

**JUDICIAL COUNCIL OF CALIFORNIA
COUNTY OF LOS ANGELES**

1945 SOUTH HILL STREET, LOS ANGELES, CA 90007

GENERAL NOTES

DRAWING INDEX

1. REFERRING OF DETAILS AND KEYNOTES PROVIDED FOR CONVENIENCE ONLY. ALL DETAILS AND KEYNOTES PROVIDED WITHIN THIS SET OF CONSTRUCTION DOCUMENTS SHALL APPLY TO ALL TYPICAL LOCATIONS. THIS DETERMINATION SHALL BE MADE BY THE ARCHITECT.
2. ALL ITEMS SPECIFIED AS “(N)” SHALL BE C.F.C.I. (CONTRACTOR FURNISHED CONTRACTOR INSTALLED).
3. ALL ITEMS SPECIFIED AS “(E)” ARE EXISTING.
4. ANY ITEM THAT IS NOT SPECIFIED AS EITHER “(N)” FOR NEW OR “(E)” FOR EXISTING SHALL BE CONSIDERED NEW AND C.F.C.I. (CONTRACTOR FURNISHED CONTRACTOR INSTALLED).
5. CONTRACTOR SHALL DEMOLISH, AND CONSTRUCT ALL REQUIRED ITEMS WITHIN THIS SET OF CONTRACT DOCUMENTS. AS A RESULT OF THIS WORK, CONTRACTOR SHALL PATCH, REPAIR AND REPLACE ANY AND ALL ITEMS NECESSARY TO REPAIR ADJACENT STRUCTURE, UTILITIES AND FINISHES TO MATCH THE EXISTING CONDITION. IF THE EXISTING STRUCTURE, UTILITY AND FINISH MATERIALS ARE NO LONGER AVAILABLE AND/OR NOT PERMITTED BY CODE, THEN DIFFERENT MATERIALS OF EQUAL OR GREATER VALUE SHALL BE USED AS ACCEPTED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE DISTRICT. IF THE CONTRACT DOCUMENTS SPECIFY DIFFERENT STRUCTURE, UTILITIES AND FINISHES THAN THOSE EXISTING, THEN THOSE SPECIFIED SHALL BE USED FOR THE PATCH AND REPAIR.
6. ANY DAMAGE THAT MAY OCCUR TO THE EXISTING PROJECT SITE AND STRUCTURES AS A RESULT OF THE CONTRACTORS WORK AND/OR NEGLIGENCE SHALL BE PATCHED, REPAIRED AND REPLACED TO MATCH THE EXISTING CONDITIONS. IF THE EXISTING STRUCTURE, UTILITY AND FINISH MATERIALS FOR SITE AND STRUCTURES ARE NO LONGER AVAILABLE AND/OR NOT PERMITTED BY CODE, THEN DIFFERENT MATERIALS OF EQUAL OR GREATER VALUE SHALL BE USED AS ACCEPTED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE DISTRICT. IF THE CONTRACT DOCUMENTS SPECIFY DIFFERENT STRUCTURE, UTILITIES AND FINISHES THAN THOSE EXISTING, THEN THOSE SPECIFIED SHALL BE USED FOR THE PATCH AND REPAIR.
7. CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS, PROJECT SITE AND STRUCTURES THOROUGHLY AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS PRIOR TO BEGINNING OF ANY WORK.
8. CONTRACTOR SHALL NOT PROCEED WITH ANY DEMOLITION, ADDITIONS AND CONSTRUCTION WITHIN ANY PROJECT SITE AREAS AND STRUCTURES IF ANY CONFLICT EXISTS WITHIN THE CONTRACT DOCUMENTS OR PROJECT SITE AREAS AND STRUCTURES. IF CONTRACTOR PROCEEDS WITH ANY DEMOLITION, ADDITIONS AND CONSTRUCTION WITHOUT PRIOR CLARIFICATION OF CONFLICTS FROM THE ARCHITECT, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL REWORK NECESSARY TO CORRECT THE ISSUE AT NO ADDITIONAL COST TO THE DISTRICT.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING MATERIALS THAT ARE TO REMAIN IN PLACE.
10. THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS.
11. **IF THERE ARE ANY CONFLICTS WITHIN THE CONTRACT DOCUMENTS THAT SPECIFY ANY ITEM AS OWNER FURNISHED, OWNER INSTALLED, OWNER PROVIDED, DISTRICT FURNISHED, DISTRICT INSTALLED, DISTRICT PROVIDED, FURNISHED BY OTHERS, INSTALLED BY OTHERS, PROVIDED BY OTHERS, ETC., BUT IS SPECIFIED AND/OR DETAILED WITHIN THE CONTRACT DOCUMENTS SHALL BE C.F.C.I. (CONTRACTOR FURNISHED CONTRACTOR INSTALLED). BY SUBMISSION OF BID THE CONTRACTOR ACKNOWLEDGES THAT ALL WORK AND ITEMS SPECIFIED WITHIN THESE CONTRACT DOCUMENTS SHALL BE INCLUDED WITHIN THERE BID EXCEPT AS EXCLUDED WITHIN THIS NOTE.**

- | T-1 | TITLE SHEET, SITE PLAN, CODES AND NOTES |
|----------------------|---|
| <u>ARCHITECTURAL</u> | |
| A-2.0 | EXISTING OVERALL SITE PLAN |
| A-2.1 | EXISTING SERVICE LEVEL FLOOR PLAN |
| A-2.2 | EXISTING FIRST FLOOR PLAN |
| A-2.3 | EXISTING SECOND AND EIGHTH FLOOR PLANS |
| A-5.1 | EXISTING DEMO PENTHOUSE FLOOR PLAN |
| A-5.2 | NEW PENTHOUSE ROOF PLAN |
| A-5.3 | EXISTING DEMO TOP ROOF PLAN |
| A-5.4 | NEW TOP ROOF PLAN |
| A-5.5 | EXISTING PENTHOUSE ELEVATIONS |
| A-10.1 | TYPICAL ROOF DETAILS |
| A-10.2 | TYPICAL ROOF DETAILS |
| A-10.3 | WALL SECTIONS |

REVIEWED FOR CODE COMPLIANCE

USING THE FOLLOWING CODES:

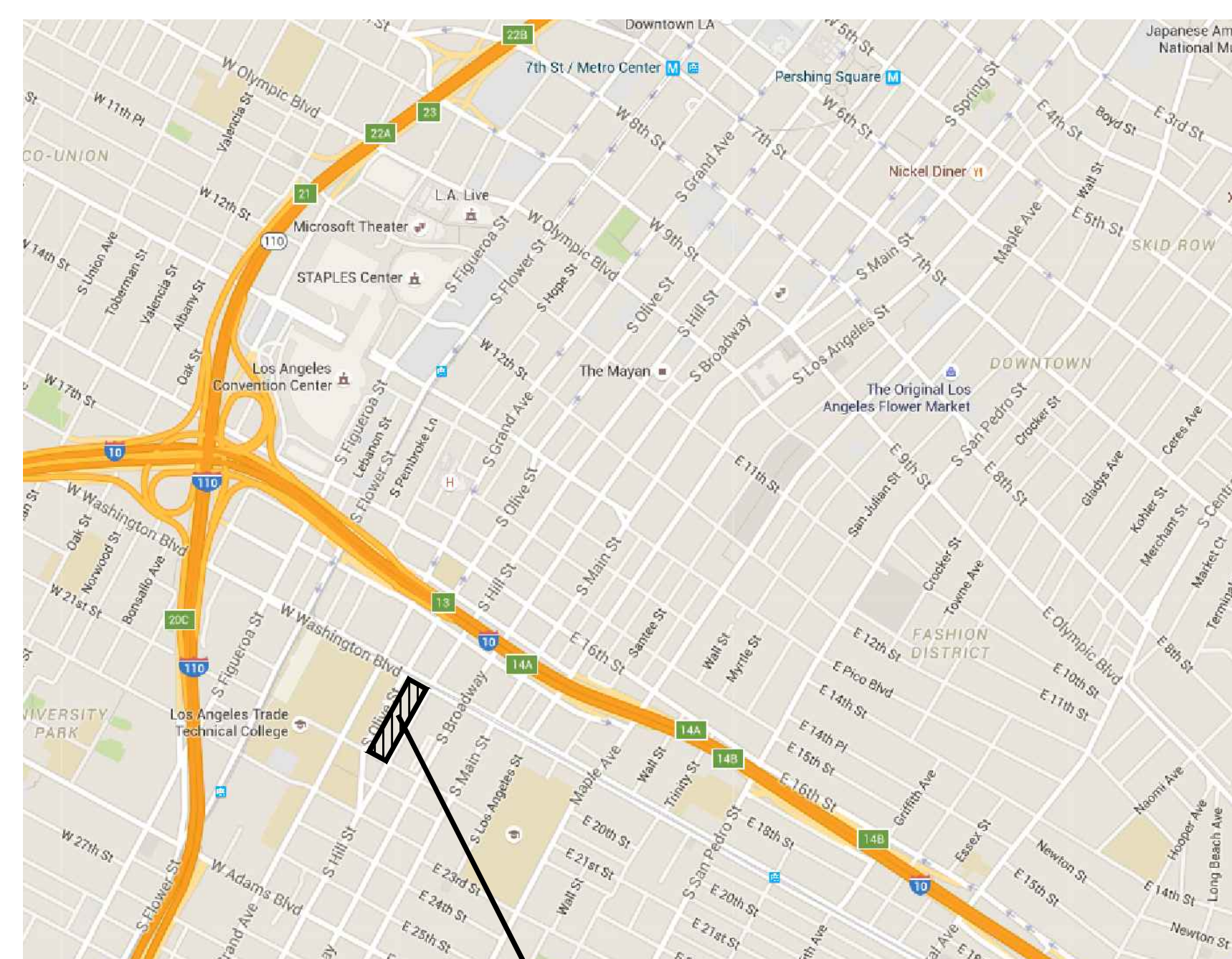
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<input checked="" type="checkbox"/>	2013 CALIFORNIA FIRE CODE
<input checked="" type="checkbox"/>	OTHER:

COMPLETION OF THIS REVIEW DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN
VIOLATION OF ANY FEDERAL, STATE OR LOCAL REGULATIONS.

BY: [Signature] DATE: OCTOBER 18, 2016

INTERVIEW CONSULTING GROUP

VICINITY MAP



APPLICABLE CODES

PARTIAL LIST OF APPLICABLE CODES AS OF January 1, 2014*

2013 California Administrative Code, Part 1, Title 24 C.C.R.*

2013 California Building Code (CBC), Part 2, Title 24 C.C.R.
(2012 International Building Code Volumes 1-2 and 2013 California Amendments)

2013 California Electrical Code (CEC), Part 3, Title 24 C.C.R.
(2011 National Electrical Code and 2013 California Amendments)

2013 California Mechanical Code (CMC), Part 4, Title 24 C.C.R.
(2012 Uniform Mechanical Code and 2013 California Amendments)

2013 California Plumbing Code (CPC), Part 5, Title 24 C.C.R.
(2012 Uniform Plumbing Code and 2013 California Amendments)

2013 California Energy Code (CEC), Part 6, Title 24 C.C.R.*

2013 California Fire Code, Part 9, Title 24 C.C.R.

2013 California International Fire Code and 2013 California Amendments)

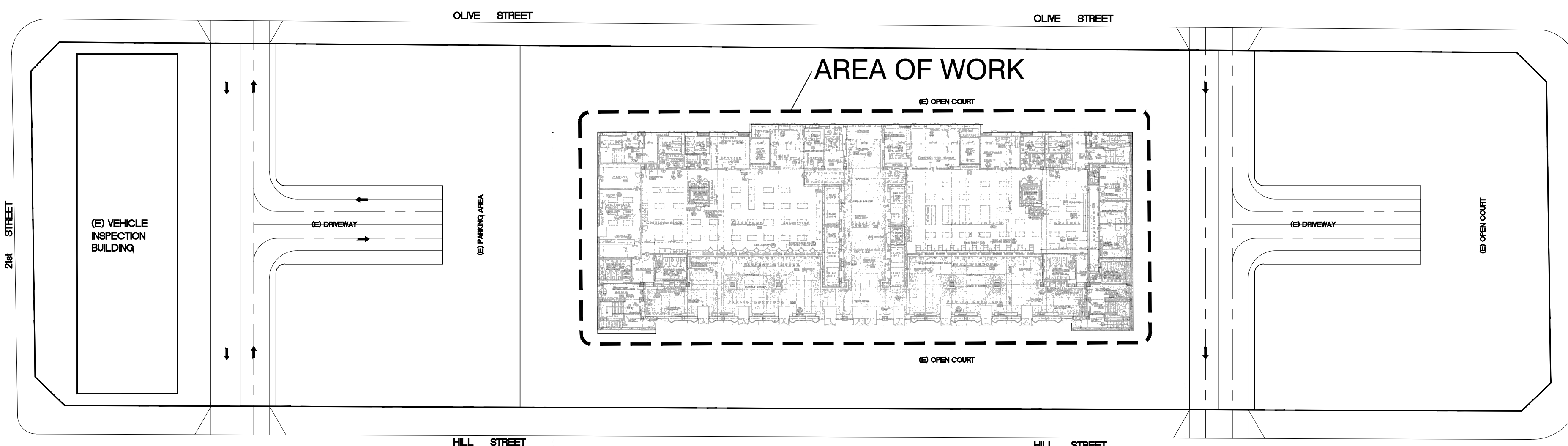
2013 California Green Building Standards Code, Part 11, Title 24 C.C.R.

2013 California Referenced Standards, Part 12, Title 24 C.C.R.

Title 19 C.C.R., Public Safety, State Fire Marshal Regulations.

2007 ASME A17.1(w/A17.1a/CSA B44a-08 addenda) Safety Code For Elevators and Escalators

PARTIAL LIST OF APPLICABLE STANDARDS		
NFPA 13	Automatic Sprinkler Systems	2013 Edition
NFPA 14	Standpipe Systems	2013 Edition
NFPA 17	Dry Chemical Extinguishing Systems	2013 Edition
NFPA 17a	Wet Chemical Systems	2013 Edition
NFPA 20	Stationary Pumps	2013 Edition
NFPA 22	Water tanks for Private Fire Protection	2013 Edition
NFPA 24	Private Fire Mains	2013 Edition
NFPA 72	National Fire Alarm Code	2013 Edition
NFPA 80	Fire doors and Other Opening Protectives	2013 Edition
NFPA 92	Standard for Smoke Control Systems	2012 Edition
NFPA 253	Critical Radiant Flux of Floor Covering Systems	2006 Edition
NFPA 2001	Clear Agent Fire Extinguishing Systems	2012 Edition
ICC 300	ICC Standards on Bleachers, Folding and Telescoping Seating and Grand stands	2012 Edition
UL 300	Fire Testing of Fire Extinguishing Systems for Protection Of Restaurant Cooking Areas	2005 Edition
UL 464	Audible Signal Appliances	2003 Edition
UL 521	Heat Detectors for Fire Protective Signaling Systems	1999 Edition



SCOPE OF WORK

IN GENERAL, REMOVE/TEAR EXISTING GRAVEL SURFACE, HOT ASPHALT APPLIED BUILD-UP ROOF, EXISTING 2" PERUITE ROOF INSULATION DOWN TO THE EXISTING ROOF SUBSTRATE. REMOVE ALL EXISTING FLASHING AROUND ALL VENTS, AIR VENTS, PIPES, CONDUITS, VENT FLUES, REMOVE ALL EXISTING ROOF DRAINS, COPING AND AT THE PITCH ROOF REMOVE EXISTING COMPOSITION ROOF SHINGLES, EXISTING WEATHER PROOF PAPER, EXISTING HVAC PLATFORMS AND HVAC UNITS/DUCTS, MISCELLANEOUS CONDUITS, PIPES ALONG WITH EXISTING FLASHING AROUND ALL VENTS, AIR VENTS, PIPES, CONDUITS, VENT FLUES TO RECEIVE NEW FELT BACKED 72 MIL THERMOPLASTIC PVC MEMBRANE ROOF MATERIAL OVER 1/2" INCH DENSE DECK APPLIED OVER NEW TAPERED INSULATION BOARD. INFILL EXISTING HVAC PLATFORMS AND DUCT PENETRATIONS WITH NEW 2X FRAMING MEMBER/SHEATHING AND INSTALL NEW FLASHING AROUND ALL EXISTING VENTS, AIR VENTS, PIPES, CONDUITS, VENT FLUES, INSTALL ALL NEW DRAINS/OVER FLOW SCUPPER FLASHING ALL ACCORDANCE TO THE DRAWINGS AND SPECIFICATIONS.

CONSULTANTS

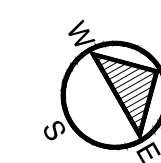
ARCHITECT	DC ARCHITECTS	RICHARD DUNCAN	820 N. MOUNTAIN AVE., SUITE 200 UPLAND, CA 91786 TEL. (909) 985-6939 FAX. (909) 985-0864 rduncan@dcarchitects.net
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BUILDING DATA

1. TYPE OF CONSTRUCTION: I-A (ONE HOUR RATED).
2. ROOF CONSTRUCTION IS REQUIRED TO BE 1.5 HOUR RATED PER CBC SECTION 602.1 AND CBC TABLE 601.
3. EXISTING ROOF IS 2 HOUR RATED PER CBC TABLE 721.1(3), ITEM NUMBER 4-1.1 (1 1/2 HOUR RATED PER D.B. TABLE 601).
4. THE NEW ROOFING (SINGLE PLY BY SARNAFIL) IS CLASS "A" RATED.
5. USE OF WOOD IN THE ROOF ASSEMBLY SHALL COMPLY WITH CBC 602.1. ALL WOOD AND PLYWOOD USED IN ROOF CONSTRUCTION SHALL BE FIRE-RETARDANT TREATED PER CBC 603.1, W/ A FLAME SPREAD AND SMOKE DEVELOPED INDEX OF 25 OR LESS UNDER ASTM E 84 FLAME TUNNEL TESTING.

SITE PLAN

NOT TO SCALE



ISSUE FOR	50% SUBMITTAL	04-29-2016
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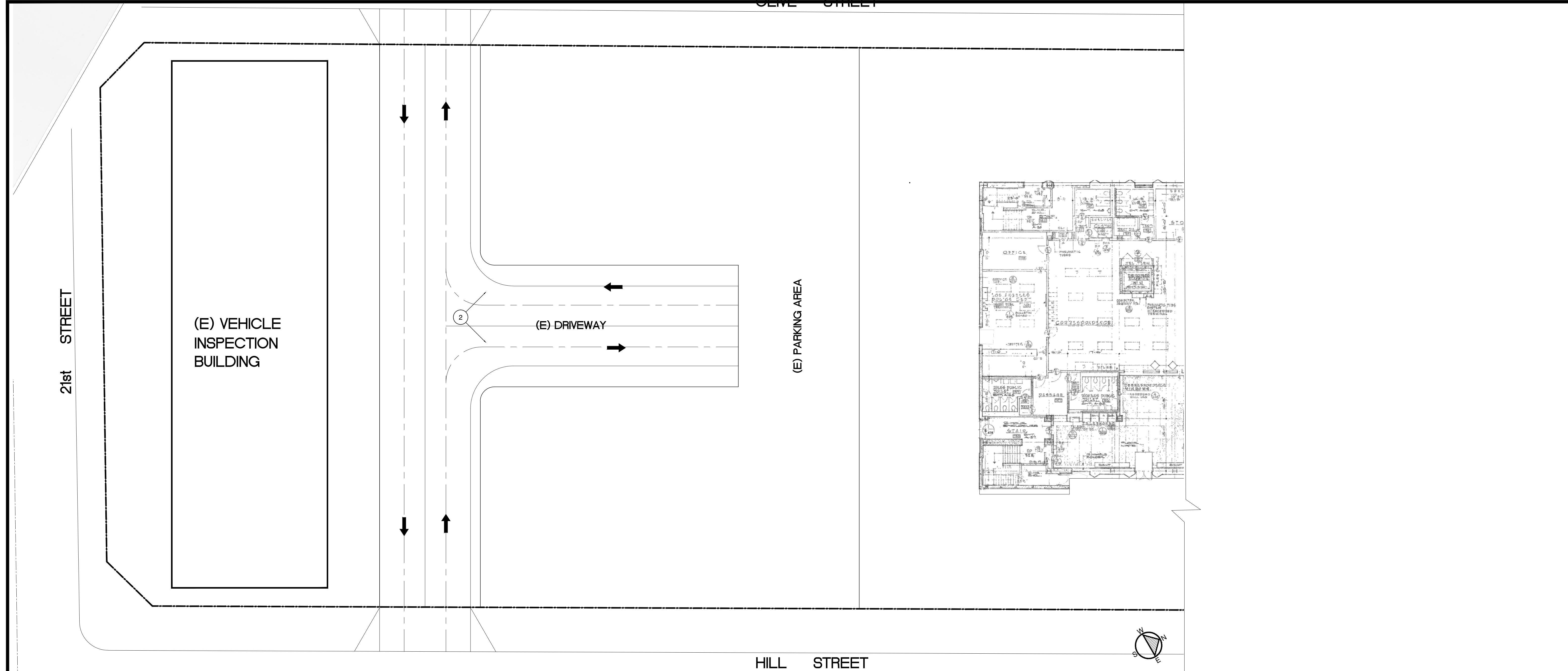
DC | ARCHITECTS

