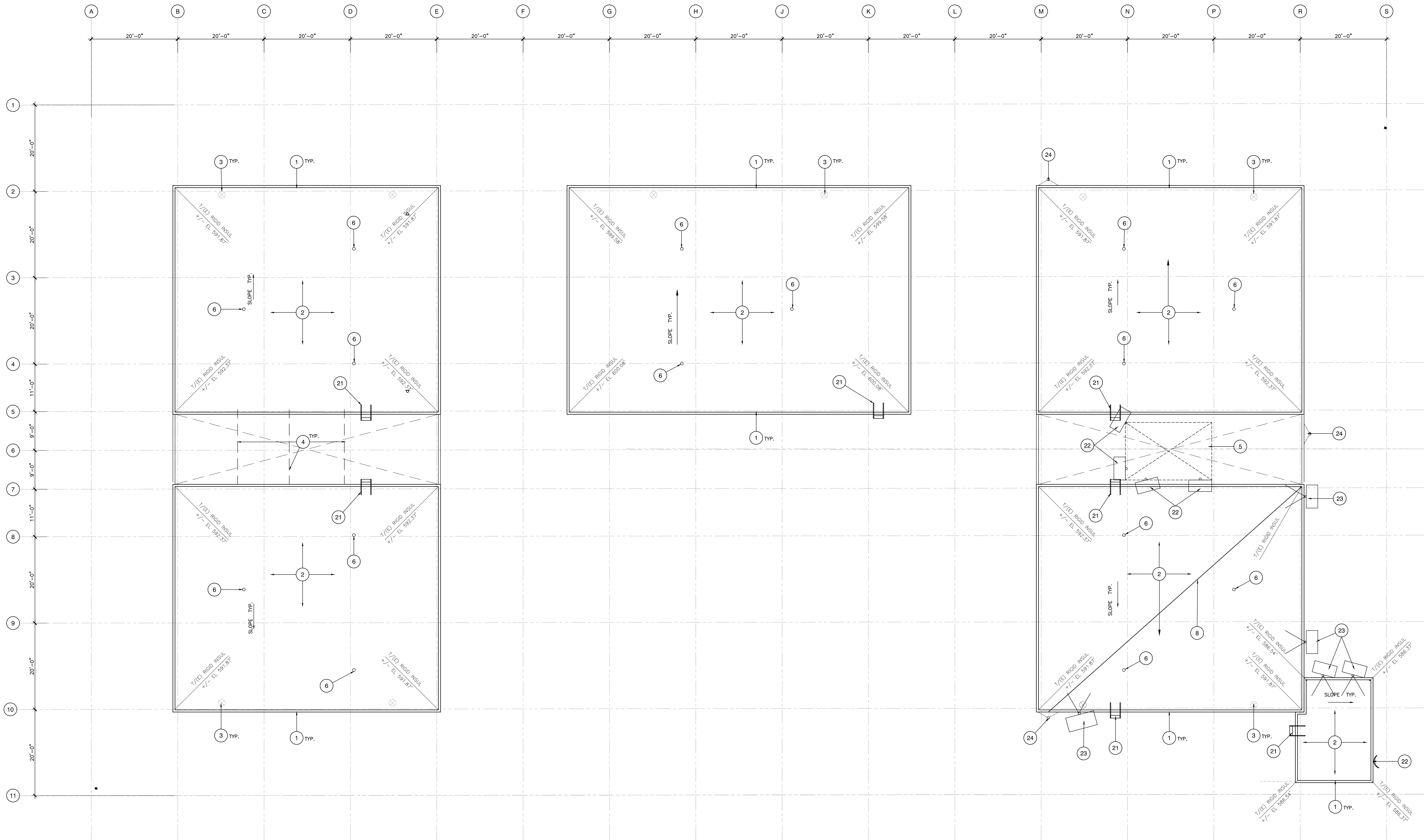
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Dec 02, 2016
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LEGEND

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|--|----------------------------------------------------------|--------------------------|
| | SLOPE: 1/4"FT. TYP. | SLOPE OF ROOF TYP. |
| | TOP OF DRAIN | TOP OF DRAIN HEIGHT TYP. |
| | SLOPE | SLOPE OF CRICKET TYP. |
| | NEW ROOF DRAIN TYP. | |
| | NEW OVERFLOW DRAIN TYP. | |
| | ROOF GUTTER DOWNSPOUT TYP. | |
| | NEW WALKWAY PAD - CROSS GRIP, SEE SPECIFICATIONS | |
| | NEW WALKWAY PAD (SERRATED) - SARNATED SEE SPECIFICATIONS | |
| | C OF COL. | CENTER LINE OF COLUMN |
| | (E) FIRE HYDRANT | |
| | (E) STAND PIPE | |
| | (E) HOSE BIBB | |
| | (E) VENTS, TYP. | |

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JUDICIAL COUNCIL OF CALIFORNIA COUNTY OF LOS ANGELES FOLTZ CRIMINAL JUSTICE CENTER ROOF REPLACEMENT 210 WEST TEMPLE STREET, LOS ANGELES, CA 90012			
NEW PENTHOUSE RF. PLAN			
2015-055	DATE	04-2016	
A-5.2			

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3/32" = 1'-0"

EXISTING DEMO TOP ROOF PLAN 1

KEYNOTES

- 1 EXISTING SHEET METAL COPING TO BE REMOVED IN ITS ENTIRETY, TYPICAL.
- 2 REMOVE IN ITS ENTIRETY THE EXISTING GRAVEL SURFACE. HOT ASPHALT APPLIED BUILT-UP ROOF, IN ITS ENTIRETY, GRIND EXCESS ASPHALT BASE MATERIAL FROM THE EXISTING CONCRETE ROOF SUBSTRATE. REMOVE (E) INSULATION CONCRETE WITH RIGID INSULATION WHERE IT IS DAMAGED BY WATER. PROVIDE ALLOWANCE FOR 15 CUBIC YARDS OF REMOVAL.
- 3 REMOVE ALL EXISTING DRAINS, OVERFLOW AND SCREENS IN THERE ENTIRETY, ROTO-ROOTER DRAIN LINE AND SCOPE EACH DRAIN LINE, ESPECIALLY THE FIRST ELBOW.
- 4 (E) PIPE SUPPORTS TO BE REMOVED.
- 5 (E) MICROWAVE TOWER TO REMAIN.
- 6 REMOVE ALL EXISTING PITCH POCKET FLASHING, MASTIC AND FLASHING AROUND ALL PIPES, CONDUITS, VENT PIPES, TYPICAL
- 7 NOT USED.
- 8 (E) ELECTRICAL CONDUIT ON SUPPORTS. REMOVE ALL (E) SUPPORTS. LIFT (E) CONDUITS TO INSTALL NEW ROOFING.
- 21 (E) LADDER TO REMAIN.
- 22 (E) SATELLITE DISH TO REMAIN.
- 23 (E) SATELLITE DISH ON ROOF TO REMAIN. UNINSTALL AND DISCONNECT FOR INSTALLATION OF NEW ROOFING. REINSTALL /RECONNECT AFTER NEW ROOFING IS INSTALLED.
24. (E) ANTENNA ON ROOF TO REMAIN. UNINSTALL/DISCONNECT FOR INSTALLATION OF NEW ROOFING. REINSTALL/RECONNECT AFTER NEW ROOFING IS INSTALLED.