JUDICIAL COUNCIL OF CALIFORNIA
COUNTY OF LOS ANGELES
METROPOLITAN COURTHOUSE ROOF REPLACEMENT
1015 SOUTH HILL STREET | LOS ANGELES, CA 90007

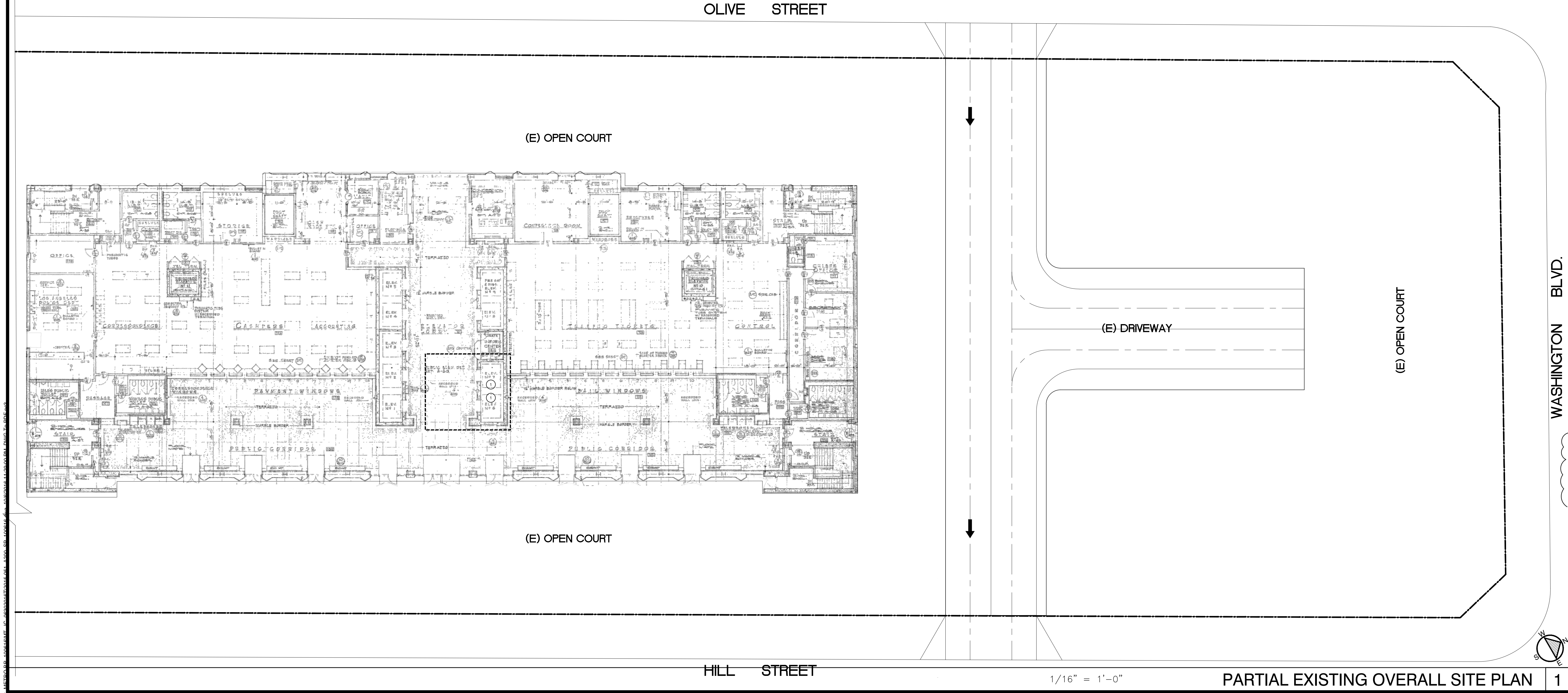
TITLE SHEET
SITE PLAN
CODES AND NOTES

JOB NUMBER:	2015-051
DRAWN:	
DATE:	04-2016

T-1



PARTIAL EXISTING OVERALL SITE PLAN 2



PARTIAL EXISTING OVERALL SITE PLAN 1

KEYNOTES

- 1. SERVICE ELEVATORS THE CONTRACTOR SHALL USE FOR WORK PERSONNEL TO RIDE TO THE ROOF & FOR TRANSPORTING DEMO ROOF MATERIALS, NEW ROOF MATERIALS, TOOLS, EQUIPMENTS.
- 2. CONSTRUCTION ACCESS ENTRANCE, COORDINATE WITH OWNER FOR DAILY ACCESS & SECURITY TO ENTER FOR PARKING ANY CONSTRUCTION VEHICLES AND WORK PERSONNEL

REVIEWED
FOR
CODE COMPLIANCE
by Bill Rodgers at 10:34 am,
Oct 18, 2016
INTERWEST CONSULTING GROUP

- SPECIAL NOTES:
- ① TRASH CHUTE AND TRASH DUMPSTER LOCATIONS DURING CONSTRUCTION HOURS. CONTRACTOR APPROVAL FROM THE OWNER.
 - ② LOCATION OF PARKING SPACE FOR CRANE TO LIFT AND REPLACE TRASH DUMPSTER DURING CONSTRUCTION HOURS. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND GET APPROVAL FROM OWNER.

SCOPE OF WORK

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04-29-2016

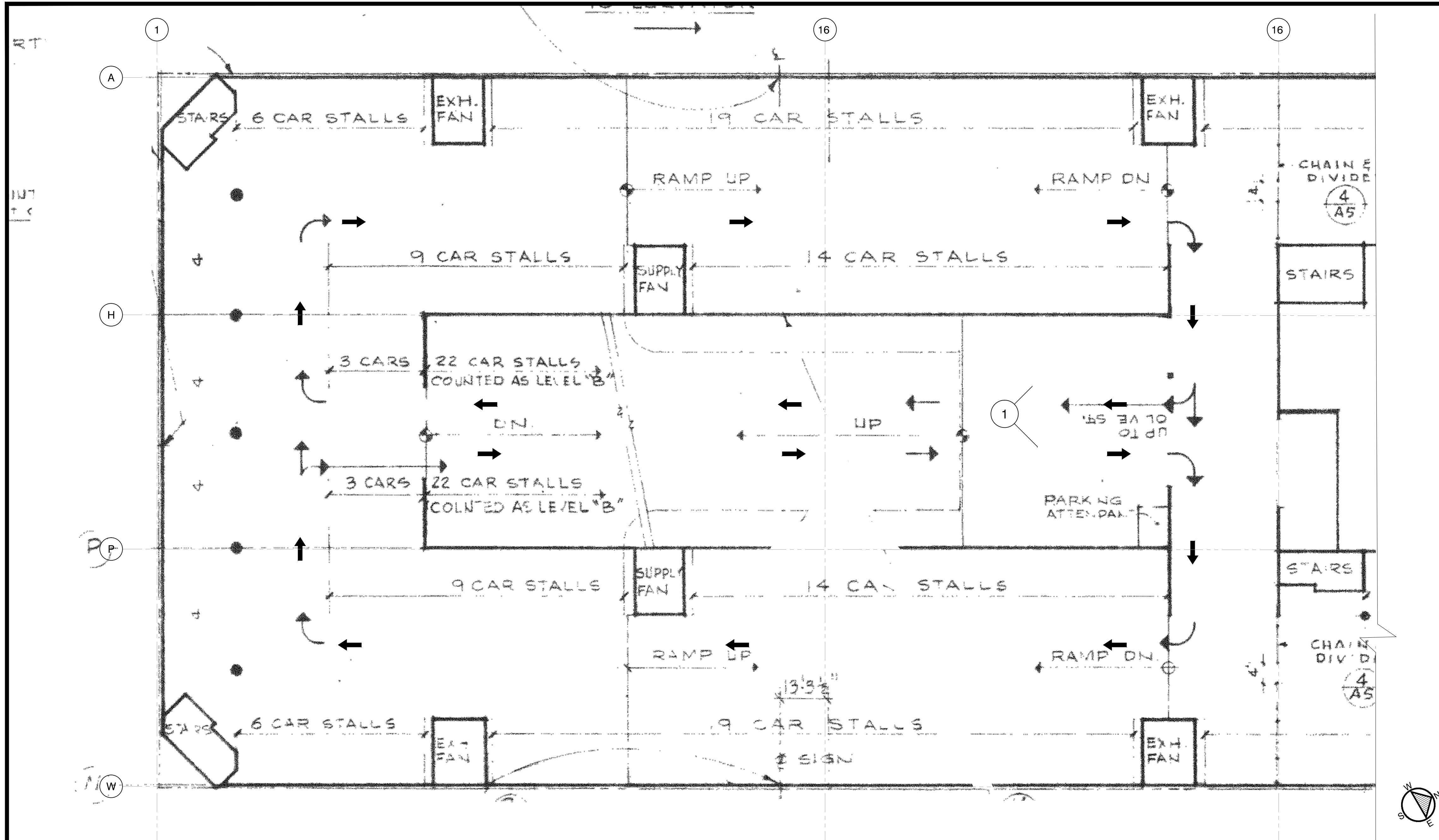
DC | ARCHITECTS
820 N. MOUNTAIN AVENUE
SUITE 200
UPLAND, CA 91786
(909) 985-6839 OFFICE
(909) 985-0864 FAX

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1945, SOUTH HILL STREET, LOS ANGELES, CA 90007

EX. OVERALL SITE PLAN

2015-051
DRAWN
DATE: 04-2016

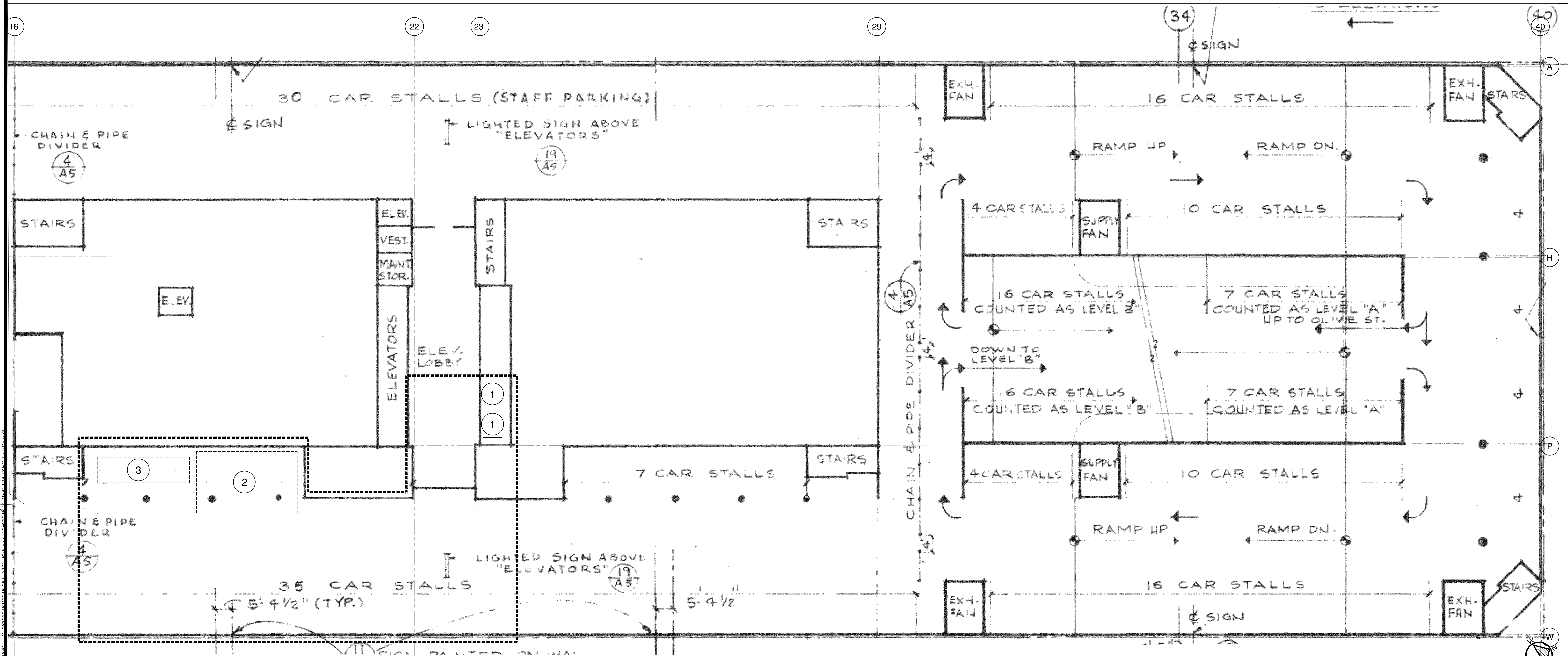
A-2.0



1/8" = 1'-0"

PARTIAL EXISTING SERVICE FLOOR PLAN

2



1/16" = 1'-0"

PARTIAL EXISTING SERVICE FLOOR PLAN

1

KEYNOTES

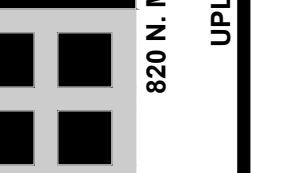
- SERVICE ELEVATORS THE CONTRACTOR SHALL USE FOR WORK PERSONNEL TO RIDE TO THE ROOF & FOR TRANSPORTING DEMO ROOF MATERIALS, NEW ROOF MATERIALS, TOOLS, EQUIPMENTS.
- DESIGNATE AREA FOR CONTRACTOR WORK VEHICLES OR AS DESIGNATED BY THE OWNER
- LOCATION FOR CONTRACTORS TRASH BINS. ALL TRASH BINS SHALL HAVE COVERS. ALL SHALL BE LOCKABLE.
- CONSTRUCTION ACCESS ENTRANCE, COORDINATE WITH OWNER FOR DAILY ACCESS & SECURITY TO ENTER FOR PARKING ANY CONSTRUCTION VEHICLES AND WORK PERSONNEL

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(E) SERVICE FLOOR PLAN

2015-051
DRAWN
DATE: 04-2016

A-2.1

SCOPE OF WORK

KEYNOTES

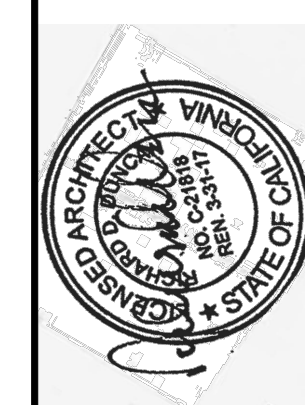
1. SERVICE ELEVATOR DEDICATED FOR CONSTRUCTION
CONTRACTOR & ALL WORKERS ARE NOT ALLOWED TO ACCESS
ANY FLOORS EXCEPT WHERE DESIGNATED

REVIEWED
FOR
CODE COMPLIANCE

by Bill Rodgers at 10:34 am,
Oct 18, 2016

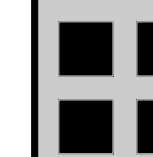
INTERWEST CONSULTING GROUP

AREA OF WORK



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DC ARCHITECTS

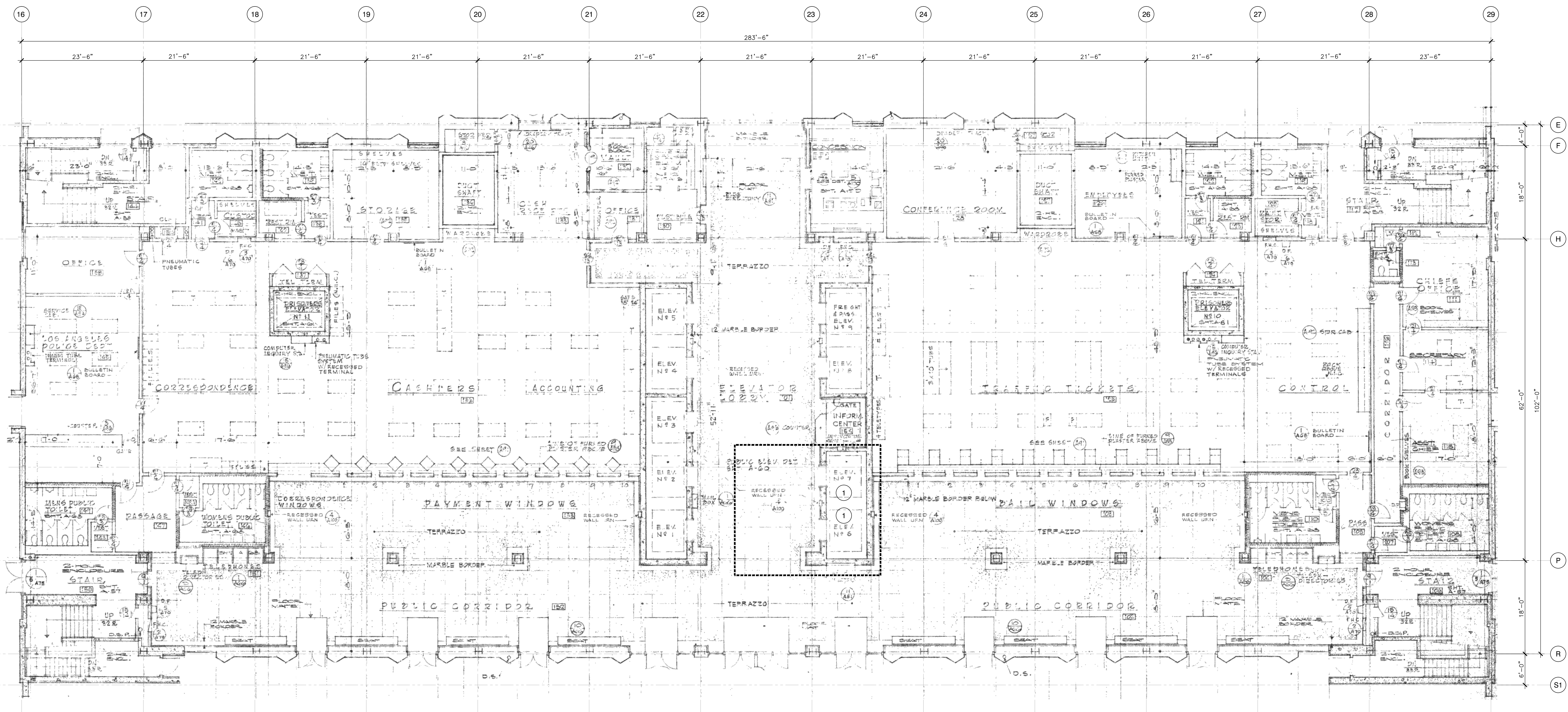


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1945, SOUTH HILL STREET, LOS ANGELES, CA 90007

(E) FIRST FLOOR PLAN

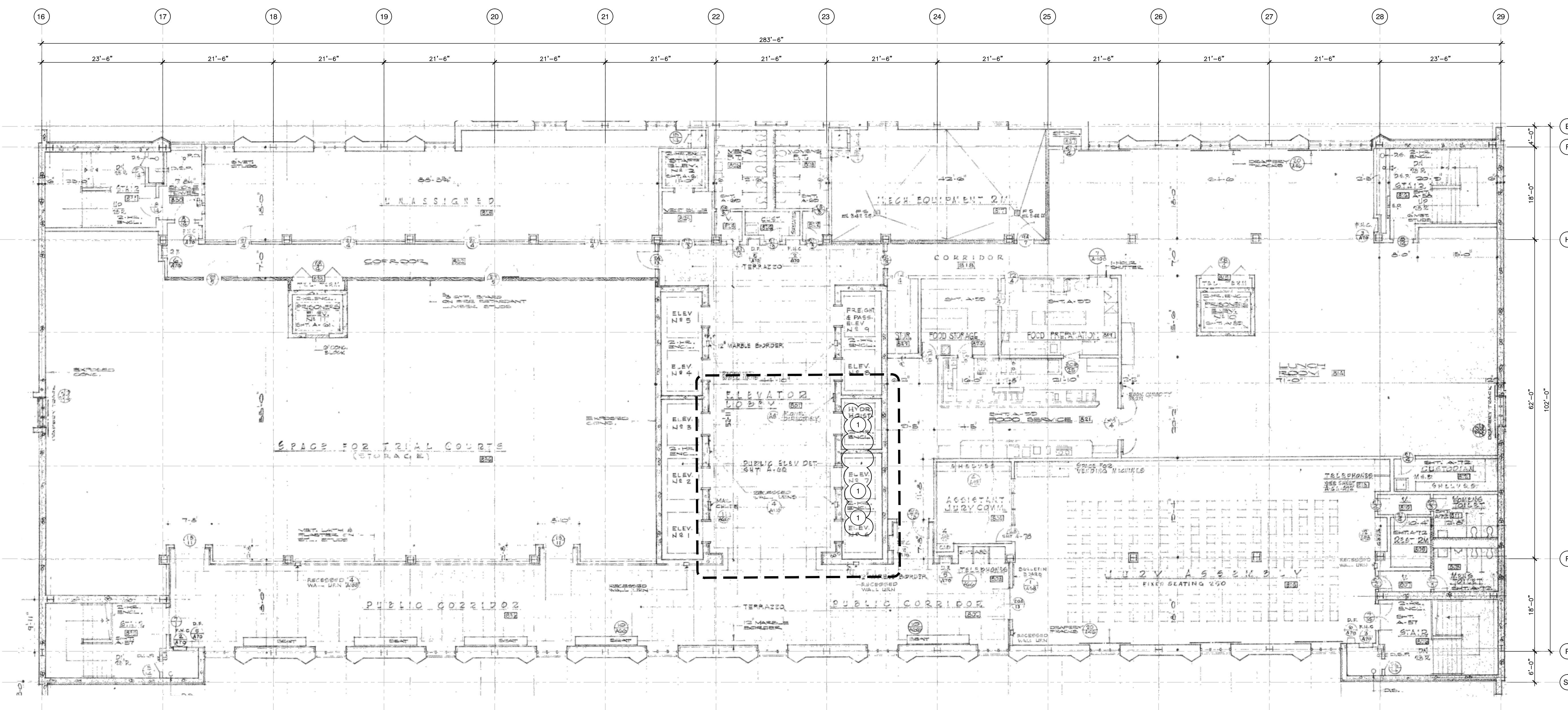
2015-051
DRAWN: JY
DATE: 04-2016

A-2.2

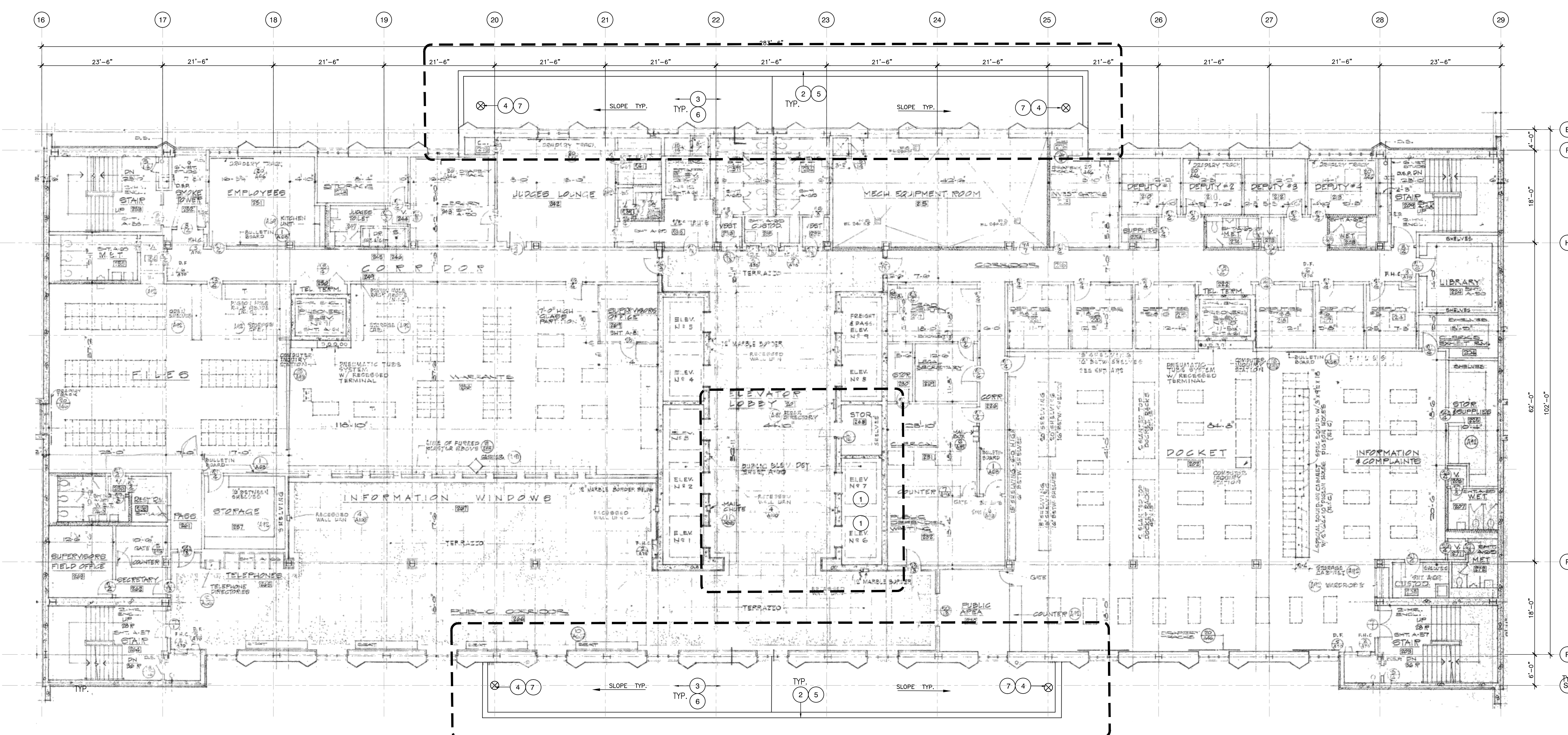


1/8" = 1'-0"

EXISTING FIRST FLOOR PLAN 1



EXISTING EIGHTH FLOOR PLAN	2
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EXISTING SECOND FLOOR PLAN - PARTIAL DEMO / NEW WORK	1
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KEYNOTES

1. SERVICE ELEVATOR DEDICTED FOR CONSTRUCTION, CONTRACTOR AND ALL WORKERS ARE NOT ALLOWED TO ACCESS ANY FLOORS EXCEPT WHERE DESIGNATED.
2. EXISTING SHEET METAL COPING TO BE REMOVED IN ITS ENTIRETY, TYPICAL
3. REMOVE IN ITS ENTIRETY THE EXISTING GRAVEL SURFACE HOT ASPHALT APPLIED EQUAL OR GREATER THAN ITS ENTIRETY. GRIND EXCESS ASPHALT BASE MATERIAL FROM THE EXISTING CONCRETE ROOF SUBSTRATE. REMOVE (E) INSULATION CONCRETE WITH RIGID INSULATION WHERE IT IS DAMAGED BY WATER. PROVIDE ALLOWANCE FOR 15 CUBIC YARDS OF REMOVAL.
4. REMOVE ALL EXISTING DRAINS AND SCREENS IN THERE ENTIRETY, ROTO-ROOTER DRAIN LINE AND SCOPE EACH DRAIN LINE, ESPECIALLY THE FIRST ELBOW.
5. NEW CLAD METAL FLASHING PER ROOF MANUFACTURERS AS DETAILED AND PER ROOF MANUFACTURER'S SPECIFICATIONS TYPICAL
6. NEW FELT BACKED 80 MIL THERMOPLASTIC PVC MEMBRANE ROOF MATERIAL OVER NEW 1/2 INCH DENSE DECK APPLIED OVER EXISTING NEW 1/2 INCH DENSE DECK. REMOVE (E) INSULATING CONCRETE AND INSTALL NEW PER SPECIFICATIONS WHERE EXISTING IS WATER DAMAGED (LOCATIONS TO BE DETERMINED IN FIELD). PROVIDE ALLOWANCE FOR 15 CUBIC YARDS OF REMOVAL OF AND INSTALLATION OF (N) INSULATING CONCRETE.
7. NEW DRAINS, SCREENS AS DETAILED AND PER SPECIFICATIONS (AS REQUIRED)

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FOR
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*by Bill Rodgers at 10:34 am,
Oct 18, 2016*
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50% SUBMITTAL	04-29-2016
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DC | ARCHITECTS

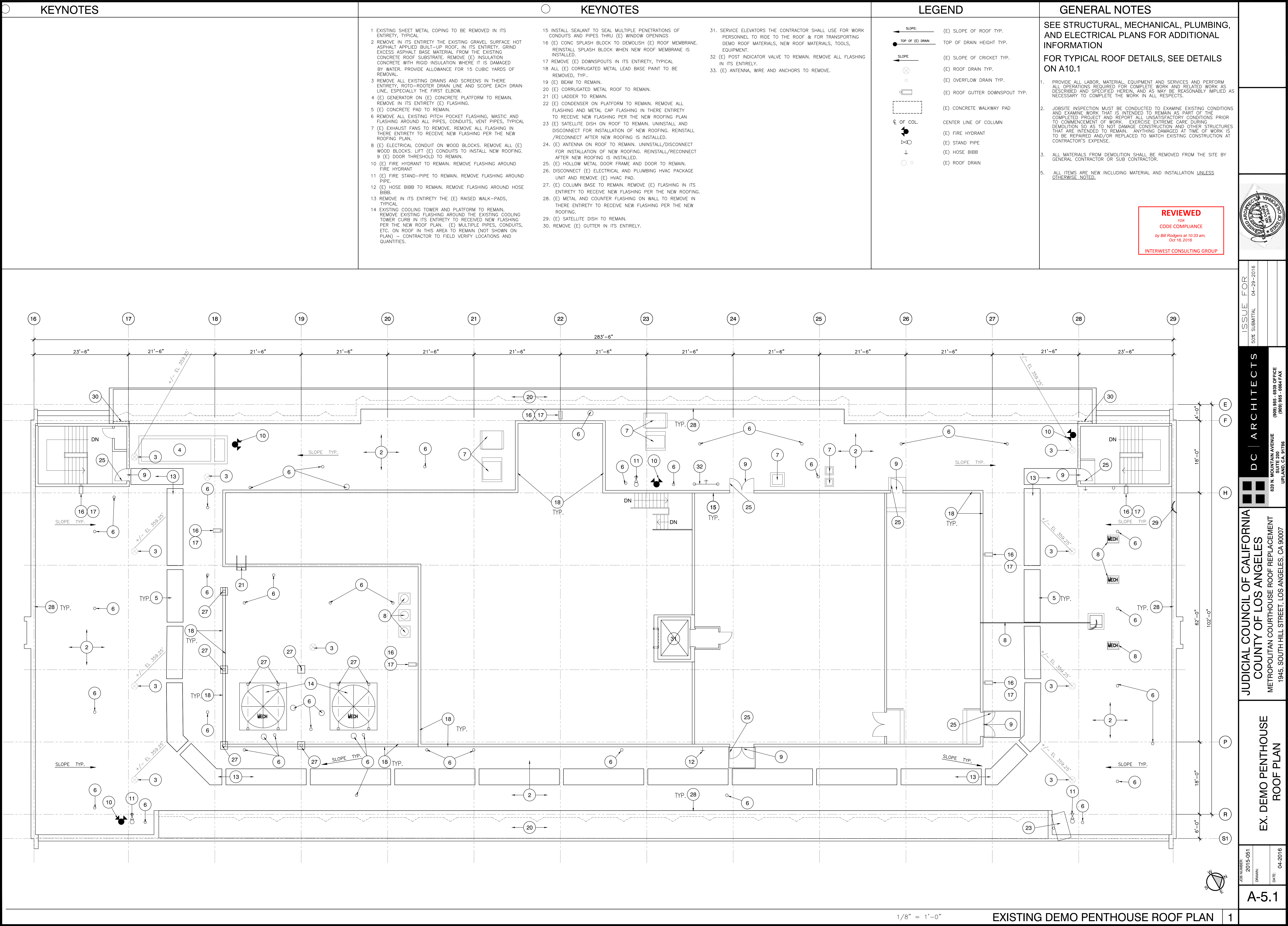
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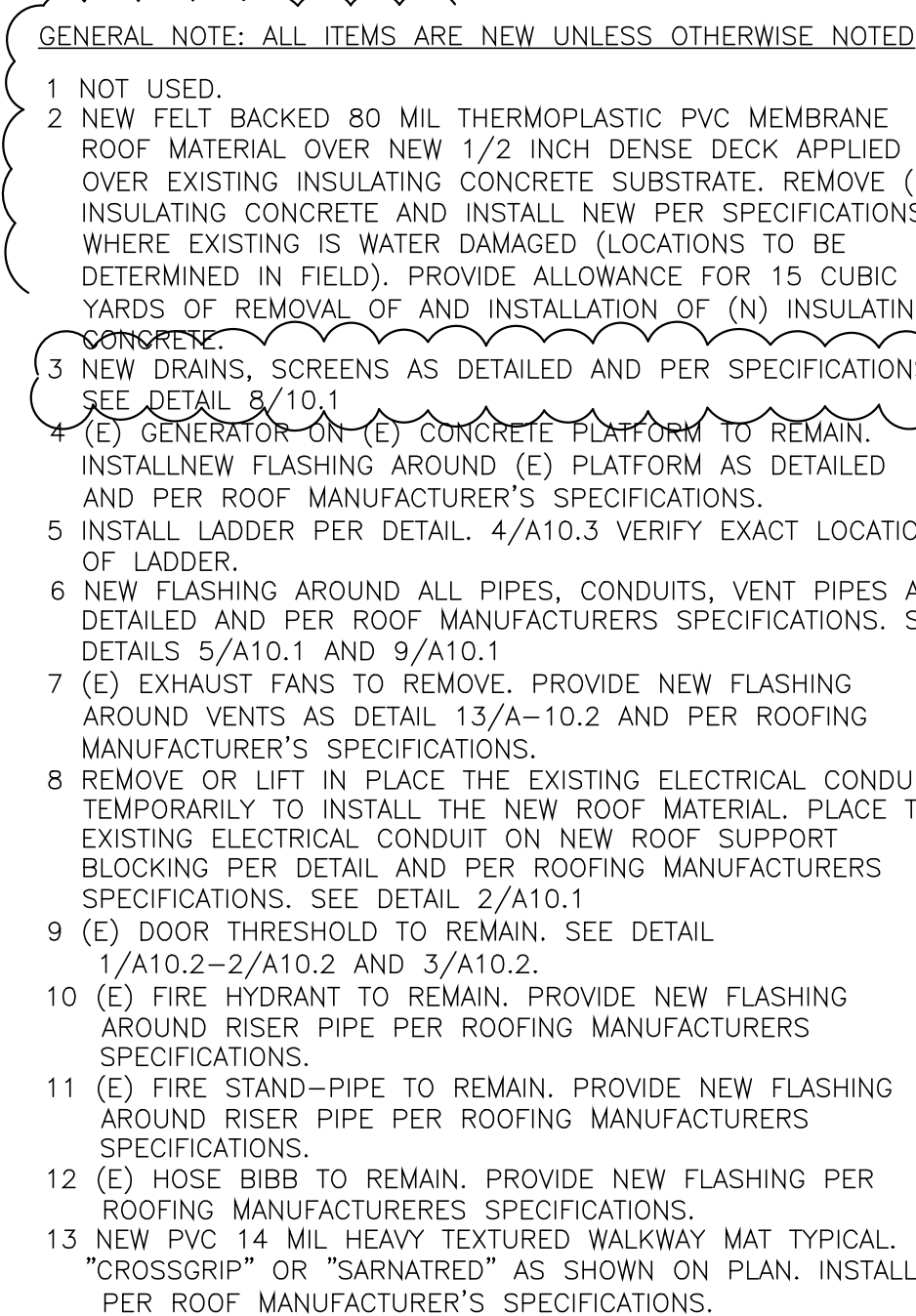
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1945, SOUTH HILL STREET, LOS ANGELES, CA 90007

(E) SECOND FLOOR PLAN
(E) SEVENTH FLOOR PLAN
PARTIAL DEMO / NEW WORK

2015-051
DRAWN:
DATE: 04-2016

A-2.3

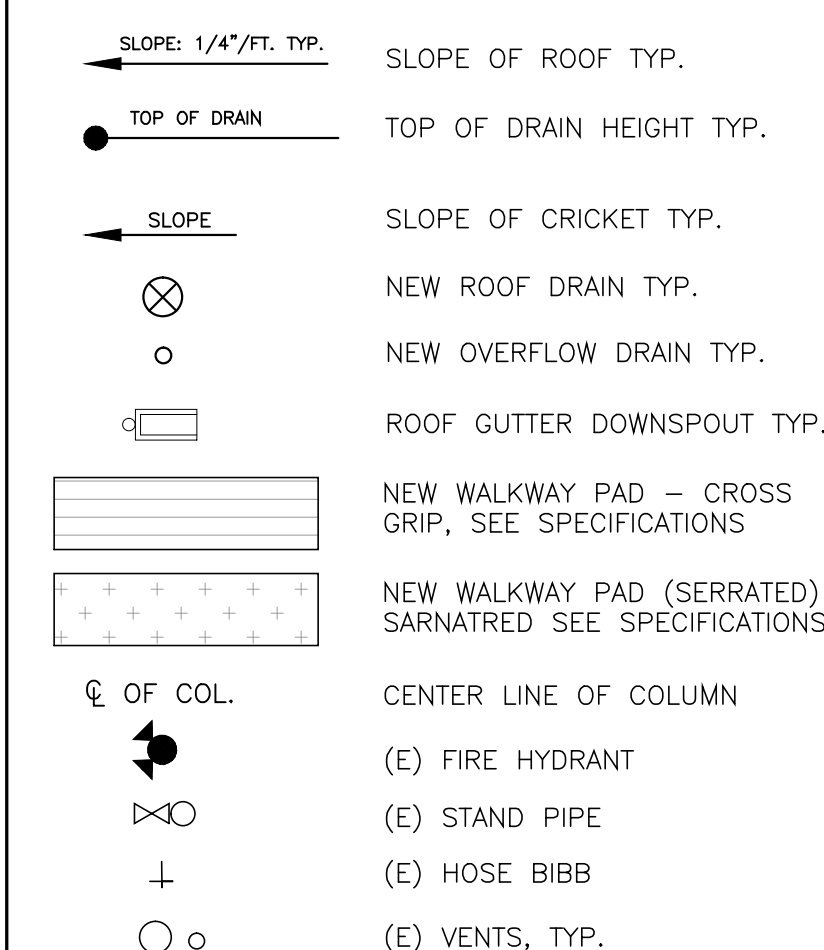




KEYNOTES

14. EXISTING COOLING TOWER AND PLATFORM TO REMAIN. INSTALL NEW FLASHING AROUND EXISTING PLATFORM AS DETAILED AND PER ROOF MANUFACTURERS' SPECIFICATIONS.
15. INSTALL SEALANT TO SEAL MOUNTING BRACKETS, JOINTS OF CONDUITS AND PIPES THRU (E) WINDOW OPENINGS PER SPECIFICATIONS. CONTRACTOR FIELD VERIFY QUANTITIES.
16. CONCRETE FLASH BLOCK TO REMAIN - UNINSTALL FOR ROOF DEMOLITION AND REINSTALL AFTER NEW ROOFING INSTALLED PER PVC 14 MIL HEAVY TEXTURED WALKWAY MAT.
17. NEW GALVANIZED DOWNSPOUTS, MIN. 20 GA. ATTACHED TO EXISTING WALL USING SAE METHOD OF ATTACHMENT AS THE EXISTING DOWNSPOUT ATTACHMENT.
18. REPAIR (E) CORRUGATED METAL SIDING, MINIMUM 2 COATS, 1/2" NOT USED.
19. NEW PVC MEMBRANE AROUND 1/2" INCH DENS DECK ANCHORED TO (E) CORRUGATED METAL ROOF, TYP.
20. (E) LAJOY TO REMAIN ADD NEW PROTECTION CAGE SEE DETAIL 1/A10.3
21. NOT USED.
22. (E) SATELLITE DISH AND PAN TO BE LIFTED IN PLACE TEMPORARILY TO INSTALL A NEW ROOF MEMBRANE AND NEW WALK TREAD. REINSTALL THE (E) SATELLITE DISH AND PAN ONTO THE NEW WALK TREAD MATERIAL. SEE DETAIL 4/A10.1
23. NOT USED.
24. (E) HOLLOW METAL FRAMES AND HOLLOW METAL DOOR TO BE SANDED, PRIMED AND REPAINTED MINIMUM 2 COATS. REMOVE DOOR HARDWARE TO SAND, REPAIR AND REINSTALL DOOR HARDWARE WHEN PAINTING IS COMPLETED.
25. DISCONNECT ELECTRICAL AND PLUMBING HVAC PACKAGE UNITS AND REMOVE (E) HVAC PAD. REINSTALL AND RECONNECT ELECTRICAL AND PLUMBING ONTO NEW PADS. SEE DETAIL 4/A10.1
26. (E) COLUMN BASE TO REMAIN. INSTALL ROOF FLASHING AROUND PER ROOF MANUFACTURER'S SPECIFICATIONS. SEE DETAIL 16/A10.1 AND 20/A10.1.
28. INSTALL WALL MOUNT SHEET METAL REGLET AND COUNTER FLASHING ON WALL AS DETAILED AND PER ROOF MANUFACTURERS' SPECIFICATIONS. TYPICAL WHERE ROOFING MEETS BUILDING WALLS. SEE DETAIL 17/A10.1.
29. (E) SATELLITE TO REMAIN.
30. RIGID INSULATION RAMP ON 1/2" DENSDECK. SEE DETAILS 2/A10.2 AND 3/A10.2.
31. SERVICE ELEVATORS THE CONTRACTOR SHALL USE FOR WORK.
32. PERSONNEL TO RIDE TO THE ROOF & FOR TRANSPORTING DEMO ROOF MATERIALS, NEW ROOF MATERIALS, TOOLS, EQUIPMENT.
32. (E) POST INDICATOR VALVE TO REMAIN. PROVIDE NEW FLASHING AROUND RISER PIPE ROOFING MANUFACTURERS' SPECIFICATIONS.
33. INSTALL NEW FABRICATED RISER PIPE CRICKET PER ROOF MANUFACTURER'S SPECIFICATIONS. SEE DETAIL 14/A10.2