REVIEWED
FOR
CODE COMPLIANCE
by Bill Rodgers at 1:58 pm,
Dec 02, 2016
INTERWEST CONSULTING GROUP

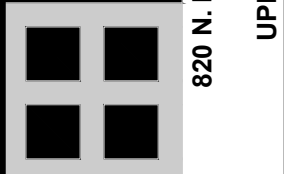
LEGEND

- | | |
|--|--------------------------------|
| | (E) SLOPE OF ROOF TYP. |
| | TOP OF DRAIN HEIGHT TYP. |
| | (E) SLOPE OF CRICKET TYP. |
| | (E) ROOF DRAIN TYP. |
| | (E) OVERFLOW DRAIN TYP. |
| | (E) ROOF GUTTER DOWNSPOUT TYP. |
| | (E) WOOD WALKWAY PAD |
| | CENTER LINE OF COLUMN |
| | (E) FIRE HYDRANT |
| | (E) STAND PIPE |
| | (E) HOSE BIBB |
| | (E) ROOF DRAIN |



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DC ARCHITECTS



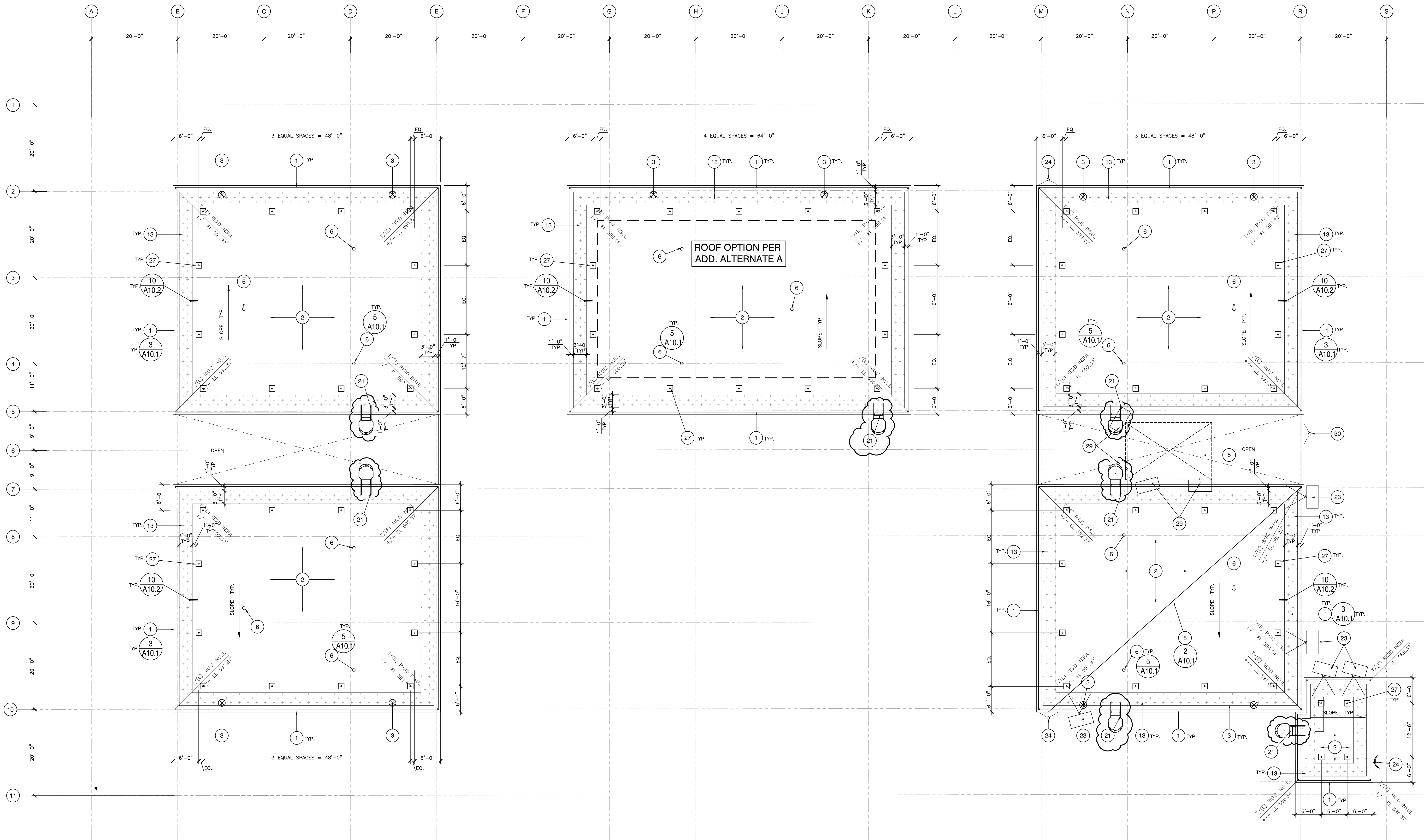
JUDICIAL COUNCIL OF CALIFORNIA
COUNTY OF LOS ANGELES
FOLTZ CRIMINAL JUSTICE CENTER ROOF REPLACEMENT
210 WEST TEMPLE STREET, LOS ANGELES, CA 90012

(E) DEMO TOP ROOF PLAN

205 NUMBER
2015-055
DRAWN:
DATE: 04-2016

A-5.3

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3/32" = 1'-0"

NEW TOP ROOF PLAN 1

KEYNOTES

- GENERAL NOTE: ALL ITEMS ARE NEW UNLESS OTHERWISE NOTED
- 1 NEW CLAD METAL FLASHING PER ROOF MANUFACTURER'S AS DETAIL 3/A-10.1 AND PER ROOF MANUFACTURER'S SPECIFICATIONS TYPICAL.
 - 2 NEW FELT BACKED 80 MIL THERMOPLASTIC PVC MEMBRANE ROOF MATERIAL OVER NEW 1/2 INCH DENSE DECK APPLIED OVER EXISTING INSULATING CONCRETE SUBSTRATE. REMOVE (E) INSULATING CONCRETE AND INSTALL NEW PER SPECIFICATIONS WHERE EXISTING IS WATER DAMAGED (LOCATIONS TO BE DETERMINED IN FIELD). PROVIDE ALLOWANCE FOR 15 CUBIC YARDS OF REMOVAL OF AND INSTALLATION OF (N) INSULATING CONCRETE.
 - 3 NEW DRAINS, OVERFLOW AND SCREENS AS DETAILS 5 AND 8/A10.1 AND PER SPECIFICATIONS.
 - 4 NOT USED
 - 5 (E) MICROWAVE TOWER TO REMAIN.
 - 6 NEW FLASHING AROUND ALL PIPES, CONDUITS, VENT PIPES PER DETAILS 5,9 AND 10/A10.1 AND PER ROOF MANUFACTURER'S SPECIFICATIONS.
 - 7 NOT USED
 - 8 REMOVE OR LIFT IN PLACE THE EXISTING ELECTRICAL CONDUIT TEMPORARILY TO INSTALL THE NEW ROOF MATERIAL. PLACE THE EXISTING ELECTRICAL CONDUIT ON NEW ROOF SUPPORT BLOCKING PER DETAIL 2/A10.1 AND PER ROOFING MANUFACTURER'S SPECIFICATIONS
 - 13 NEW PVC 14 MIL HEAVY TEXTURED WALKWAY MAT TYPICAL. "CROSSGRIP" OR "SARNATRED" AS SHOWN ON PLAN. INSTALL PER ROOF MANUFACTURER'S SPECIFICATIONS.
 - 21 (E) LADDER TO REMAIN ADD NEW PROTECTION CAGE. SEE DETAIL 2/A10.3
 - 22 NOT USED
 - 23 (E) SATELLITE DISH AND PAN TO BE LIFTED IN PLACE TEMPORARILY TO INSTALL A NEW ROOF MEMBRANE AND NEW WALK TREAD. REINSTALL THE (E) SATELLITE DISH AND PAN ONTO THE NEW WALK TREAD MATERIAL.
 - 24 (E) ANTENNA TO BE LIFTED IN PLACE TEMPORARILY TO INSTALL A NEW ROOF MEMBRANE AND NEW WALK TREAD. REINSTALL THE (E) ANTENNA ONTO THE NEW WALK TREAD MATERIAL.
 25. NOT USED.
 26. NOT USED
 - 27 ANCHORS TO ROOF. SEE DETAIL 10/A10.2
 28. NOT USED
 29. (E) SATELLITE DISH TO REMAIN..
 30. (E) ANTENNA TO REMAIN.