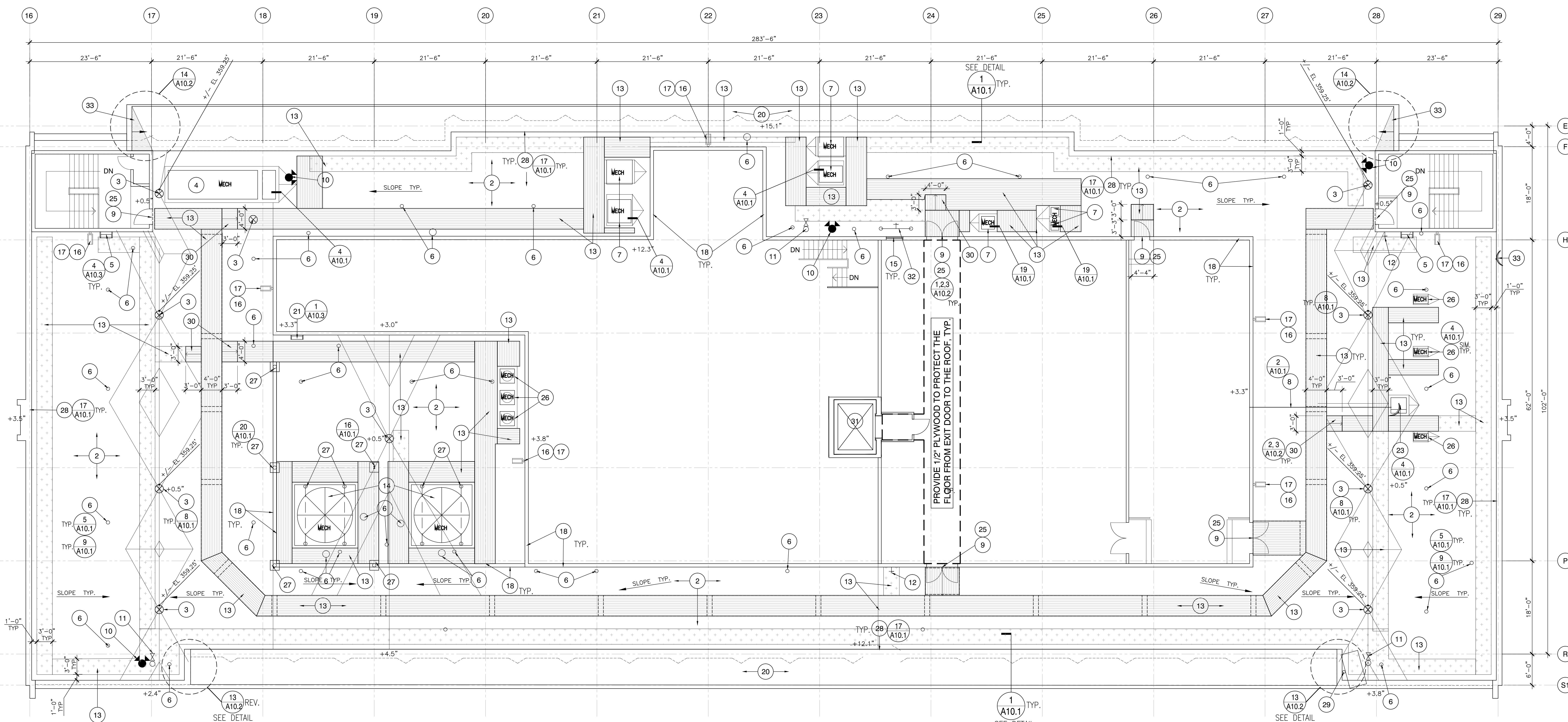
LEGEND



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FOR
CODE COMPLIANCE
*by Bill Rodgers at 10:33 am,
Oct 18, 2016*
INTERWEST CONSULTING GROUP

NOTE: THICKNESS/ELEVATION SHOWN IS FROM TOP OF
(E) CONCRETE ROOF SLAB TYPICAL

NO SCALE	NEW PENTHOUSE ROOF TAPER INSULATION PLAN	2
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$$1/8'' = 1'-0''$$

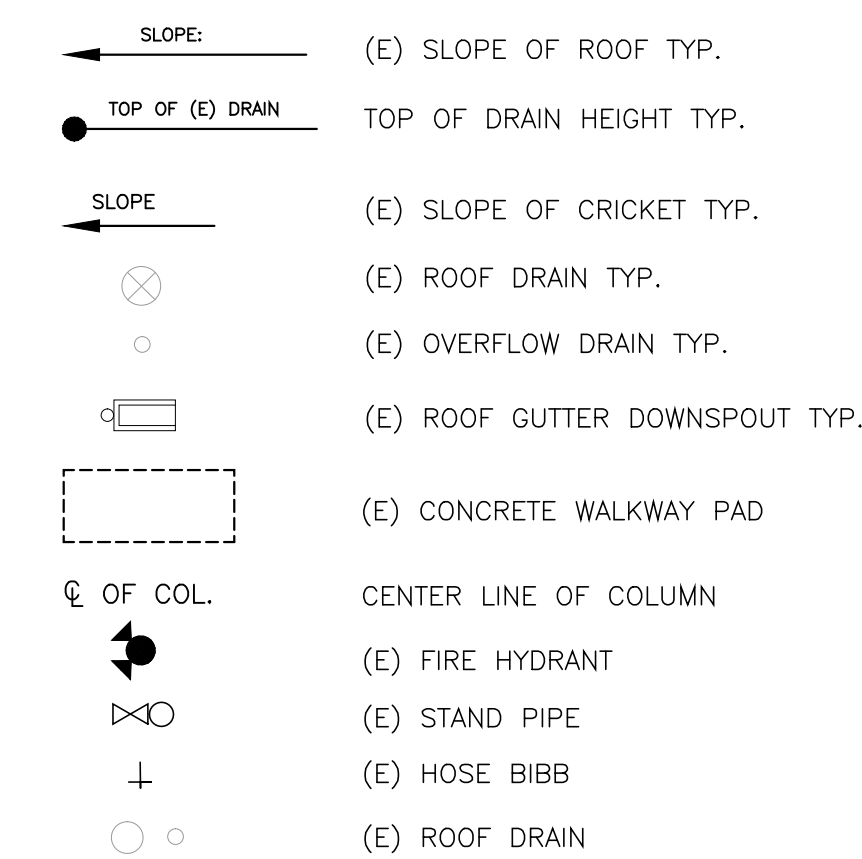
NEW PENTHOUSE ROOF PLAN	1
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○ KEYNOTES

- | | | |
|---|---|---|
| EXISTING SHEET METAL COPING TO BE REMOVED IN ITS ENTIRETY, TYPICAL. | 15. INSTALL SEALANT TO SEAL MULTIPLE PENETRATIONS OF CONDUITS AND PIPES THRU (E) WINDOW OPENINGS. | 31. SERVICE ELEVATORS THE CONTRACTOR SHALL USE FOR WORK PERSONNEL TO RIDE TO THE ROOF & FOR TRANSPORTING DEMO ROOF MATERIALS, NEW ROOF MATERIALS, TOOLS, EQUIPMENT. |
| 2. REMOVE IN ITS ENTIRETY THE EXISTING GRAVEL SURFACE HOT ASPHALT APPLIED BUILT-UP ROOF. IN ITS ENTIRETY GRIND EXCESS ASPHALT BASE MATERIAL FROM THE EXISTING CONCRETE ROOF SUBSTRATE. REMOVE (E) INSULATION CONCRETE WITH RIGID INSULATION WHERE IT IS DAMAGED BY WATER. PROVIDE ALLOWANCE FOR 15 CUBIC YARDS OF REMOVAL. | 16 (E) CONC SPLASH BLOCK TO DEMOLISH (E) ROOF MEMBRANE. REINSTALL SPLASH BLOCK WHEN NEW ROOF MEMBRANE IS INSTALLED. | 32 (E) POST INDICATOR VALVE TO REMAIN. REMOVE ALL FLASHING IN ITS ENTIRETY. |
| 3. REMOVE ALL EXISTING DRAINS AND SCREENS IN THERE ENTIRETY, ROT-O-ROTOR DRAIN LINE AND SCOPE EACH DRAIN LINE, ESPECIALLY THE FIRE SLEW. | 17 REMOVE (E) DOWNSPOUTS IN ITS ENTIRETY, TYPICAL. | 33. |
| 4. (E) GENERATOR ON (E) CONCRETE PLATFORM TO REMAIN. REMOVE IN ITS ENTIRETY (E) FLASHING. | 18 ALL (E) CORRUGATED METAL LEAD BASE PAINT TO BE REMOVED, TYP. | |
| 5 (E) CONCRETE PAD TO REMAIN. | 19 (E) BEAM TO REMAIN. | |
| 6 REMOVE ALL EXISTING PITCH POCKET FLASHING, MASTIC AND FLASHING AROUND ALL PIPES, CONDUITS, VENT PIPES, TYPICAL. | 20 (E) CORRUGATED METAL ROOF TO REMAIN. | |
| 7 (E) VENTS TO REMOVE. REMOVE ALL FLASHING IN THERE ENTIRETY TO RECEIVE NEW FLASHING PER THE NEW ROOFING PLAN. | 21 (E) LADDER TO REMAIN. | |
| 8 (E) ELECTRICAL CONDUIT ON WOOD BLOCKS. REMOVE ALL (E) WOOD BLOCKS. LIFT (E) CONDUITS TO INSTALL NEW ROOFING. (E) DOOR THRESHOLD TO REMAIN. | 22 (E) CONDENSER ON PLATFORM TO REMAIN. REMOVE ALL FLASHING AND METAL CAP FLASHING IN THERE ENTIRETY TO RECEIVE NEW FLASHING PER THE NEW ROOFING PLAN | |
| 9 (E) FIRE HYDRANT TO REMAIN. REMOVE FLASHING AROUND FIRE HYDRANT | 23 (E) SATELLITE DISH ON ROOF TO REMAIN. UNINSTALL AND DISCONNECT FOR INSTALLATION OF NEW ROOFING. REINSTALL /RECONNECT AFTER NEW ROOFING IS INSTALLED. | |
| 11 (E) FIRE STAND-PIPE TO REMAIN. REMOVE FLASHING AROUND PIPE. | 24. (E) ANTENNA ON ROOF TO REMAIN. UNINSTALL/DISCONNECT FOR INSTALLATION OF NEW ROOFING. REINSTALL/RECONNECT AFTER NEW ROOFING IS INSTALLED. | |
| 12 (E) HOSE BIBB TO REMAIN. REMOVE FLASHING AROUND HOSE BIBB. | 25. (E) HOLLOW METAL DOOR FRAME AND DOOR TO REMAIN. | |
| 13 REMOVE IN ITS ENTIRETY THE (E) RAISED WALK-PADS, TYPICAL. | 26. DISCONNECT (E) ELECTRICAL AND PLUMBING HVAC PACKAGE UNIT AND REMOVE (E) HVAC PAD. | |
| 14 EXISTING COOLING TOWER AND PLATFORM TO REMAIN. REMOVE EXISTING FLASHING AROUND THE EXISTING COOLING TOWER CURB IN ITS ENTIRETY TO RECEIVED NEW FLASHING PER THE NEW ROOF PLAN. (E) MULTIPLE PIPES, CONDUITS, ETC. ON ROOF IN THIS AREA TO REMAIN (NOT SHOWN ON PLANS) - CONTRACTOR TO FIELD VERIFY LOCATIONS AND QUANTITIES. | 27. (E) COLUMN BASE TO REMAIN. REMOVE (E) FLASHING IN ITS ENTIRETY TO RECEIVE NEW FLASHING PER THE NEW ROOFING. | |
| | 28. (E) METAL AND COUNTER FLASHING ON WALL TO REMOVE IN THERE ENTIRETY TO RECEIVE NEW FLASHING PER THE NEW ROOFING. | |
| | 29. (E) ANTENNA, WIRE AND ANCHORS TO REMOVE. | |
| | 30. REMOVE (E) GUTTER IN ITS ENTIRETY. | |

LEGEND



GENERAL NOTES

SEE STRUCTURAL, MECHANICAL, PLUMBING,
AND ELECTRICAL PLANS FOR ADDITIONAL
INFORMATION

FOR TYPICAL ROOF DETAILS, SEE DETAILS
ON A10.1

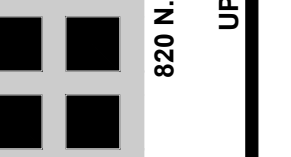
1. PROVIDE ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES AND PERFORM ALL OPERATIONS REQUIRED FOR COMPLETE WORK AND RELATED WORK AS REQUIRED AND SPECIFIED IN WORK AND MATERIALS AND REASONABLY IMPLIED AS NECESSARY TO COMPLETE THE WORK IN ALL RESPECTS.
2. JOBSITE INSPECTION MUST BE CONDUCTED TO EXAMINE EXISTING CONDITIONS AND EXAMINE WORK THAT IS INTENDED TO REMAIN AS PART OF THE COMPLETED PROJECT AND REPORT ALL UNSATISFACTORY CONDITIONS PRIOR TO COMMENCEMENT OF WORK. EXERCISE EXTREME CARE DURING DEMOLITION SO AS TO NOT DAMAGE EXISTING CONSTRUCTION AND OTHER STRUCTURES THAT ARE INTENDED TO REMAIN. ANYTHING DAMAGED AT TIME OF WORK IS TO BE REPAIRED AND/OR REPLACED TO MATCH EXISTING CONSTRUCTION AT CONTRACTOR'S EXPENSE.
3. ALL MATERIALS FROM DEMOLITION SHALL BE REMOVED FROM THE SITE BY GENERAL CONTRACTOR OR SUB CONTRACTOR.
5. ALL ITEMS ARE NEW INCLUDING MATERIAL AND INSTALLATION UNLESS OTHERWISE NOTED.

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FOR
CODE COMPLIANCE
*by Bill Rodgers at 10:33 am,
Oct 18, 2016*
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50% SUBMITTAL	04-29-2016
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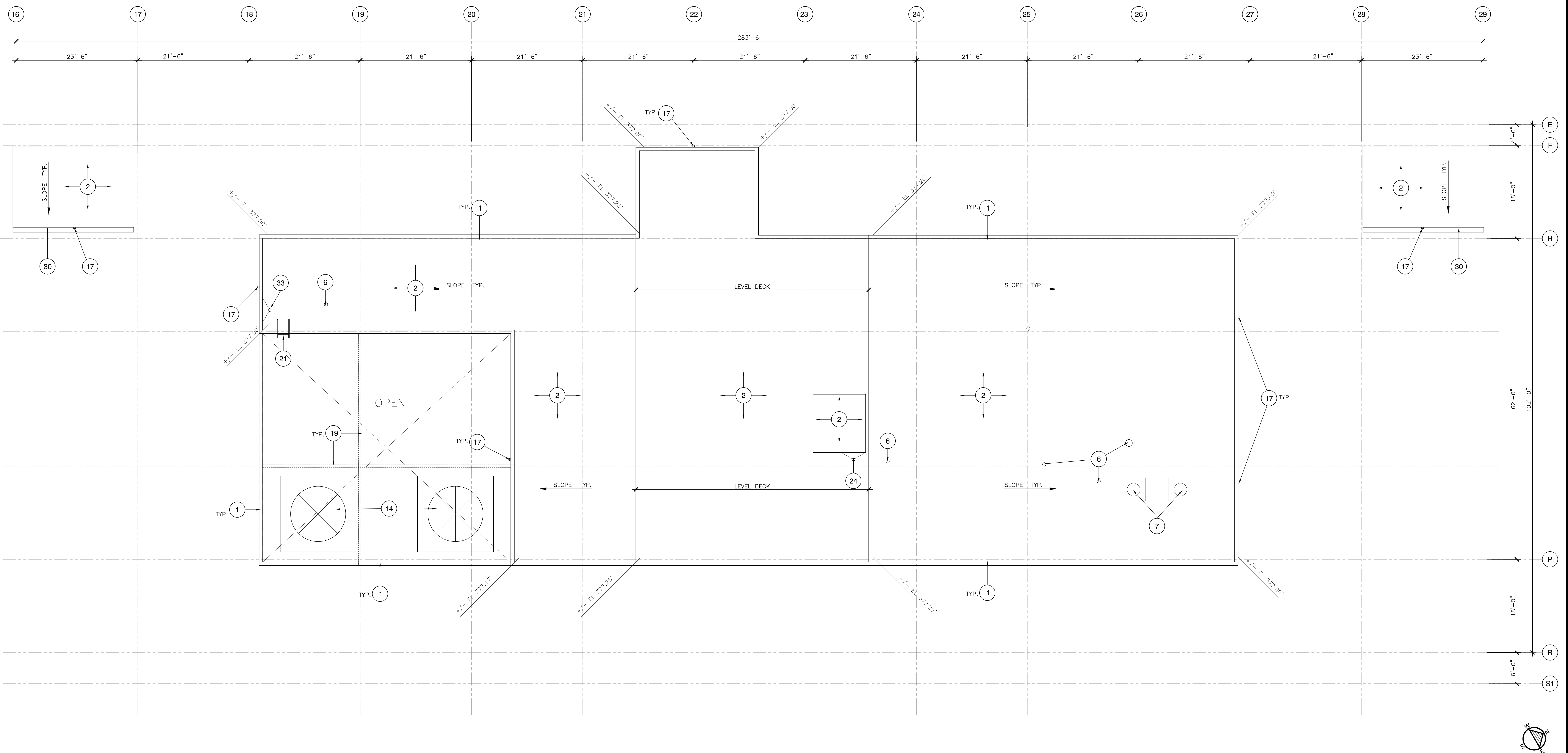


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1945, SOUTH HILL STREET, LOS ANGELES, CA 90007

(E) DEMO TOP ROOF PLAN

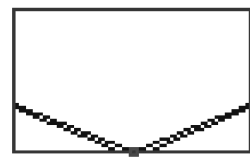
2015-051	DRAWN:	DATE:	04-2016
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A-5.3


$$1/8'' = 1'-0''$$

EXISTING DEMO TOP ROOF PLAN

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+2.5"

+4.4"

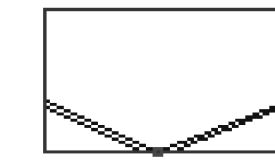
+11.0"

+3.1"

+0.5"

+3.4"

+2.5"



+9.2"

+12.1"

+13.5"

+0.5"

+4.3"

+0.5"

NOTE: THICKNESS/ELEVATION SHOWN IS FROM TOP OF
(E) CONCRETE ROOF SLAB TYPICAL

NO SCALE

NEW TOP ROOF TAPER INSULATION PLAN

2

GENERAL NOTE: ALL ITEMS ARE NEW UNLESS OTHERWISE NOTED

- 1 NEW CLAD METAL FLASHING PER ROOF MANUFACTURERS AS
DETAILED 3/A10.1 AND PER ROOF MANUFACTURER'S
SPECIFICATIONS TYPICAL.
- 2 NEW FELT BACKED 80 MIL THERMOPLASTIC PVC MEMBRANE
ROOF MATERIAL OVER NEW 1/2 INCH DENSE DECK APPLIED
OVER EXISTING INSULATING CONCRETE SUBSTRATE. REMOVE (E)
INSULATING CONCRETE AND INSTALL NEW PER SPECIFICATIONS
WHERE EXISTING IS WATER DAMAGED (LOCATIONS TO BE
DETERMINED IN FIELD). PROVIDE ALLOWANCE FOR 15 CUBIC
YARDS OF REMOVAL OF AND INSTALLATION OF (N) INSULATING
CONCRETE.
- 3 NOT USED.
- 4 NOT USED.
- 5 NOT USED.
- 6 NEW FLASHING AROUND ALL PIPES, CONDUITS, VENT PIPES AS
DETAILED AND PER ROOF MANUFACTURERS SPECIFICATIONS. SEE
DETAILS 9/10.1 AND 9/10.1
- 7 (E) VENTS TO REMOVE. PROVIDE NEW FLASHING AROUND VENTS
AS DETAILED AND PER ROOFING MANUFACTURER'S
SPECIFICATIONS.
- 8 NOT USED.
- 9 NOT USED.
- 10 NOT USED.
- 11 NOT USED.
- 12 NOT USED.
- 13 NEW PVC 14 MIL HEAVY TEXTURED WALKWAY MAT TYPICAL.
"CROSSGRIP" OR "SARNATRED" AS SHOWN ON PLAN. INSTALL
PER ROOF MANUFACTURER'S SPECIFICATIONS.

- 14 EXISTING COOLING TOWER AND PLATFORM TO REMAIN. INSTALL
NEW FLASHING AROUND EXISTING PLATFORM AS DETAILED AND
PER ROOF MANUFACTURERS SPECIFICATIONS.
- 15 NOT USED.
- 16 NOT USED.
- 17 NEW GALVANIZED DOWNSPOUTS, MIN. 20 GA. ATTACHED TO
EXISTING WALL USING THE SAME METHOD OF ATTACHMENT
AS THE EXISTING DOWNSPOUT ATTACHMENT.
- 18 NOT USED.
- 19 SAND AND REPAINT (E) BEAM MINIMUM 2 COATS..
- 20 NOT USED.
- 21 INSTALL LADDER PER DETAIL. VERIFY EXACT LOCATION OF
LADDER. SEE DETAIL 1/A10.3
- 22 NOT USED.
- 23 NOT USED.
- 24 (E) ANTENNA TO BE LIFTED IN PLACE TEMPORARILY TO
INSTALL A NEW ROOF MEMBRANE AND NEW WALK TREAD.
REINSTALL THE (E) ANTENNA ONTO THE NEW WALK TREAD
MATERIAL.
- 25 NOT USED.
- 26 NOT USED.

- 27 NOT USE.
- 28 NOT USED.
- 29 NOT USED.
- 30 NOT USED.
- 31 SERVICE ELEVATORS THE CONTRACTOR SHALL USE FOR WORK
PERSONNEL TO RIDE TO THE ROOF & FOR TRANSPORTING
DEMO ROOF MATERIALS, NEW ROOF MATERIALS, TOOLS,
EQUIPMENT.
32. ANCHORS TO ROOF, TYP. SEE DETAIL 10/A10.2

LEGEND

SLOPE: 1/4"/FT. TYP.

TOP OF DRAIN

SLOPE

NEW ROOF DRAIN TYP.

NEW OVERFLOW DRAIN TYP.

ROOF GUTTER DOWNSPOUT TYP.

NEW WALKWAY PAD - CROSS
GRIP, SEE SPECIFICATIONS

NEW WALKWAY PAD (SERRATED) -
SARNATRED SEE SPECIFICATIONS

CENTER LINE OF COLUMN

(E) FIRE HYDRANT

(E) STAND PIPE

(E) HOSE BIBB

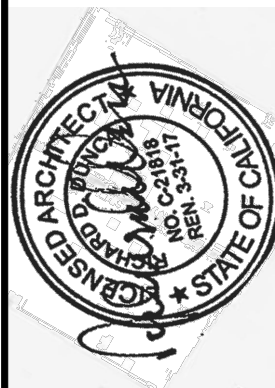
(E) VENTS, TYP.

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1945 SOUTH HILL STREET, LOS ANGELES, CA 90007

NEW TOP ROOF PLAN

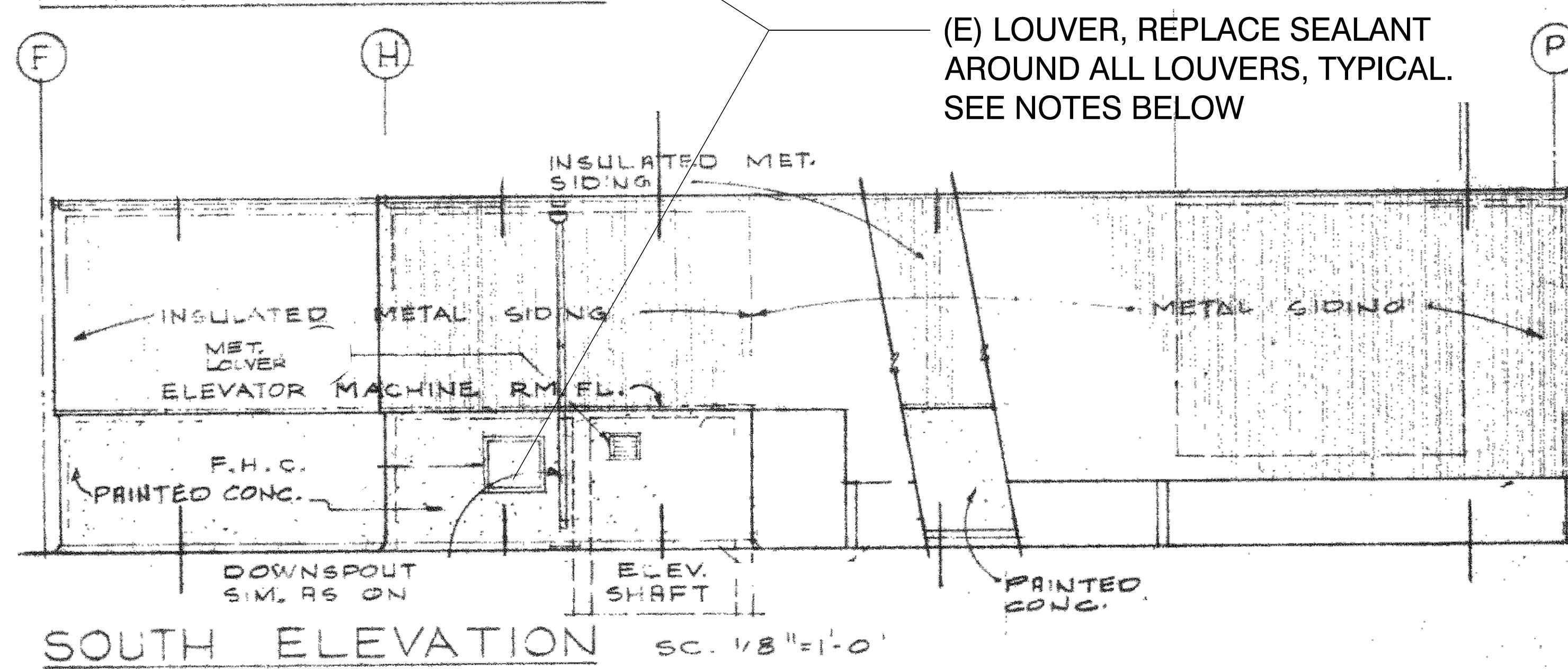
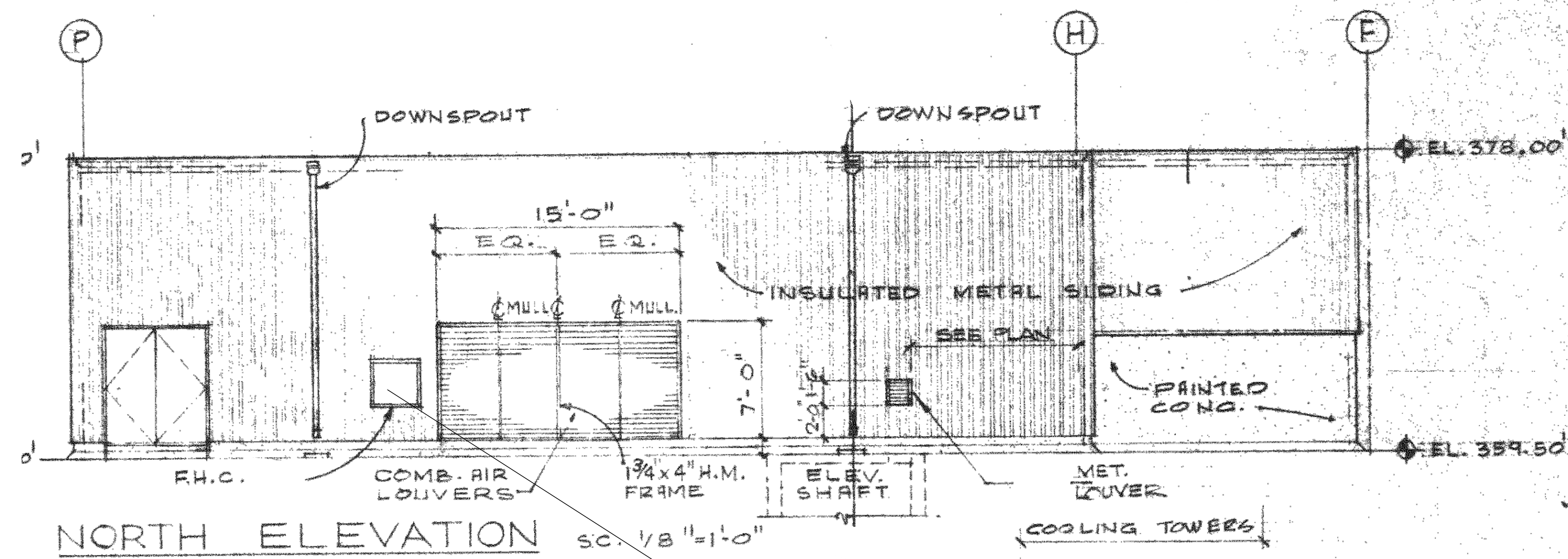
2015-051
DRAWN
DATE: 04-2016

A-5.4

1/8" = 1'-0"

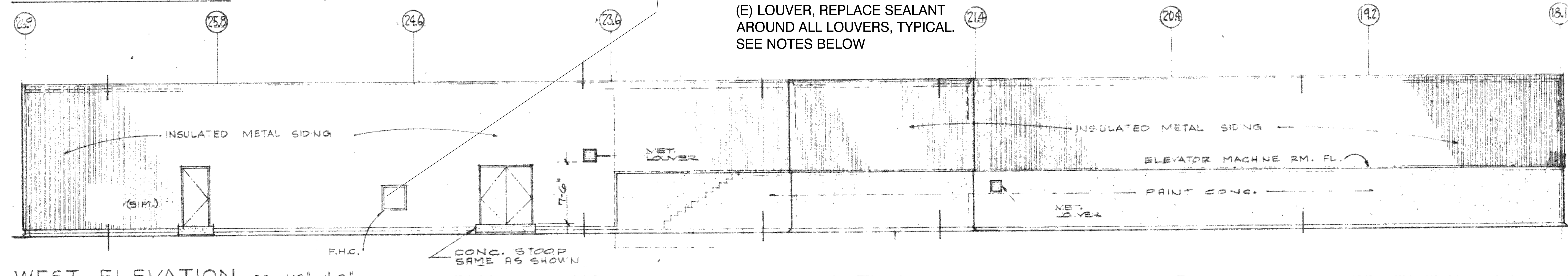
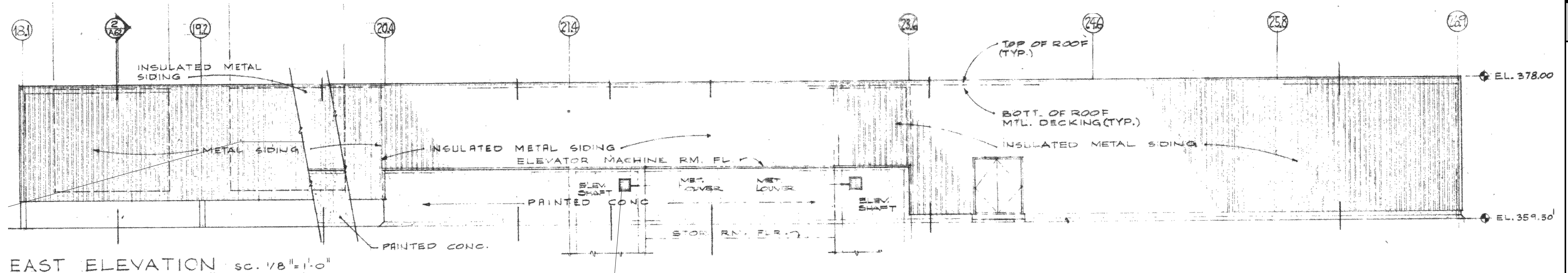
NEW TOP ROOF PLAN

1



NOTE: CONTRACTOR SHALL REMOVE ALL (E) SEALANT AND BACKER ROD AROUND ALL (E) LOUVERS AS SHOWN ON THE ELEVATIONS, AND INSTALL (N) SEALANT AND BACKER ROD PER SPECIFICATIONS. WHERE NOT SHOWN OR INDICATED, THE CONTRACTOR SHALL REMOVE ALL CAULKING / SEALANT AROUND ALL PIPES, DUCTS, WALL HUNG HVAC UNITS, ALL PENETRATIONS THROUGH THE EXISTING WALLS AND REPLACE WITH NEW BACKER RODS (WHERE APPLICABLE) AND SEALANT TYPICAL.

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(E) LOUVER, REPLACE SEALANT AROUND ALL LOUVERS, TYPICAL. SEE NOTES BELOW



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820 N. MOUNTAIN AVENUE
SUITE 200
UPLAND, CA 91786
(909) 985-6839 OFFICE
(909) 985-0864 FAX