REVIEWED
FOR
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by Bill Rodgers at 1:58 pm,
Dec 02, 2016
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LEGEND

- SLOPE: 1/4"/FT. TYP. SLOPE OF ROOF TYP.
- TOP OF DRAIN TOP OF DRAIN HEIGHT TYP.
- SLOPE SLOPE OF CRICKET TYP.
- NEW ROOF DRAIN TYP.
- NEW OVERFLOW DRAIN TYP.
- ROOF GUTTER DOWNSPOUT TYP.
- NEW WALKWAY PAD - CROSS GRIP, SEE SPECIFICATIONS
- NEW WALKWAY PAD (SERRATED) - SARNATRED SEE SPECIFICATIONS
- CL OF COL. CENTER LINE OF COLUMN
- (E) FIRE HYDRANT
- (E) STAND PIPE
- (E) HOSE BIBB
- (E) VENTS, TYP.



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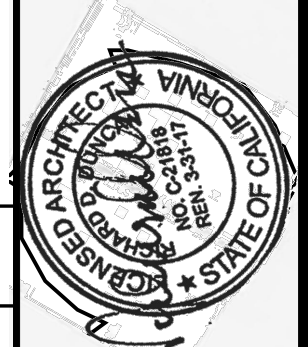
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FOLTZ CRIMINAL JUSTICE CENTER ROOF REPLACEMENT
210 WEST TEMPLE STREET, LOS ANGELES, CA 90012

NEW TOP ROOF PLAN

2015-055
DRAWN: A-5.4
DATE: 04-2016

<p>NOTES: 1) VAPOR BARRIER SHALL BE SEALED AT EDGES.</p>	17	NOT USED	<p>GENERAL NOTES FOR ALL DETAILS</p> <p>NOTES: 1) ALUMINUM TAPE IS REQUIRED IF EXISTING PENETRATION IS CONTAMINATED. 2) VAPOR BARRIER SHALL BE SEALED AT EDGES.</p>	<p>REVIEWED FOR CODE COMPLIANCE by Bill Rodgers at 1:58 pm, Dec 02, 2016 INTERWEST CONSULTING GROUP</p>	1
<p>NOTES: 1) NAILERS SHALL BE SECURELY ANCHORED TO THE DECK TO RESIST A MINIMUM FORCE OF 300 POUNDS PER LINEAL FOOT, FOLLOW FACTORY MUTUAL LOSS PREVENTION DATA SHEET 1-49 RECOMMENDATIONS. 2) VAPOR BARRIER SHALL BE SEALED AT EDGES.</p>	18			<p>NOTE: 1. USE OMG PIPEGUARD PER SPECIFICATIONS OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS TYPICAL. 2. RUBBER BLOCK WITHOUT METAL STRUT MAY BE USED FOR SINGLE PIPE WHERE IT IS APPROPRIATE.</p>	2
<p>NOTE: 1) METAL EXTENDER PIECE IS REQUIRED IF EXISTING COUNTERFLASHING IS CONTAMINATED AND OR COUNTERFLASHING FASCIA IS LESS THAN 4 INCHES WIDE, FASTENED 12 INCHES O.C. WITH GROMMETTED FASTENER. 2) VAPOR BARRIER SHALL BE SEALED AT EDGES.</p>	19		<p>NOTES: 1) NAILERS SHALL BE SECURELY ANCHORED TO THE DECK TO RESIST A MINIMUM FORCE OF 300 POUNDS PER LINEAL FOOT, FOLLOW FACTORY MUTUAL LOSS PREVENTION DATA SHEET 1-49 RECOMMENDATIONS. 2) THE THICKNESS OF THE NAILER SHALL MATCH THE HEIGHT OF THE INSULATION OR SURFACE TO WHICH THE MEMBRANE IS TO BE APPLIED. 3) VAPOR BARRIER SHALL BE SEALED AT EDGES.</p>	<p>NOTE: REMOVE (E) RIGID INSULATION, CANT STRIP, BUILT-UP ROOFING AND FLASHING (INCLUDING FLASHING/COATING OVER THE TOP OF PARAPET) TYPICAL.</p>	3
	20	<p>NOTES: 1) ALL FLASHING SHALL EXTEND A MIN. OF 8 INCHES ABOVE THE OVERBURDEN. 2) THE BACK OF THE G459 FLASHING MEMBRANE MUST BE PRIMED WITH SIKAFLEX PRIMER 449.</p>		<p>NOTES: 1) NAILERS SHALL BE SECURELY ANCHORED TO THE DECK TO RESIST A FORCE OF 300 POUNDS PER LINEAL FOOT IN ANY DIRECTION. 2) VAPOR BARRIER SHALL BE SEALED AT EDGES. 3) SEE ROOF PLAN FOR SIZE OF SUPPORT</p>	4



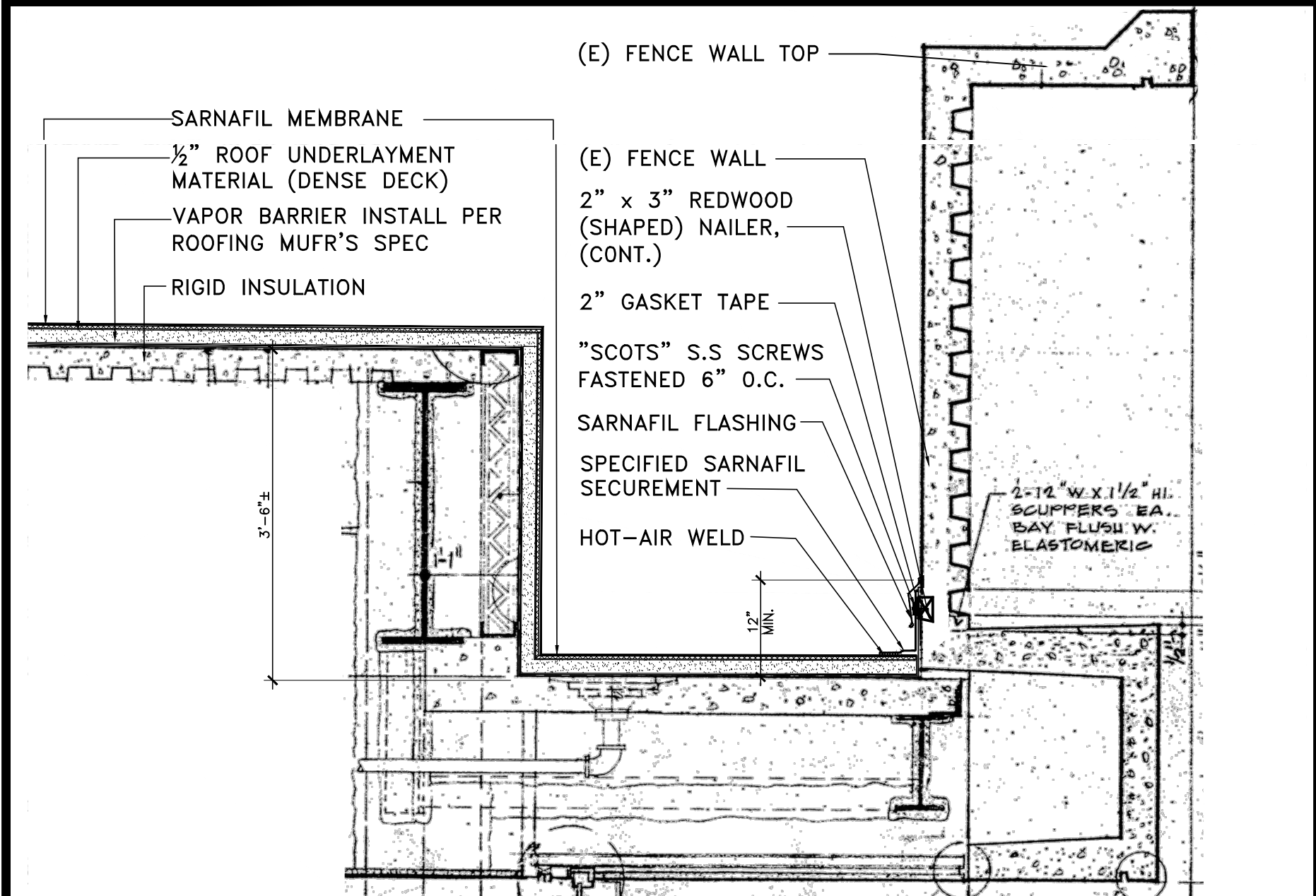
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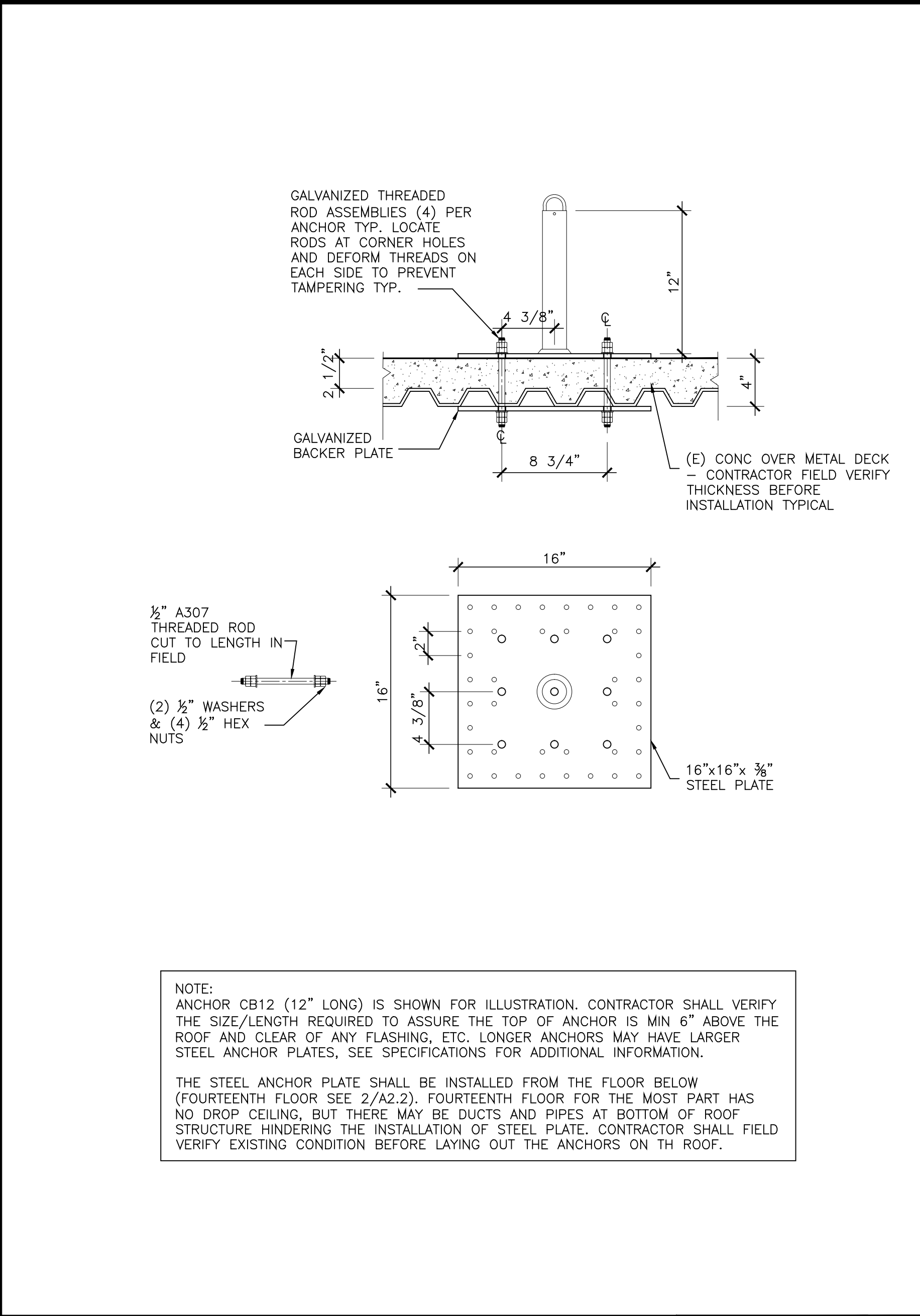
TYPICAL ROOF DETAILS