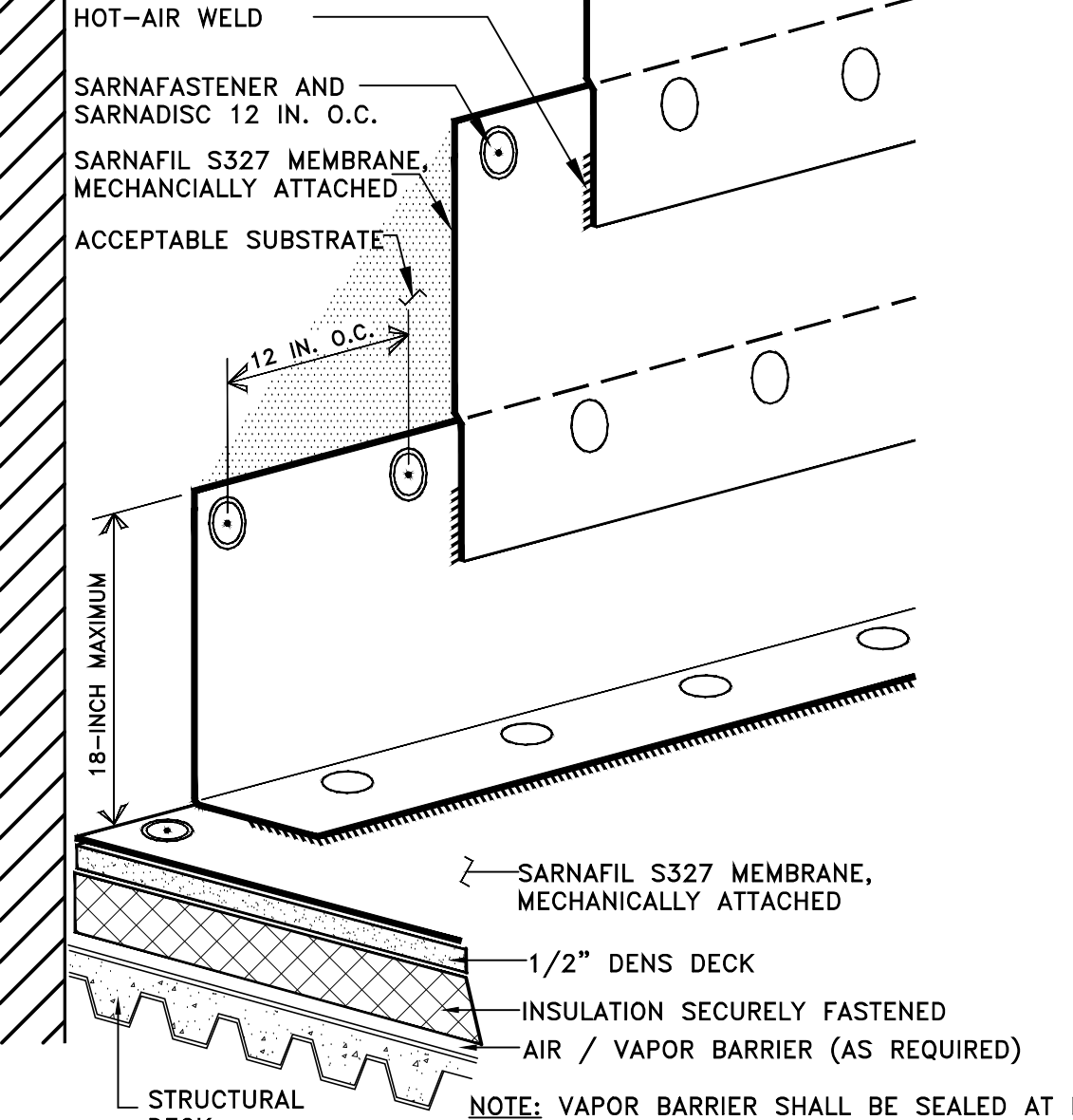
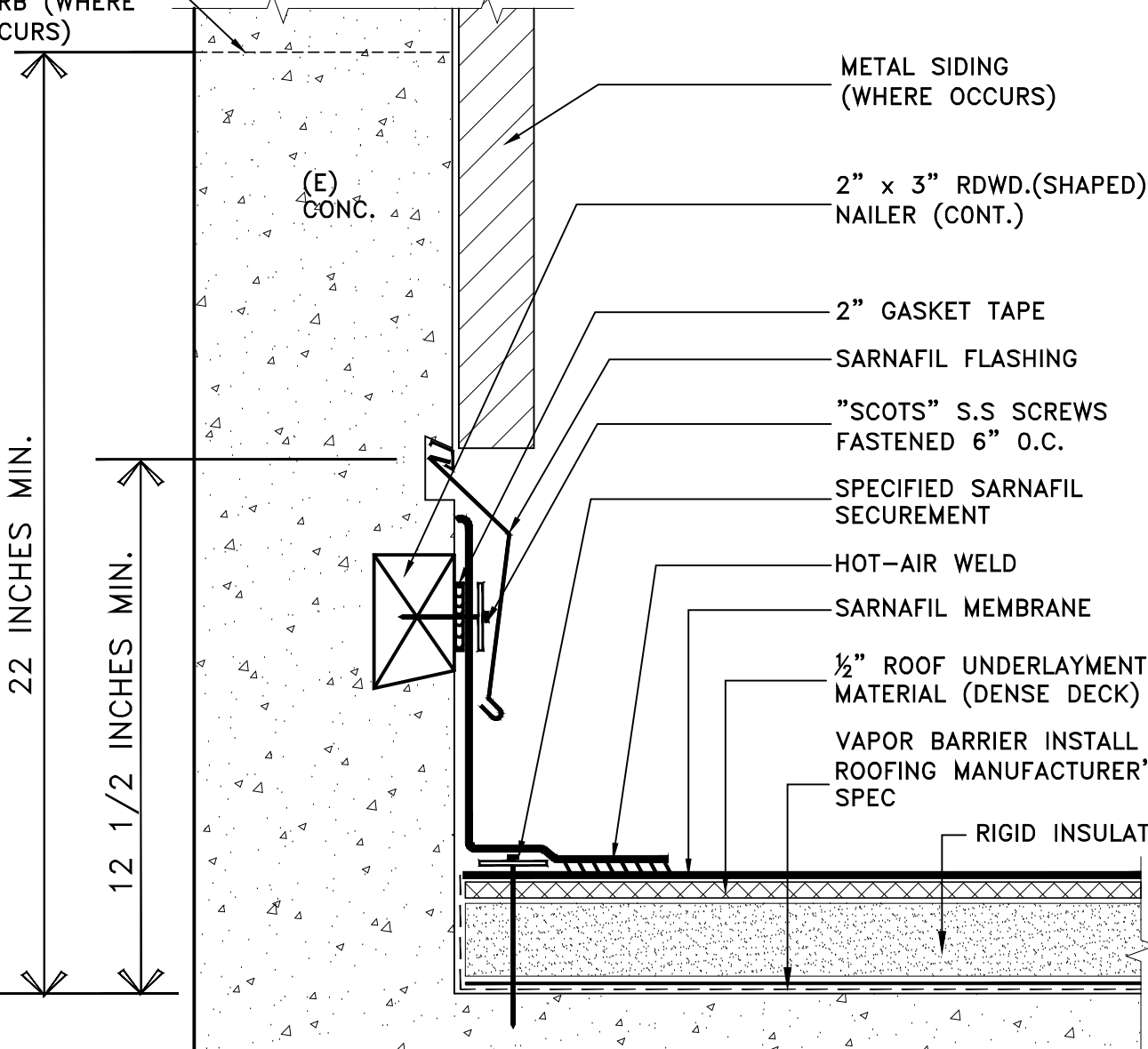
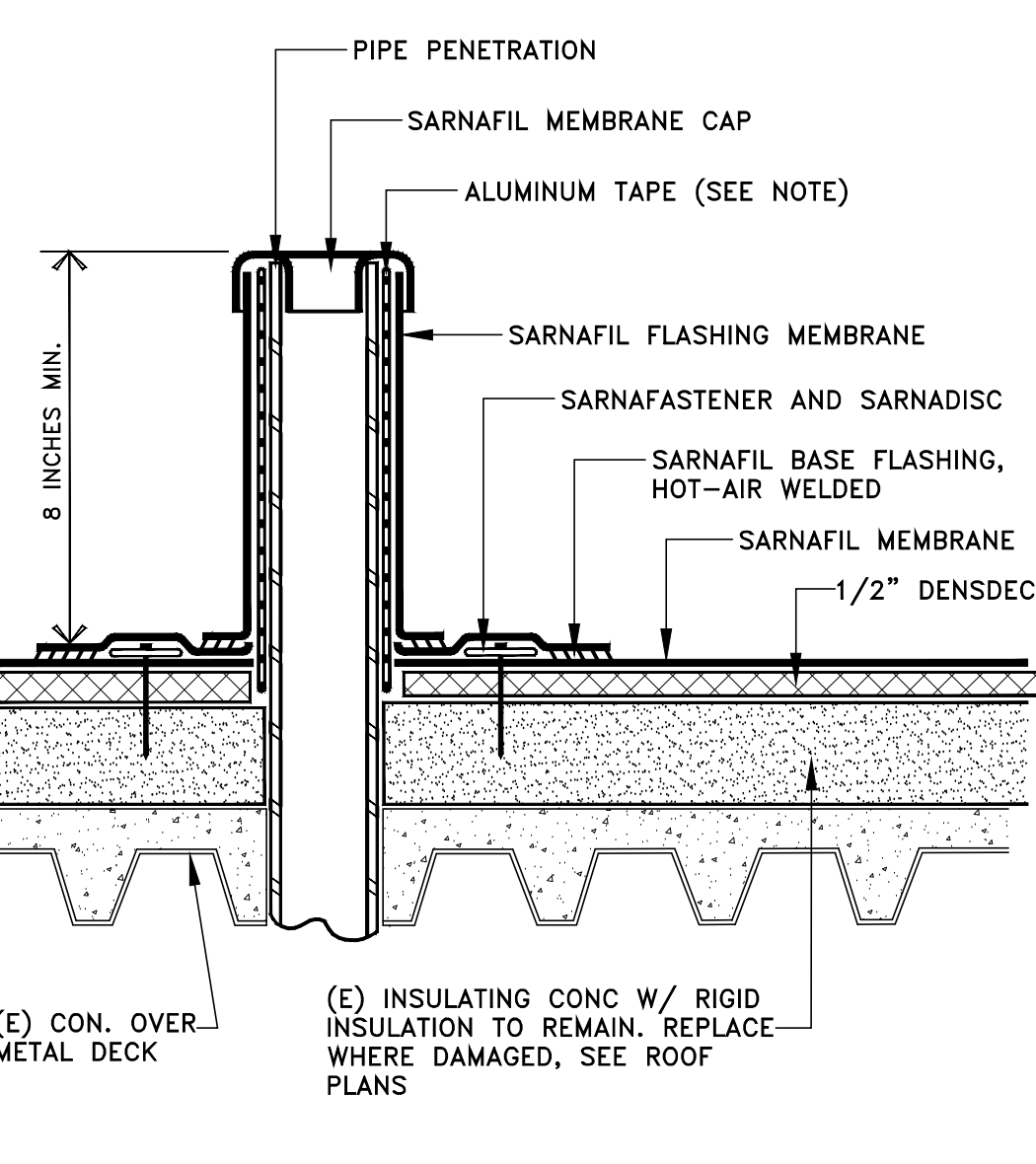
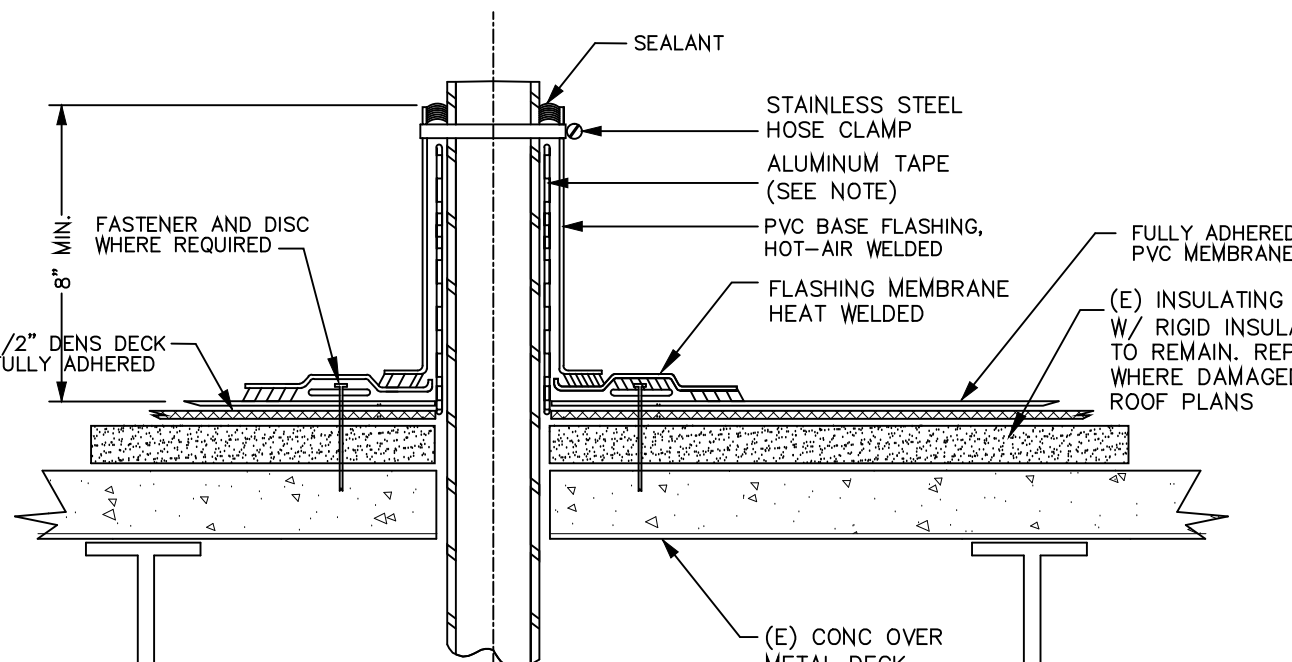
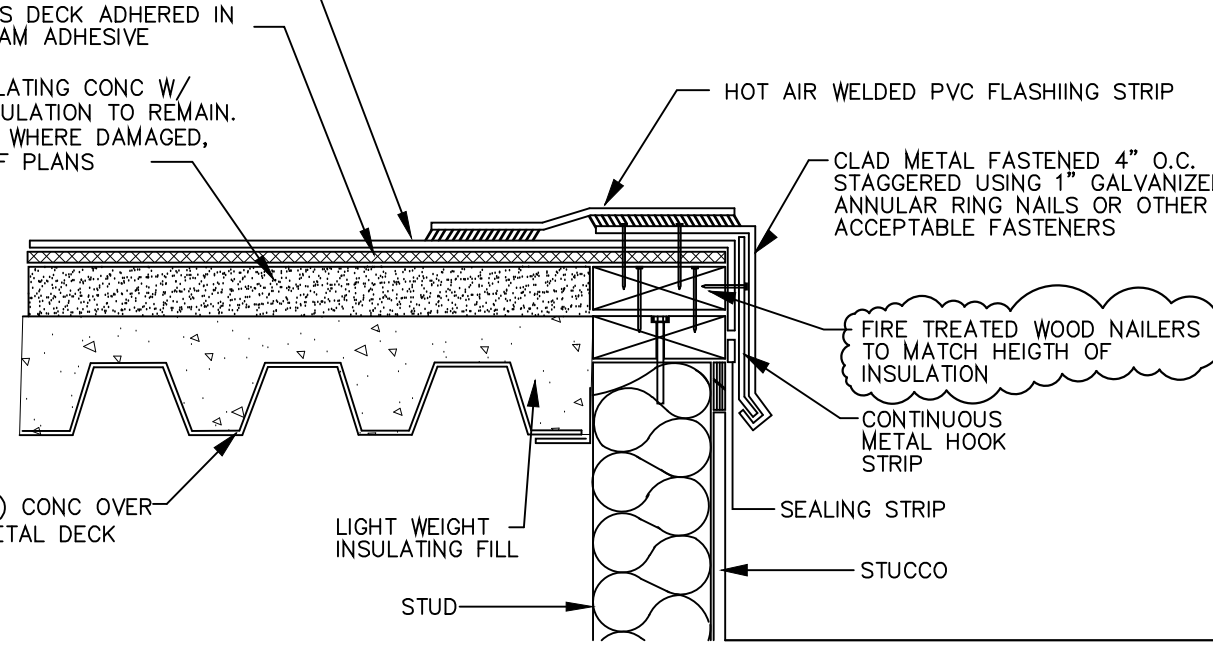
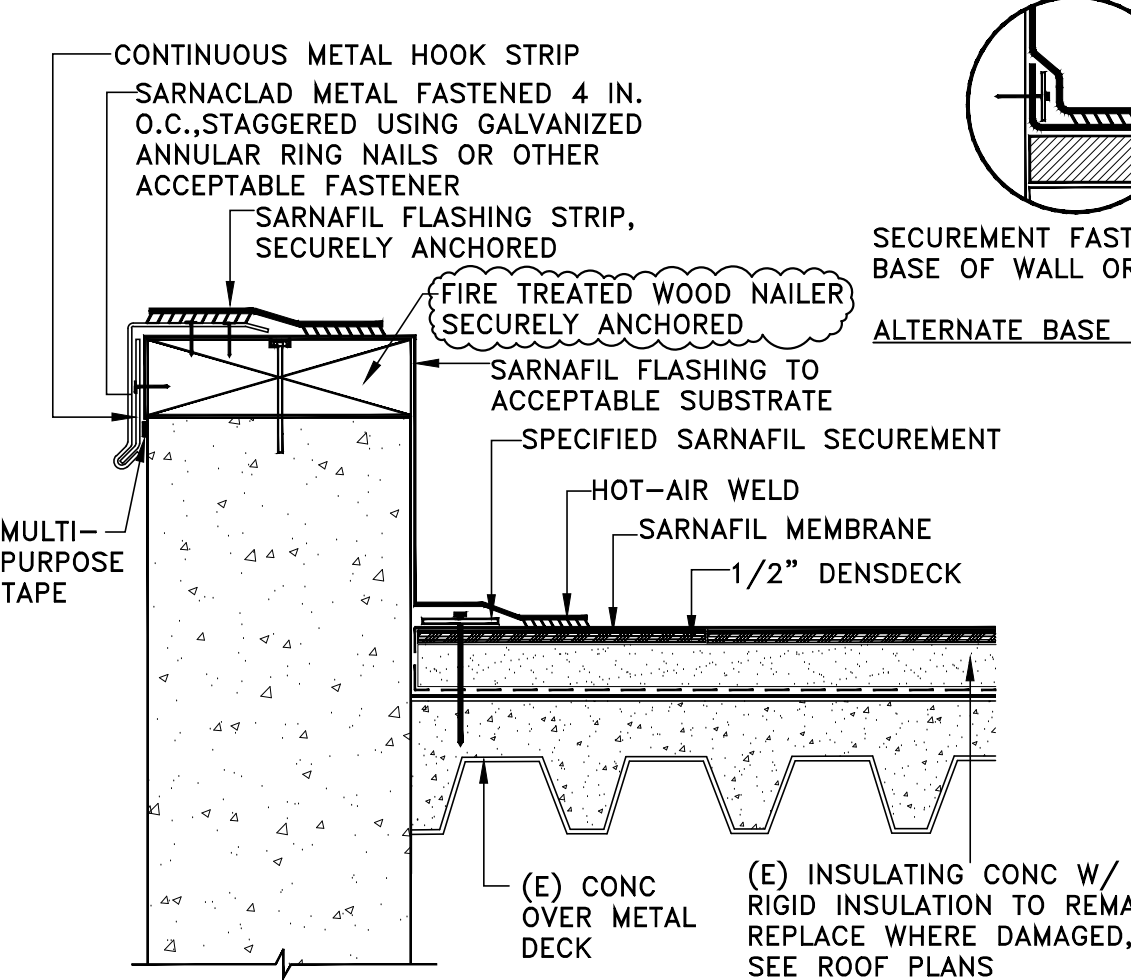
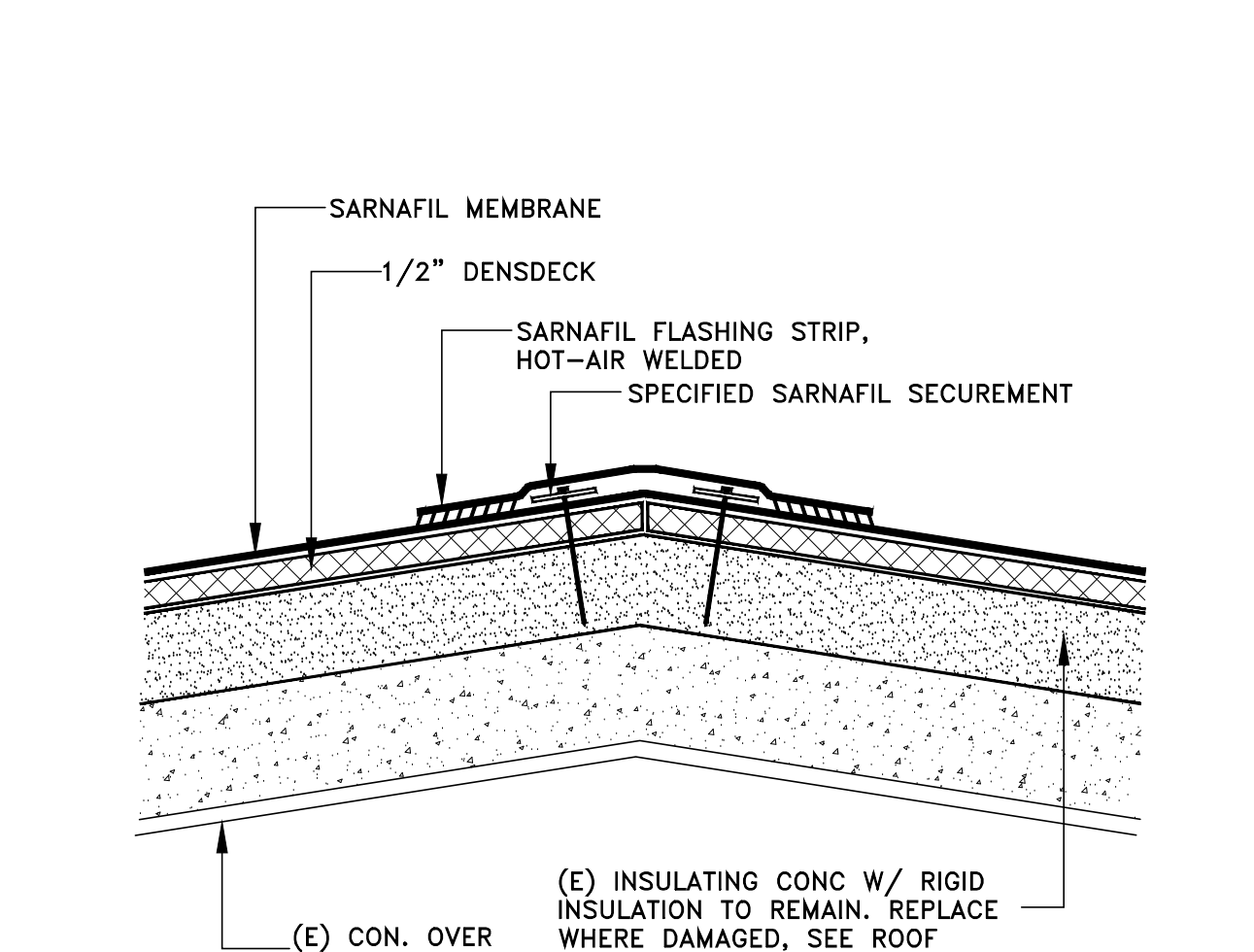
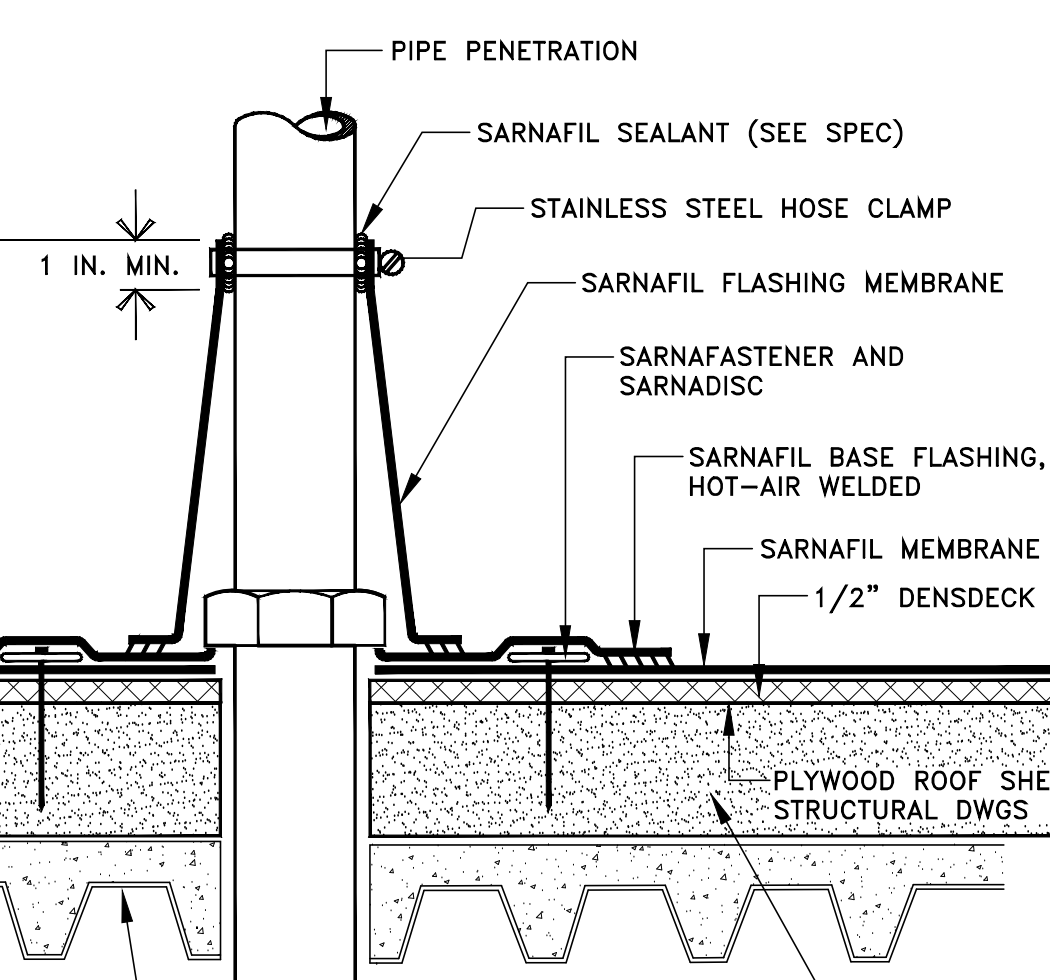
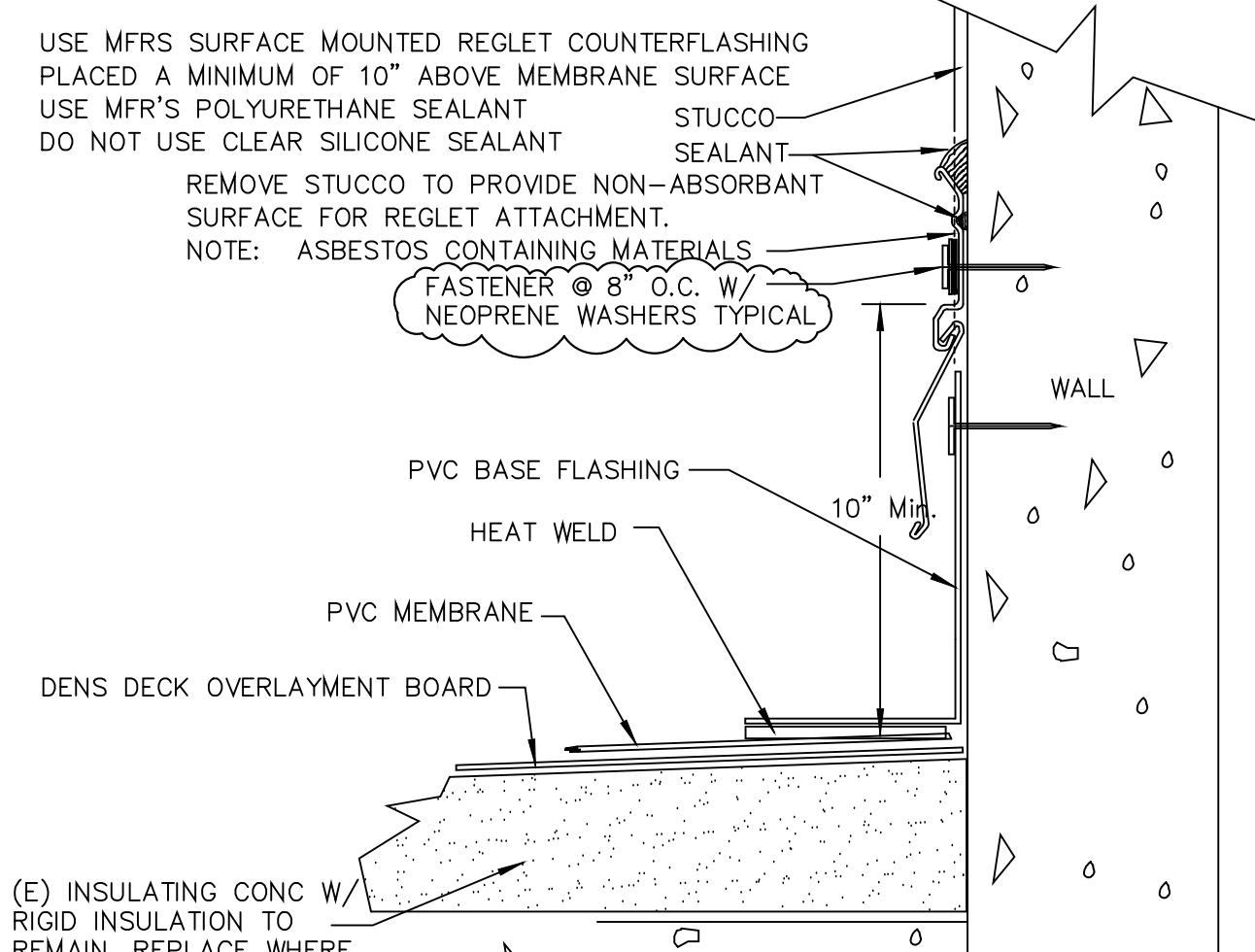
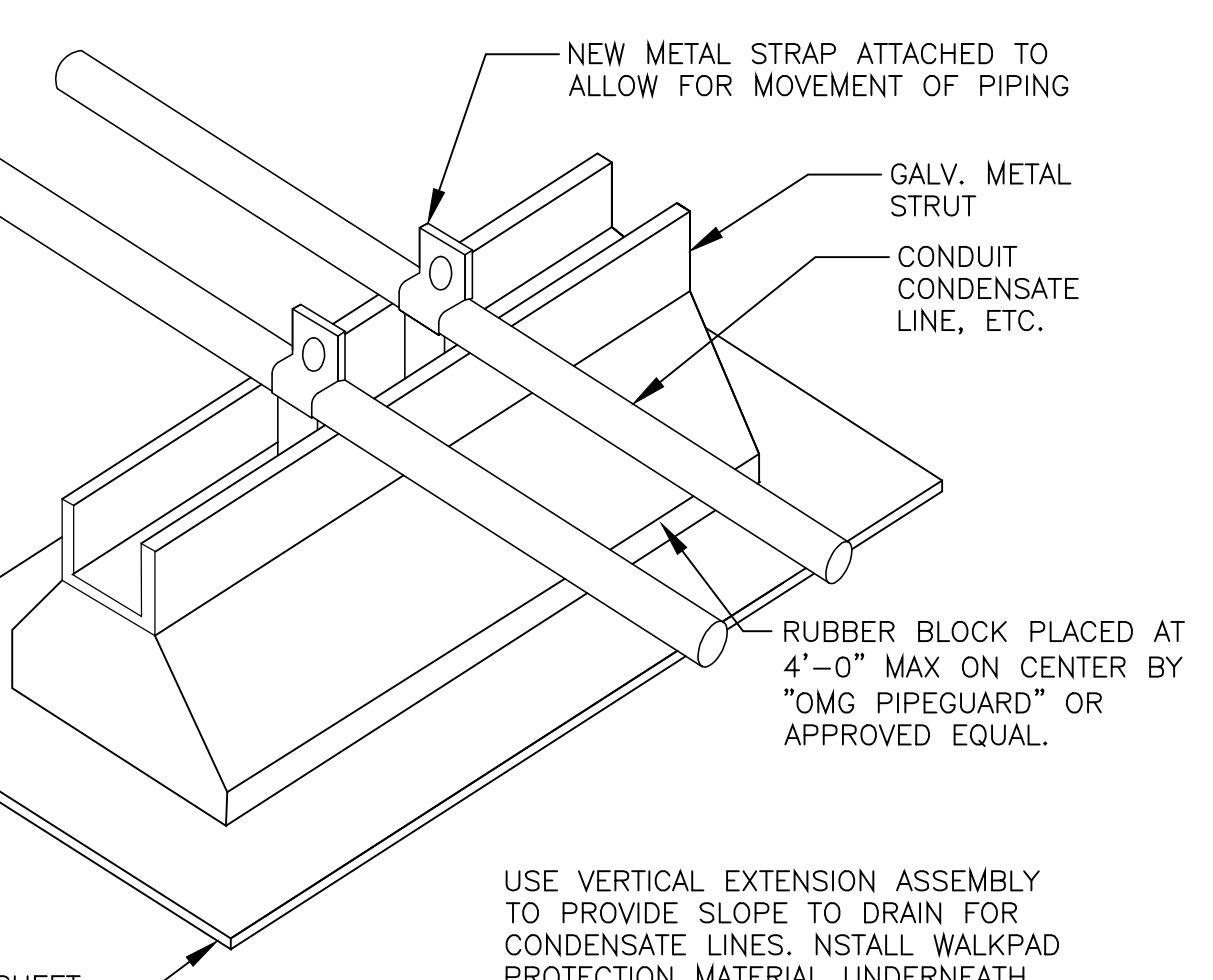
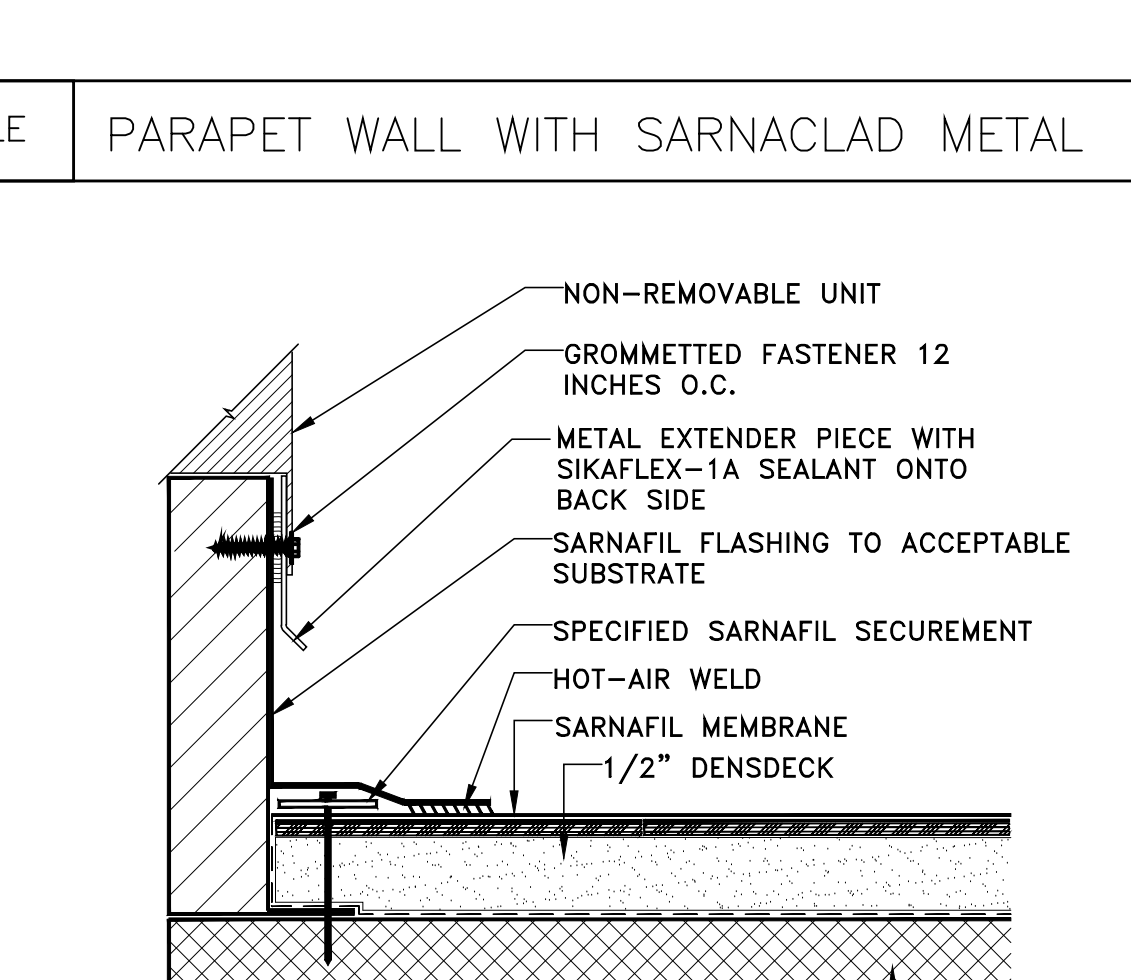
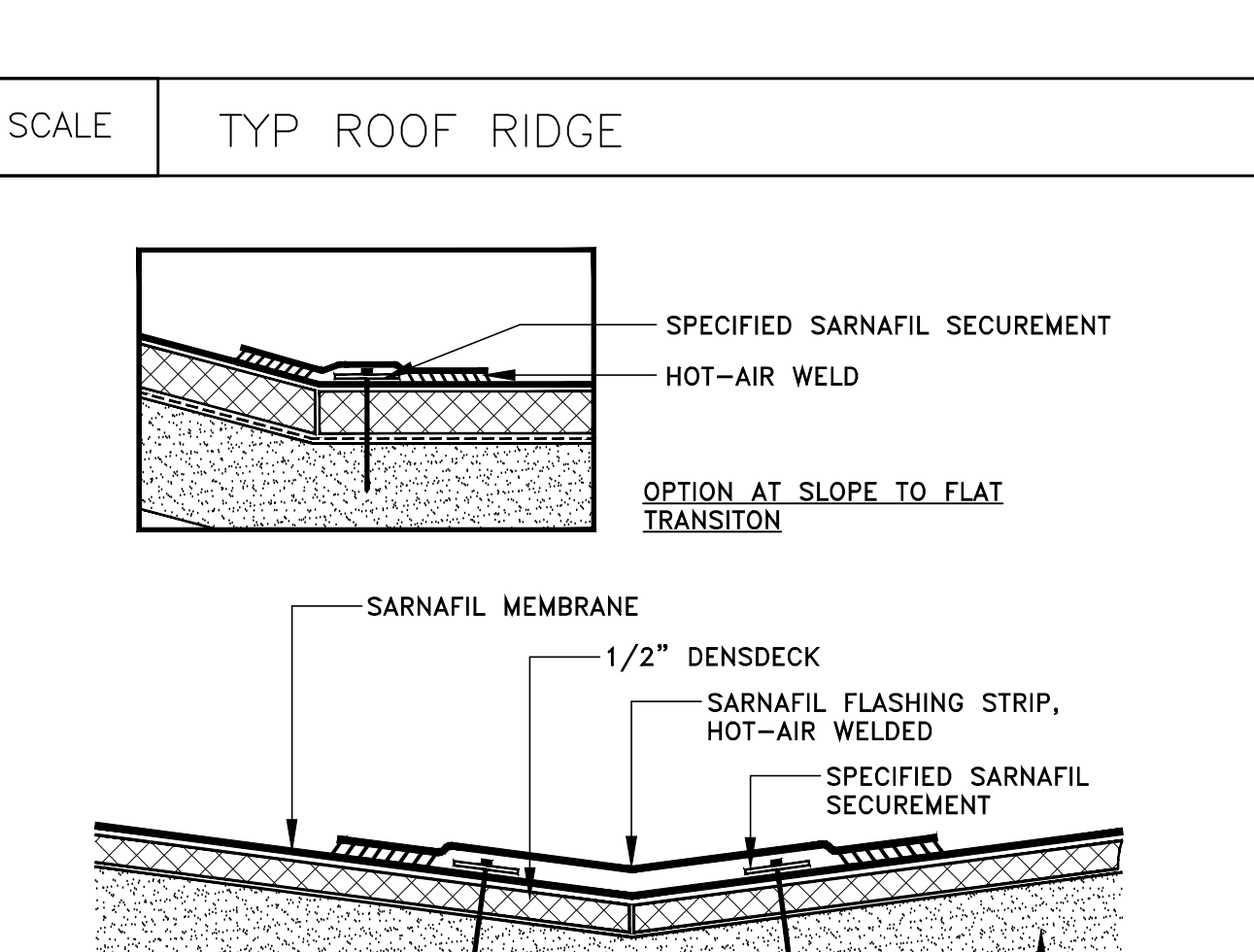