JOHN NUMBER 2015-065
DRAWN: DATE: 04-2016
A-10.1

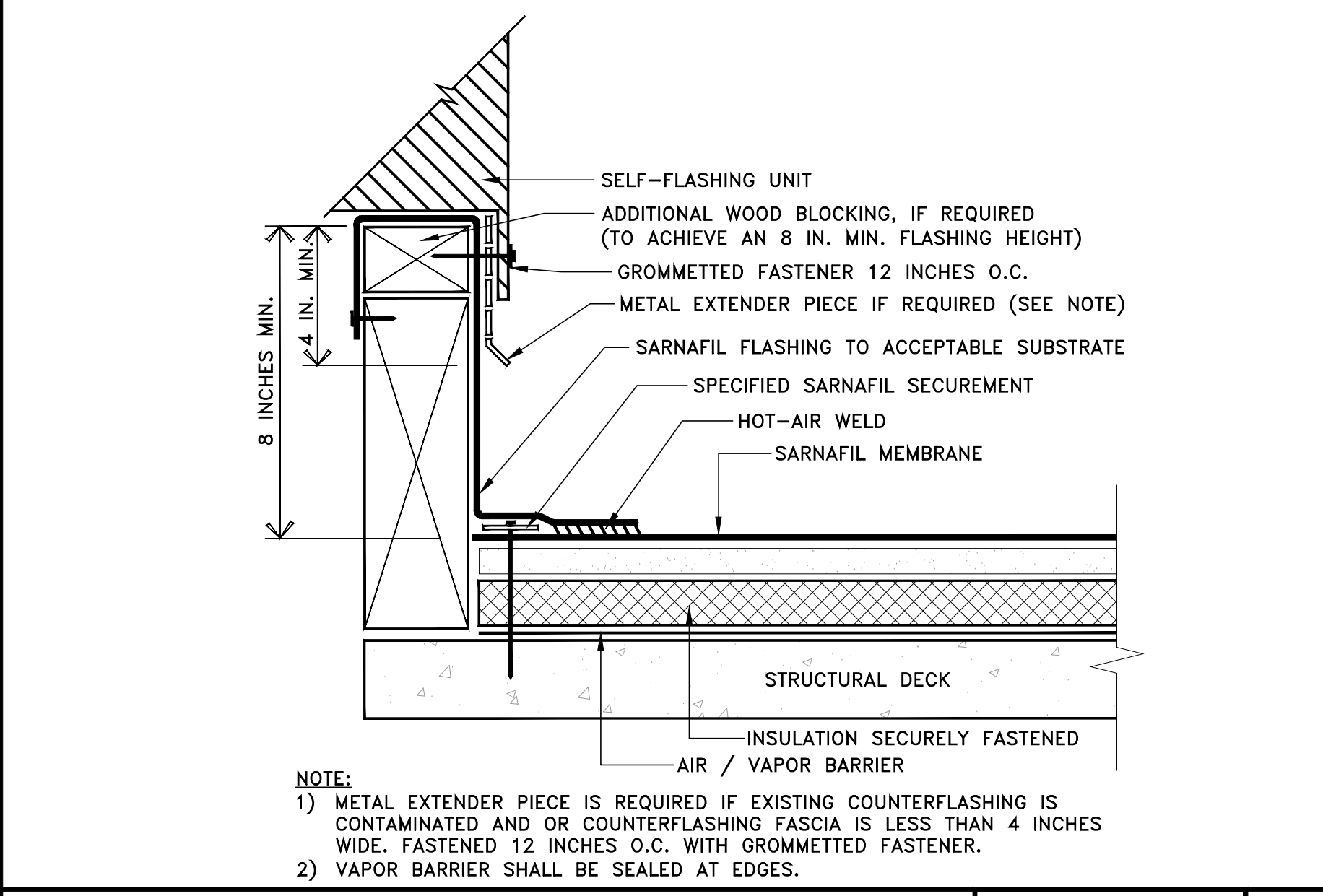


FLASHING AT PH ROOF PERIMETER AREA

NOT USED