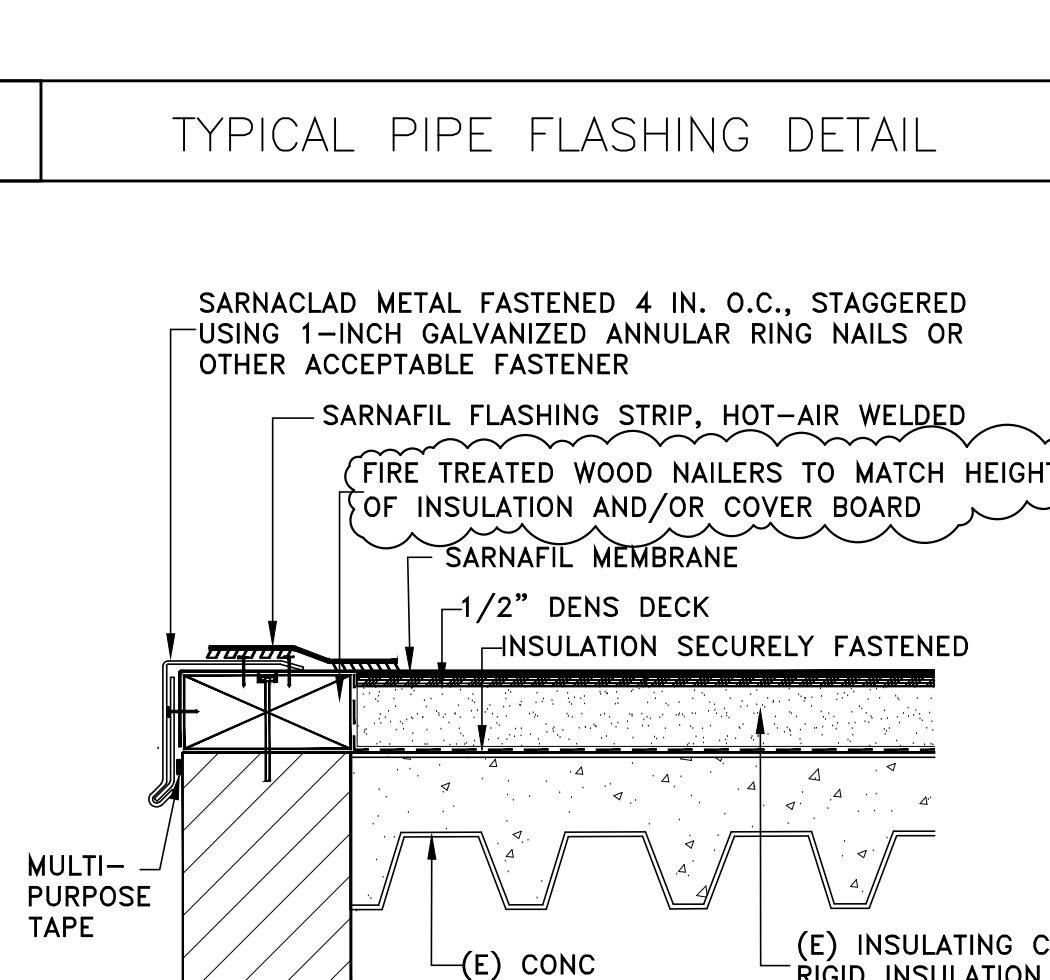
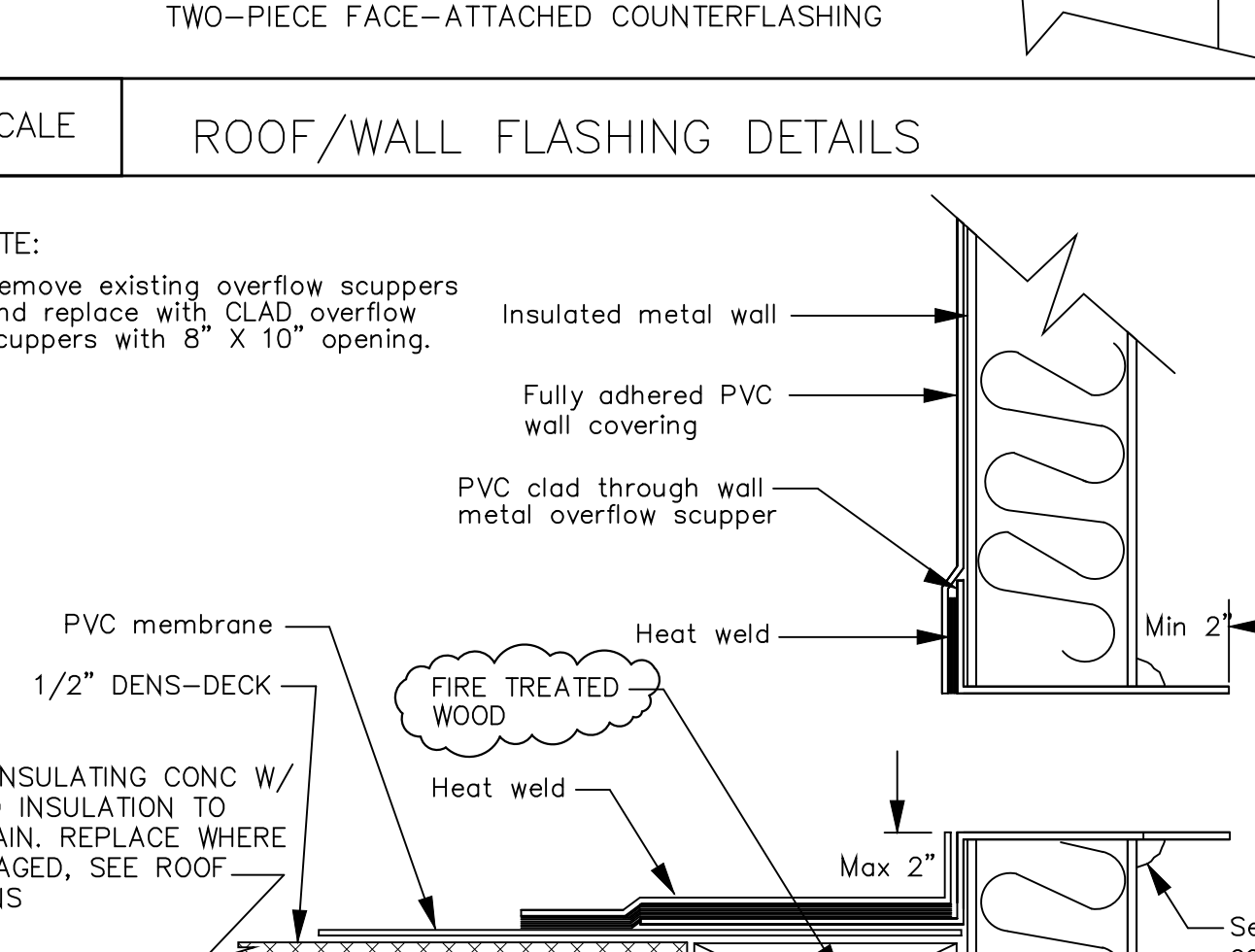
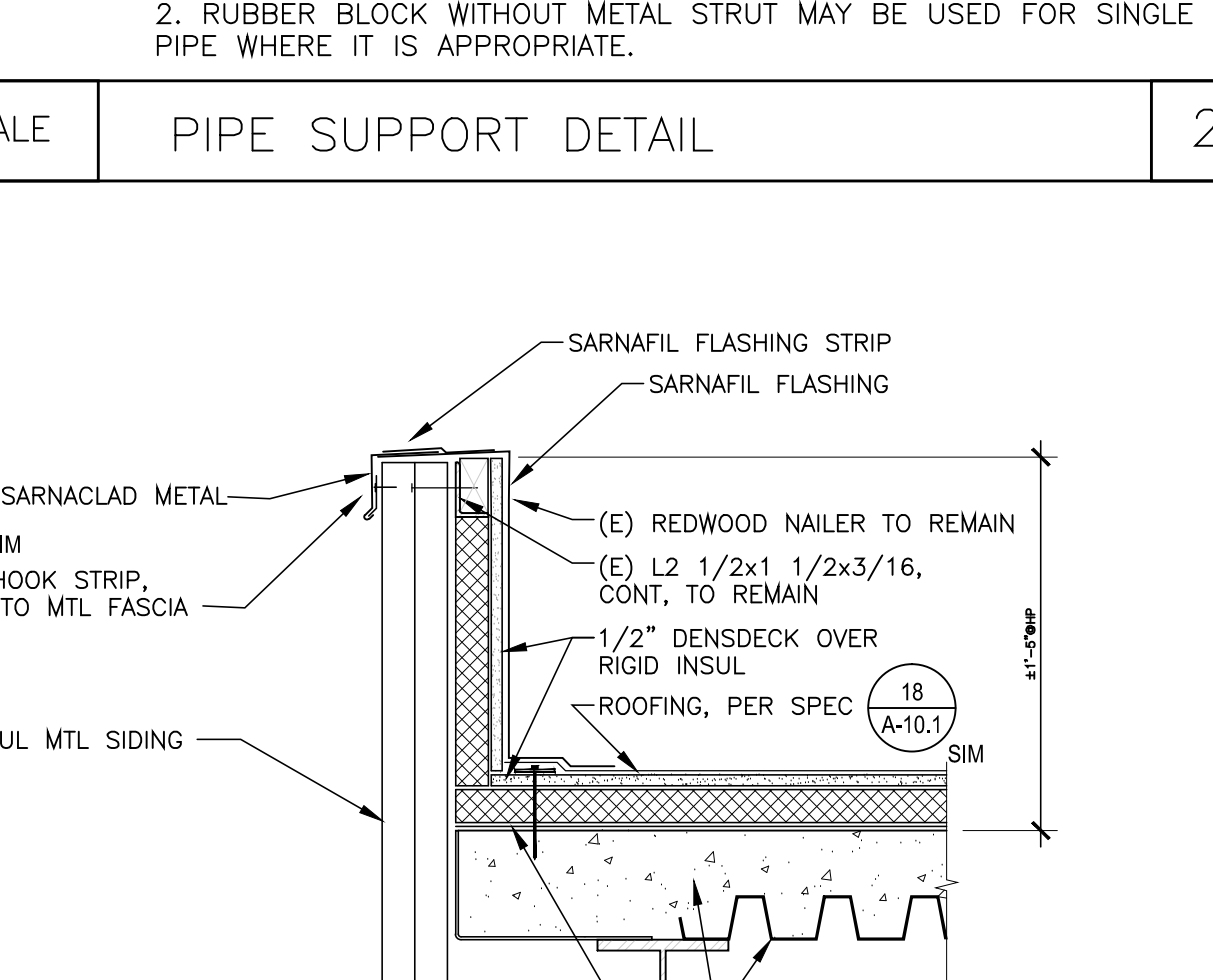
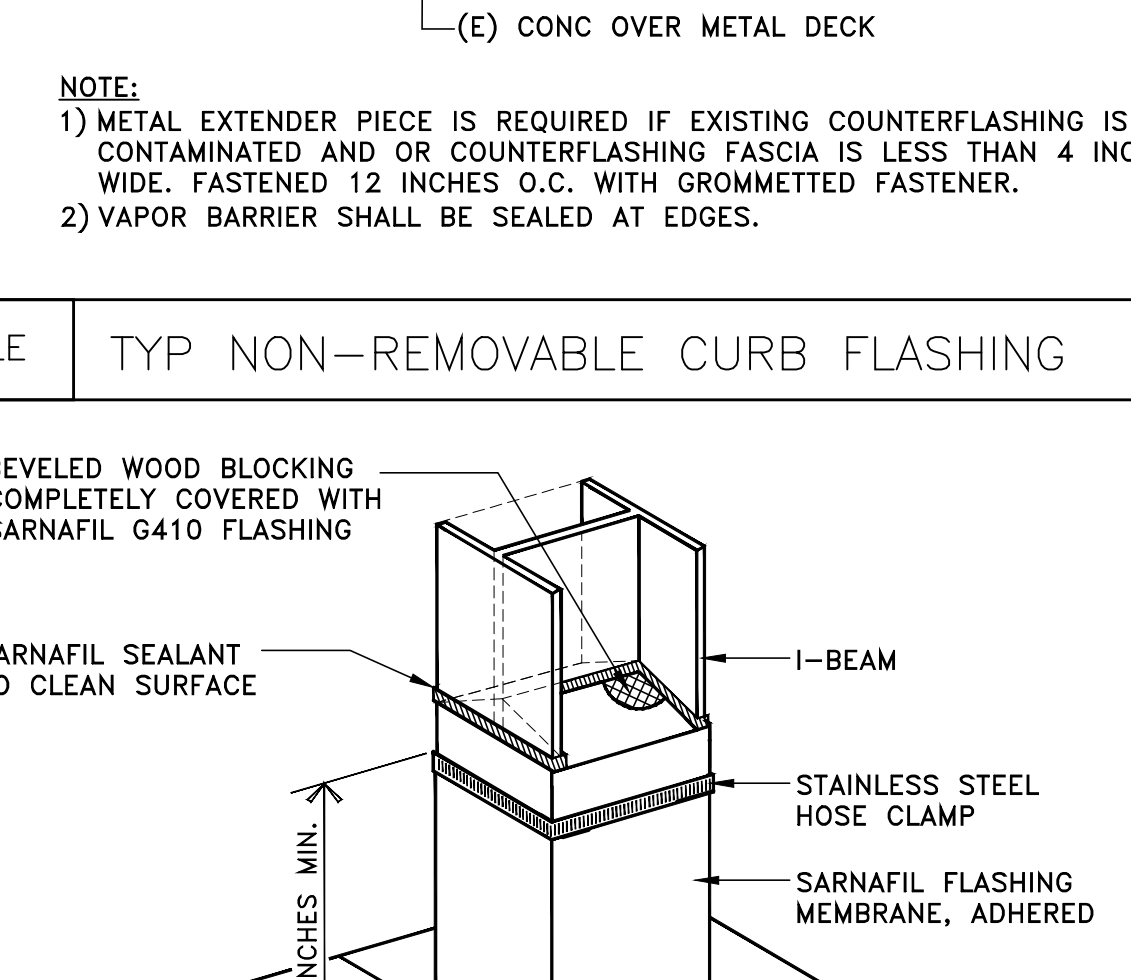
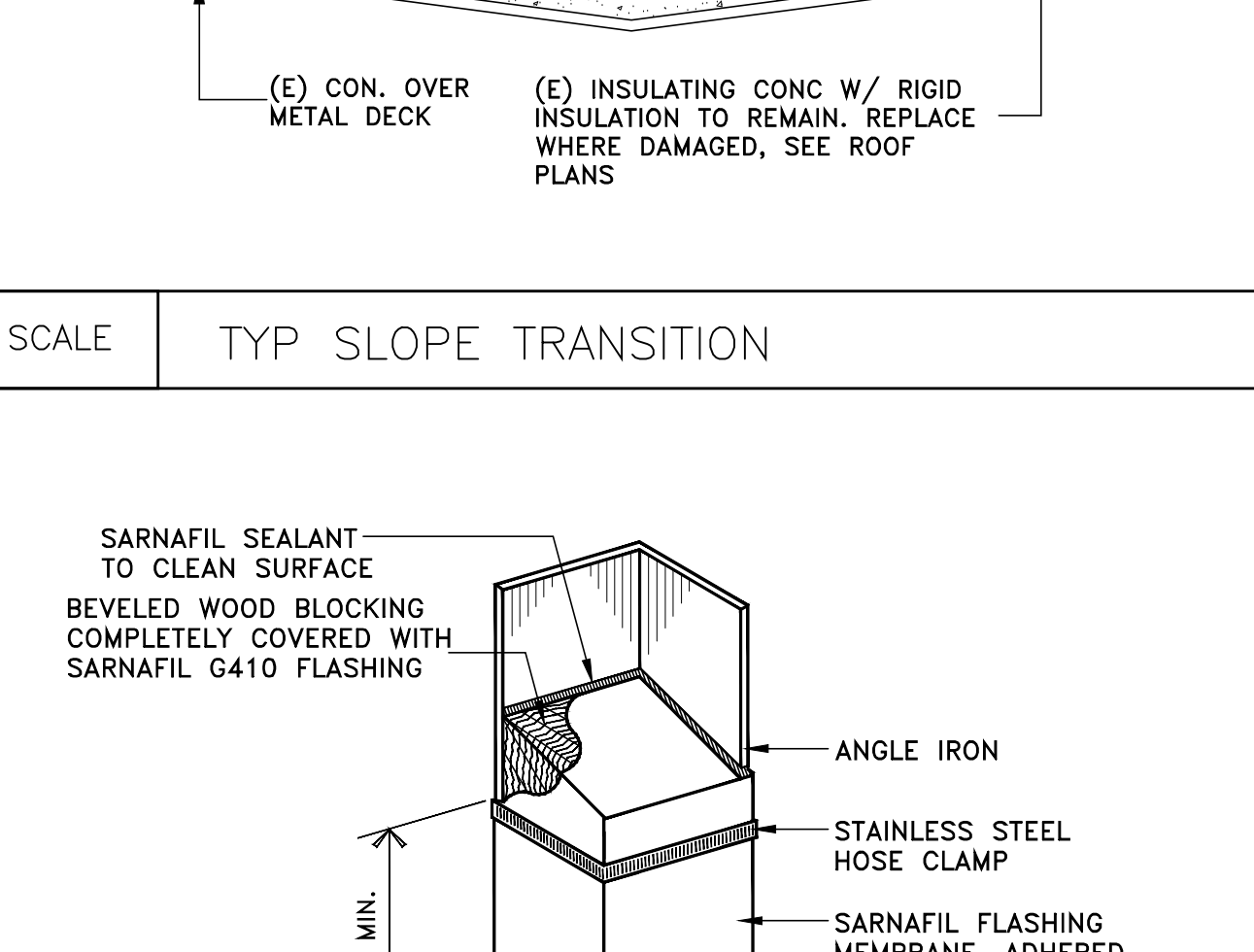
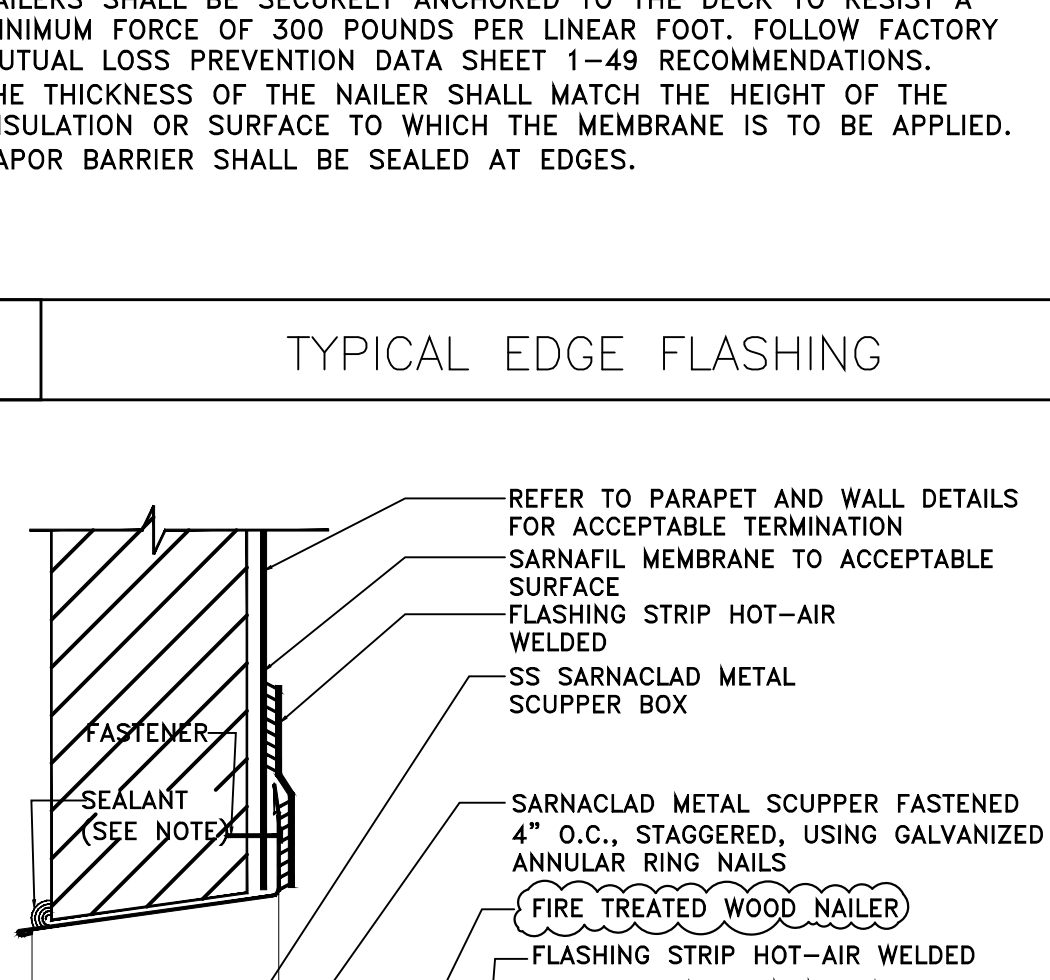
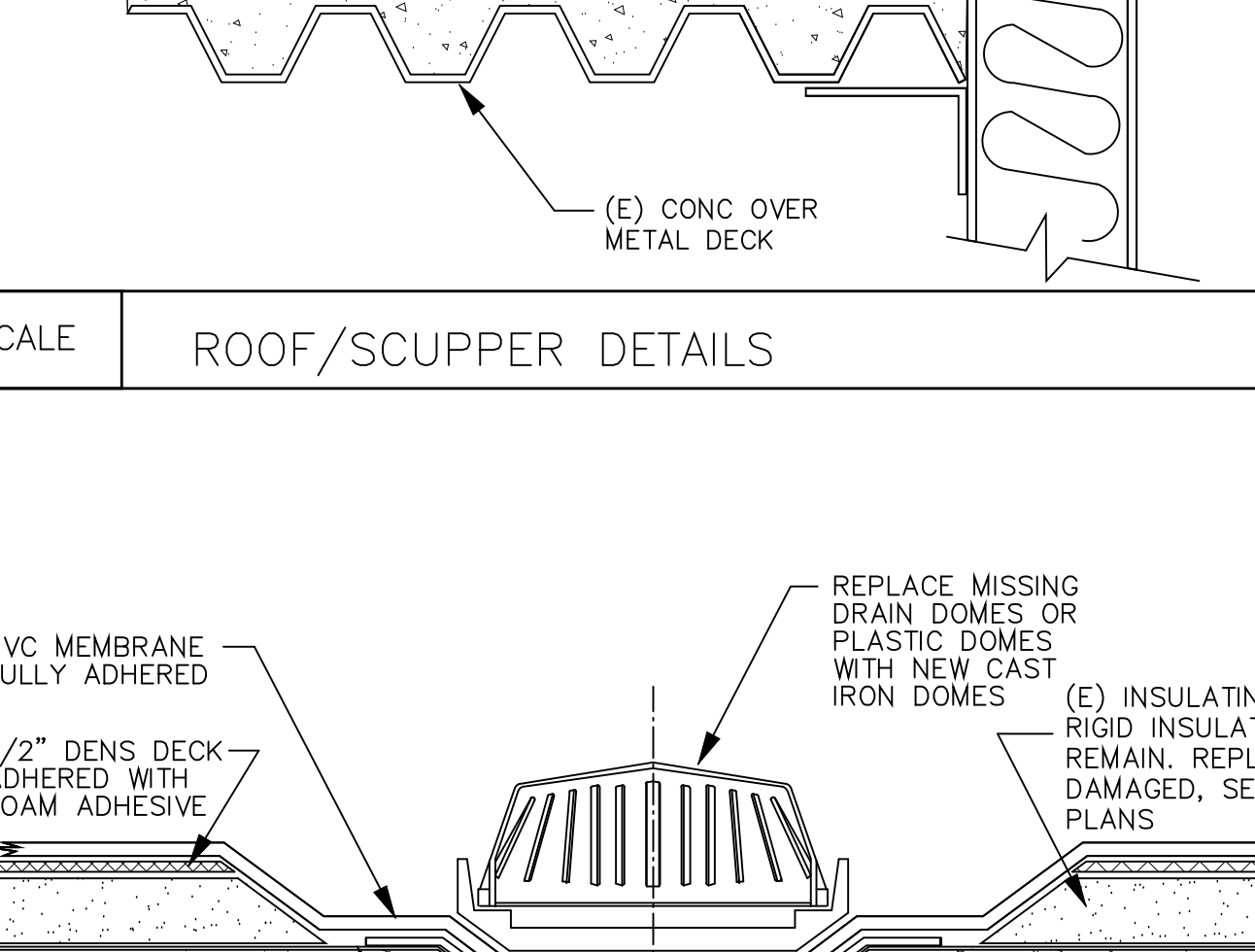
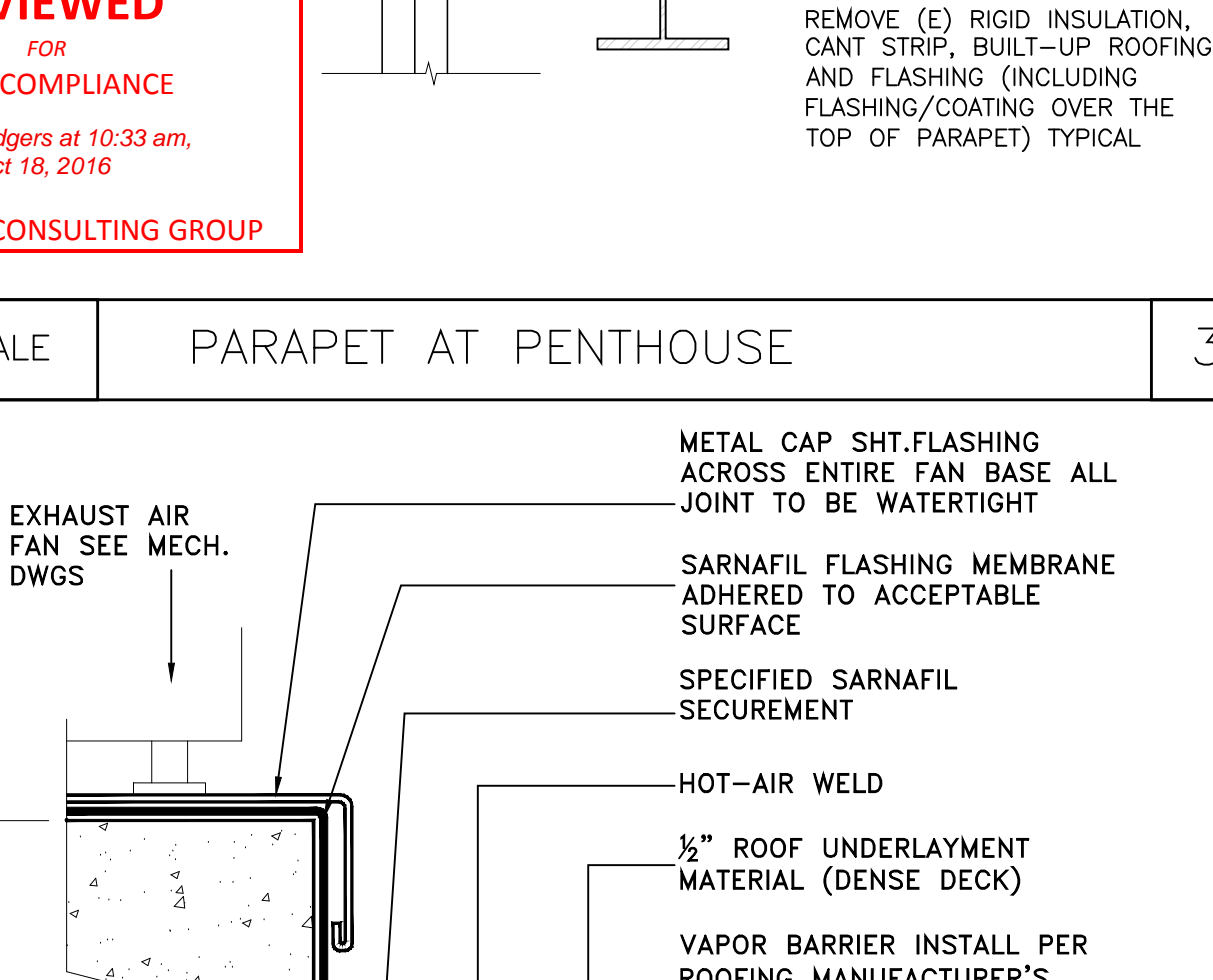
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METROPOLITAN COURTHOUSE ROOF REPLACEMENT
1945, SOUTH HILL STREET, LOS ANGELES, CA 90007