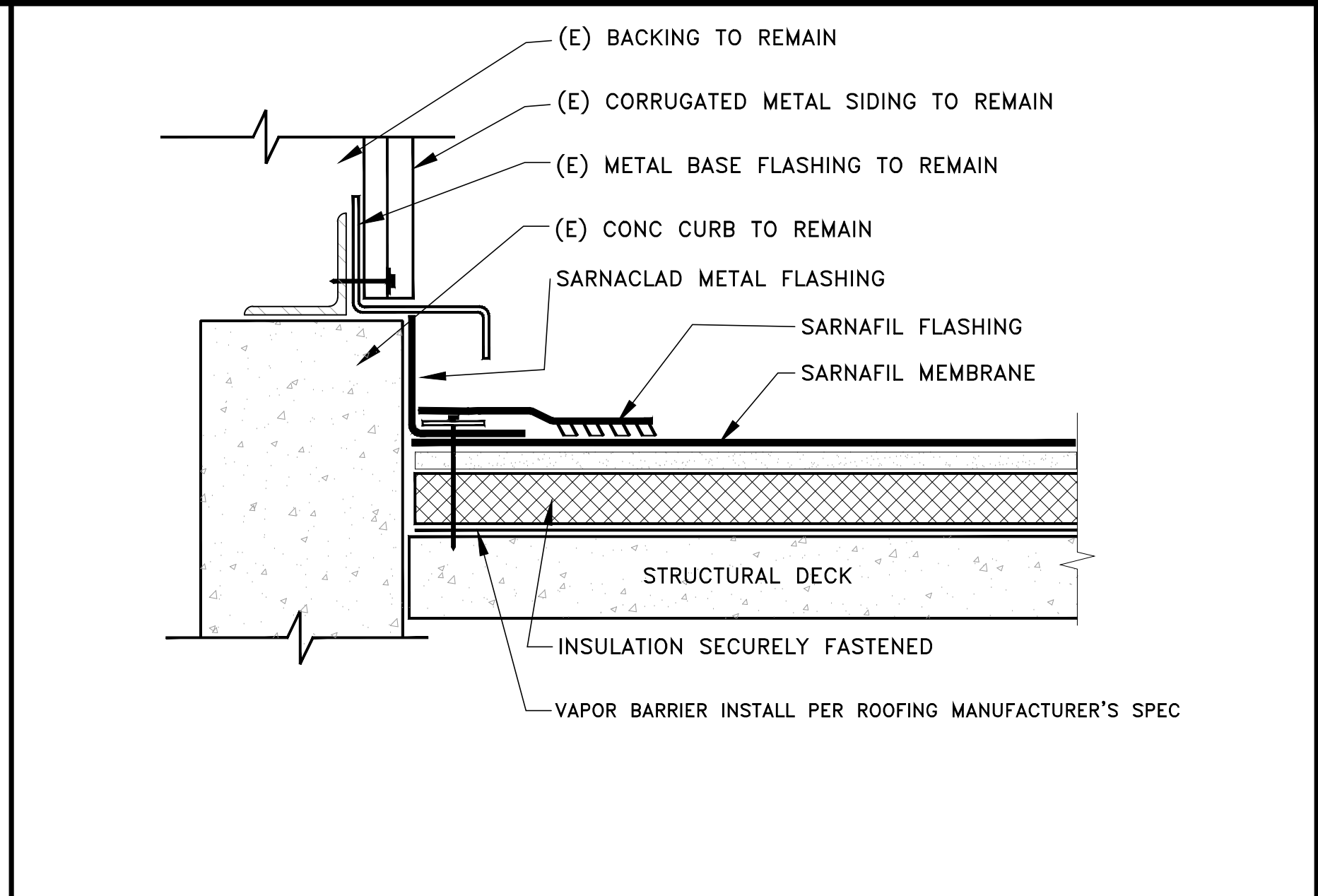


ANCHOR TO ROOF

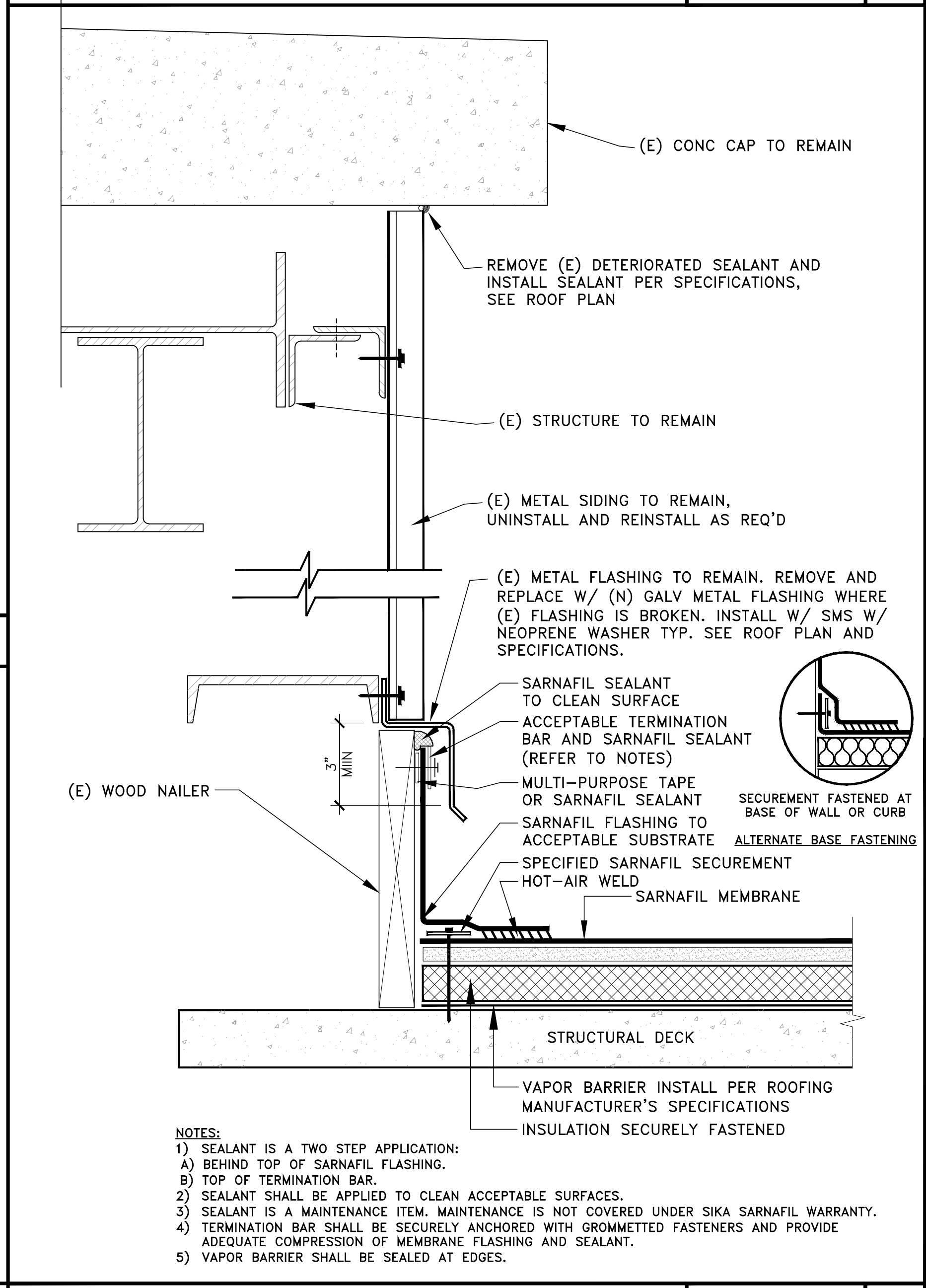


REMOVABLE CURB FLASHING

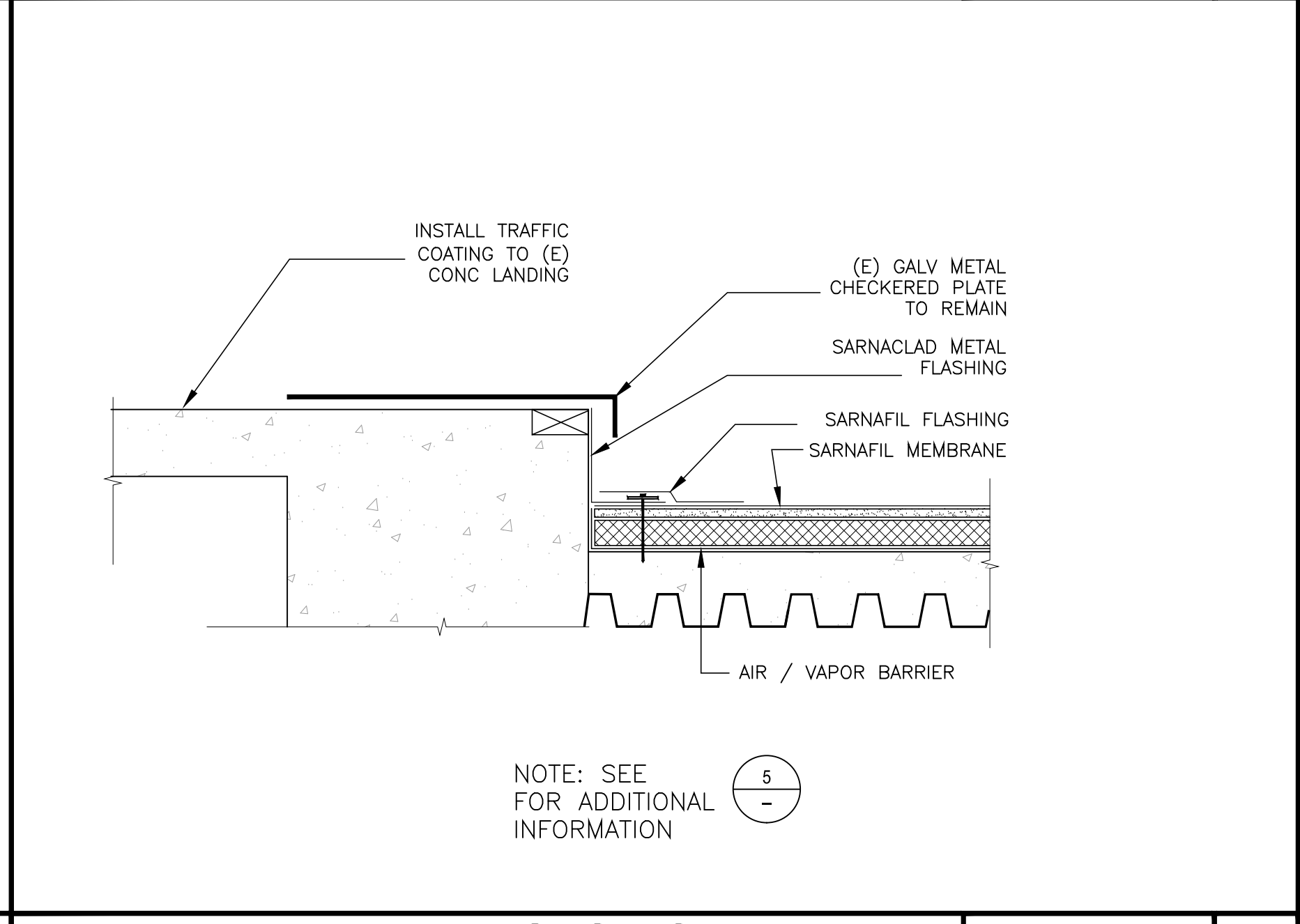
NOT USED



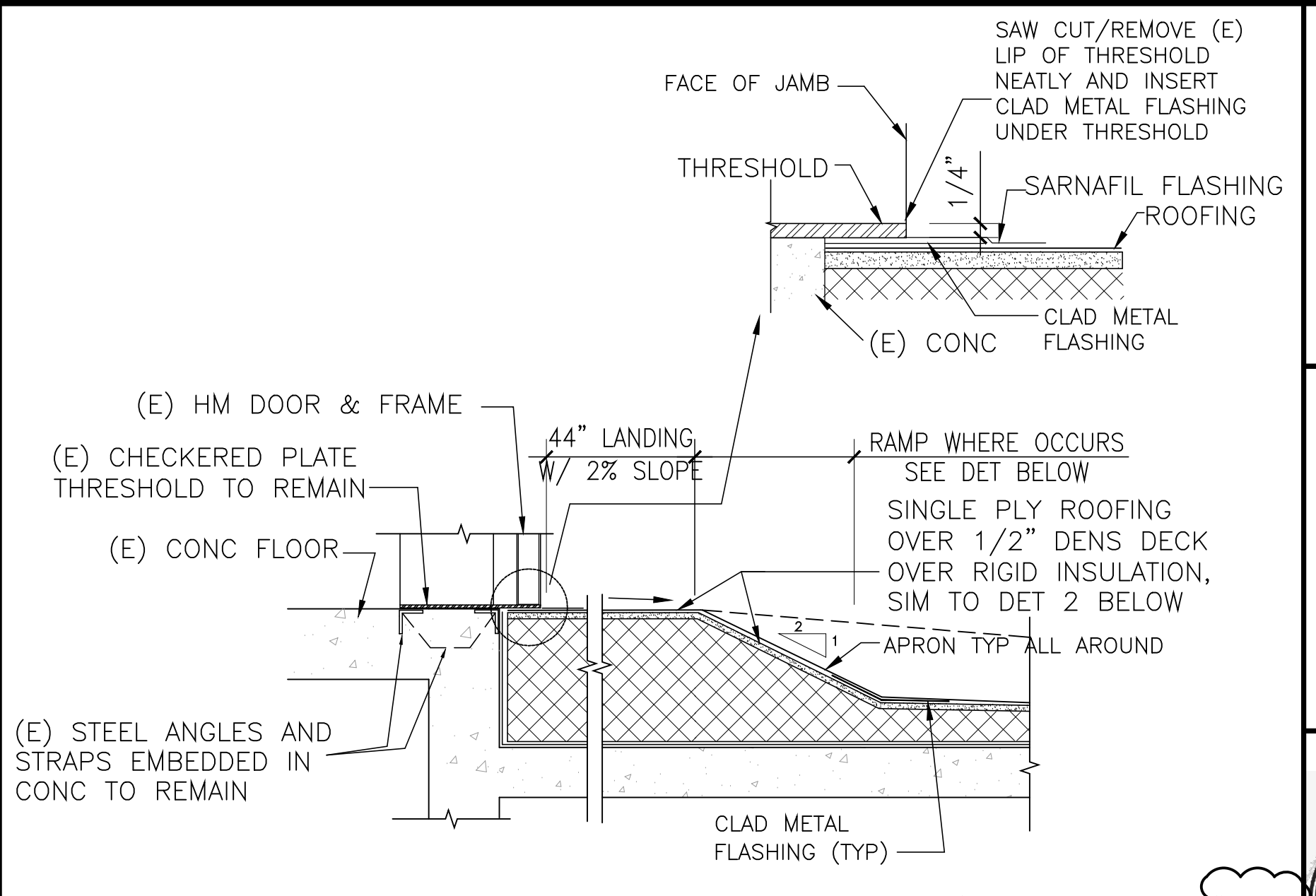
PENTHOUSE WALL BOTTOM



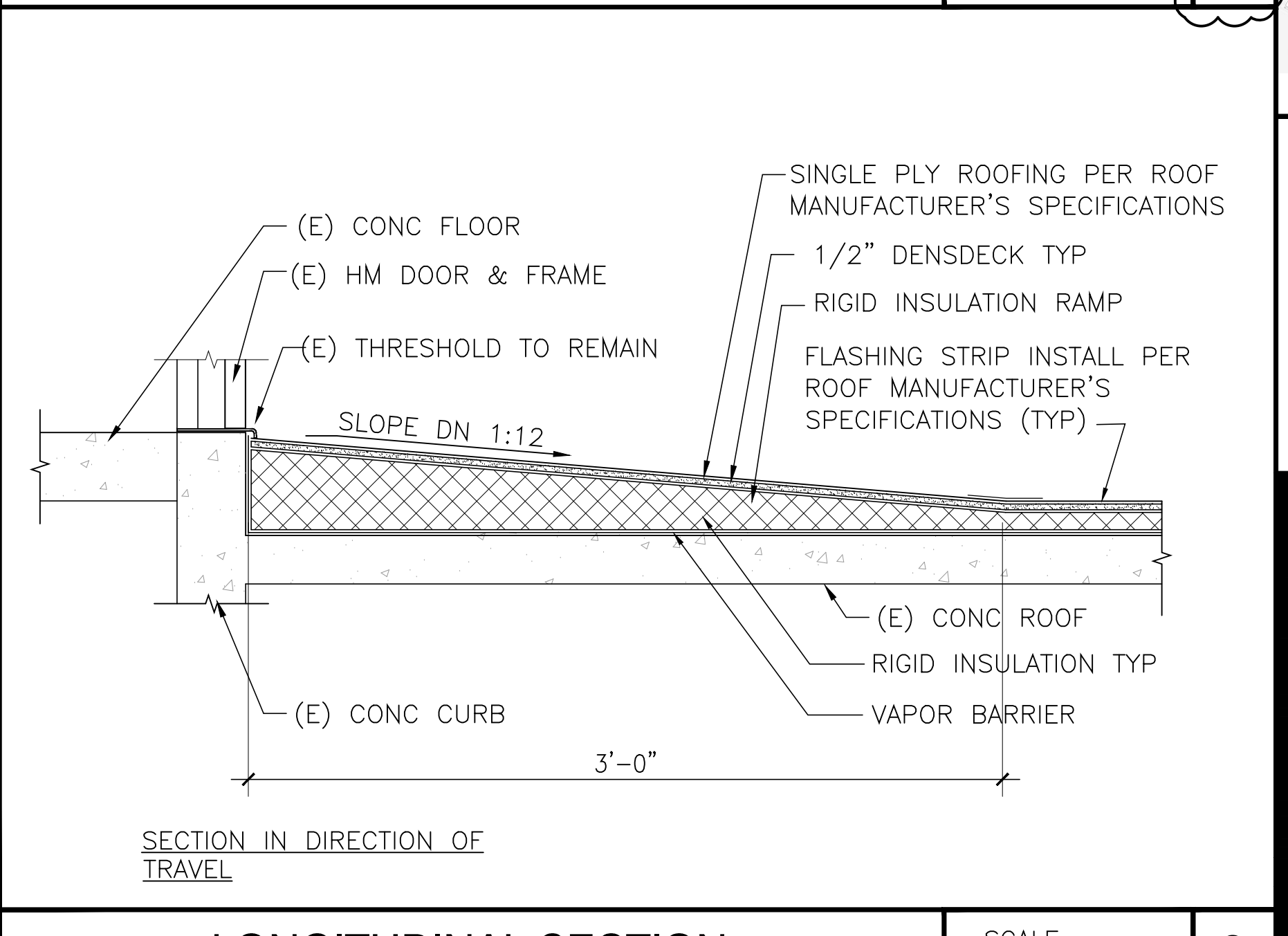
FLASHING AT SIDING (MAIN ROOF EXT WALL)



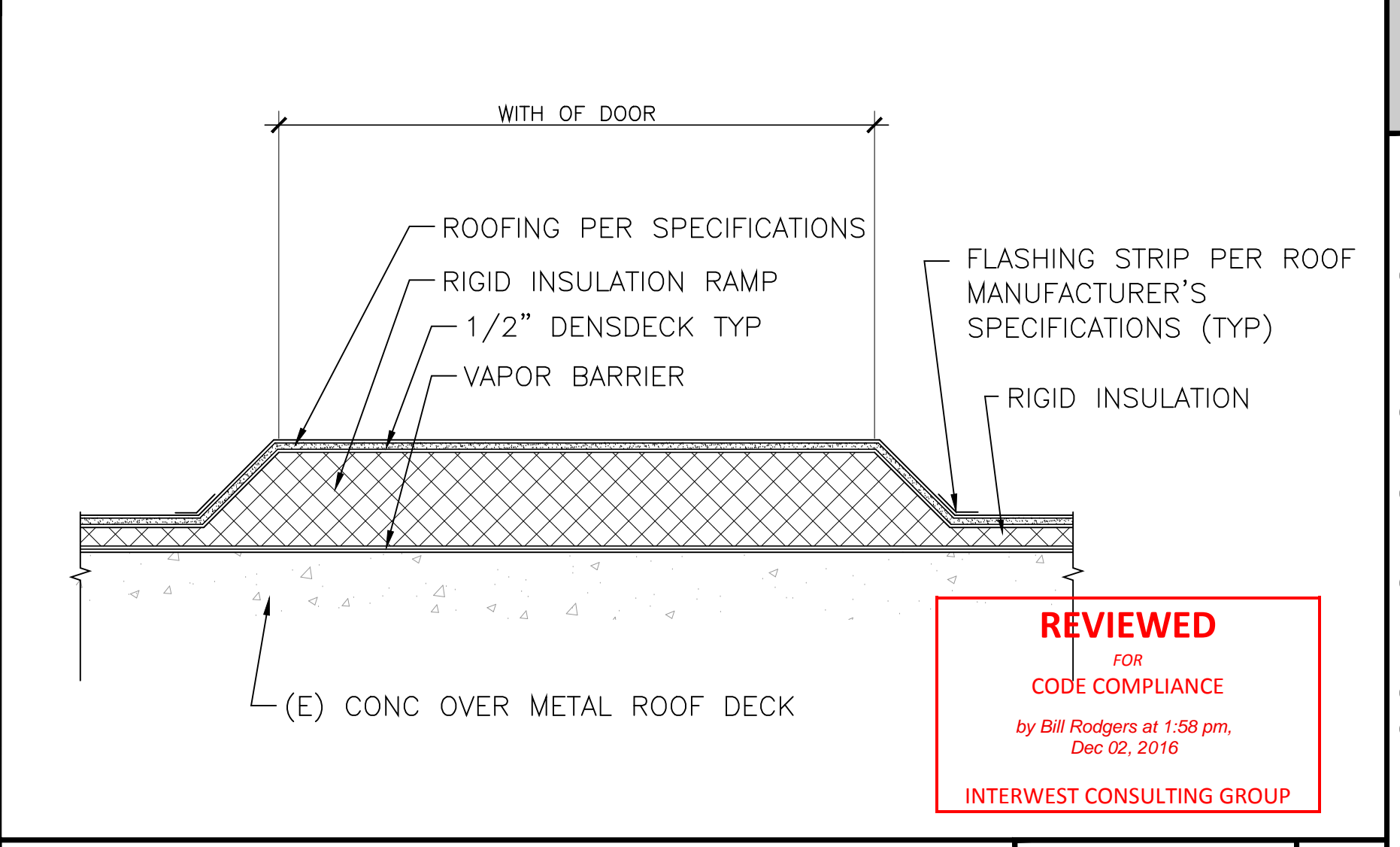
PARAPET AT PENTHOUSE STAIR



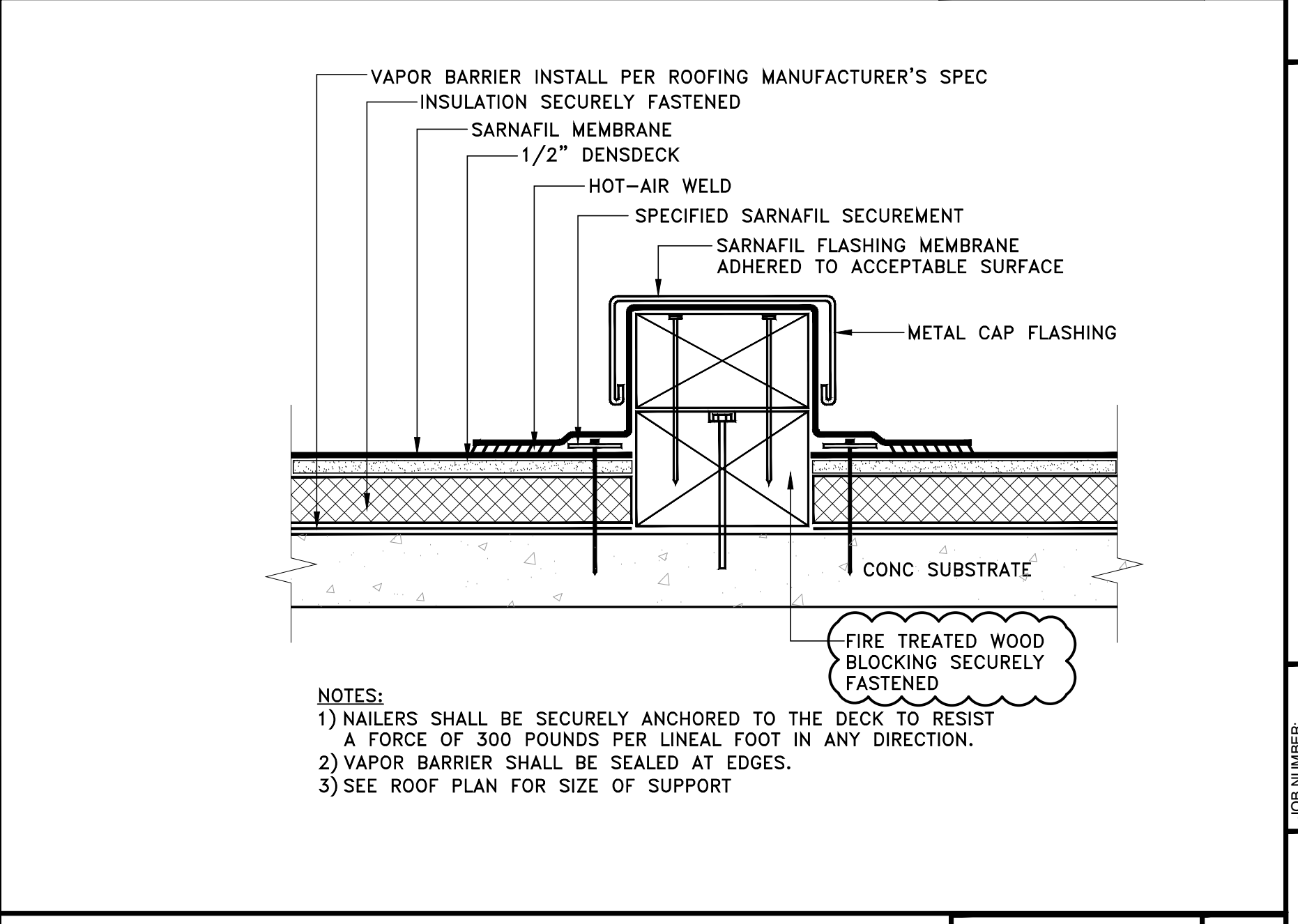
LANDING AT DOOR



LONGITUDINAL SECTION



TRANSVERSE SECTION



EQUIPMENT SUPPORT

Architect's stamp and project information including: JUDICIAL COUNCIL OF CALIFORNIA COUNTY OF LOS ANGELES, FOLTZ CRIMINAL JUSTICE CENTER ROOF REPLACEMENT, 210 WEST TEMPLE STREET, LOS ANGELES, CA 90012, ISSUE FOR 50% SUBMITTAL 04-29-2016, DC ARCHITECTS, 820 N. MOUNTAIN AVENUE, UPLAND, CA 91786, (909) 985-6939 OFFICE, (909) 985-0664 FAX, REVIEWED FOR CODE COMPLIANCE by Bill Rodgers at 1:58 pm, Dec 02, 2016, INTEREST CONSULTING GROUP, TYPICAL ROOF DETAILS, 2015-055, DATE: 04-2016, A-10.2



SCALE:	2
NO SCALE	