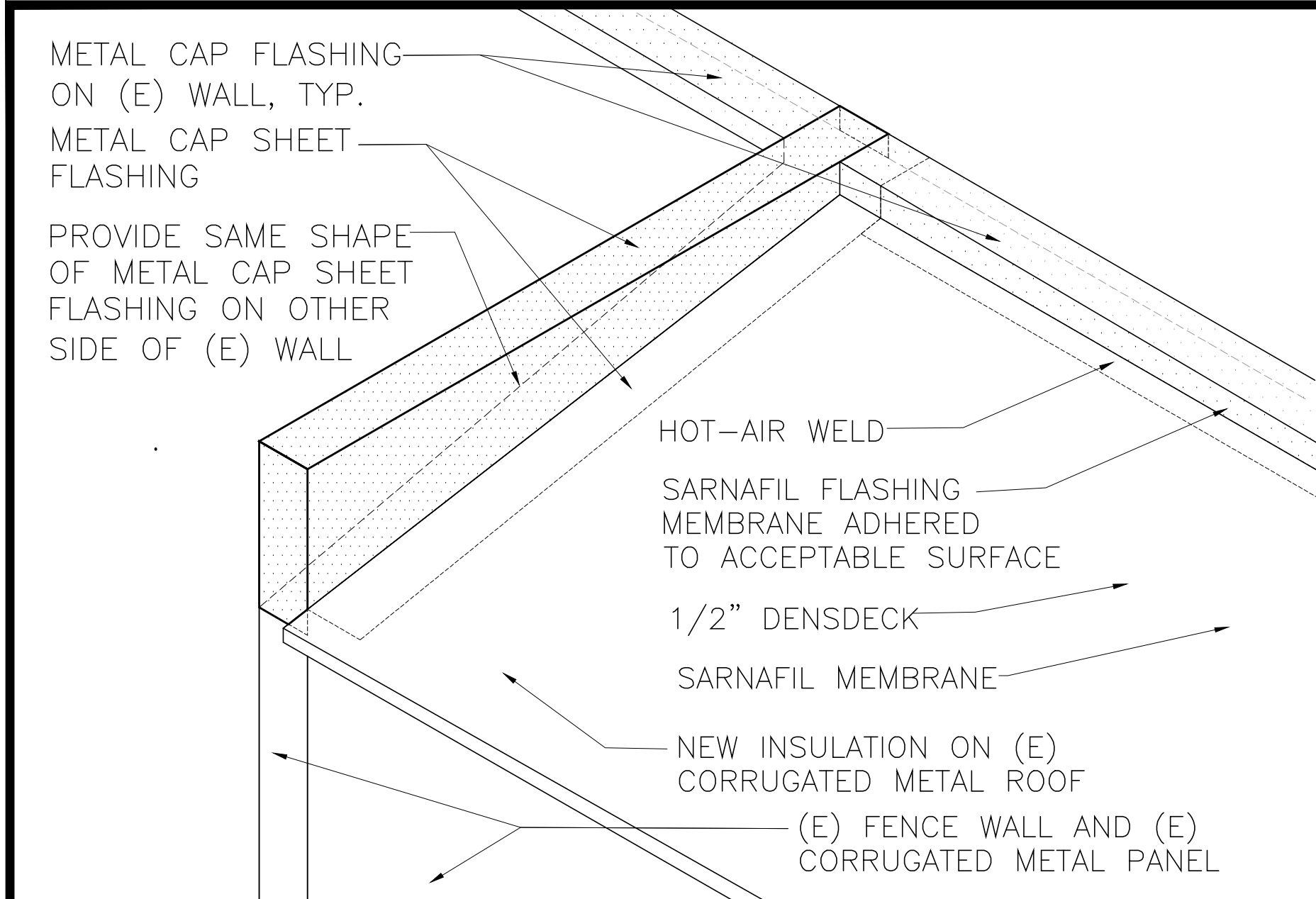
(E) PENTHOUSE ELEVATIONS

2015-051
DRAWN
DATE: 04-2016

A-5.5

D:\CUC_MITROBRR_100616MT_JC_060010T0215-051_A1001 ROOF DET-LLJ.dwg 10/26/2016 11:51:10 PM DWG TO PDF #43

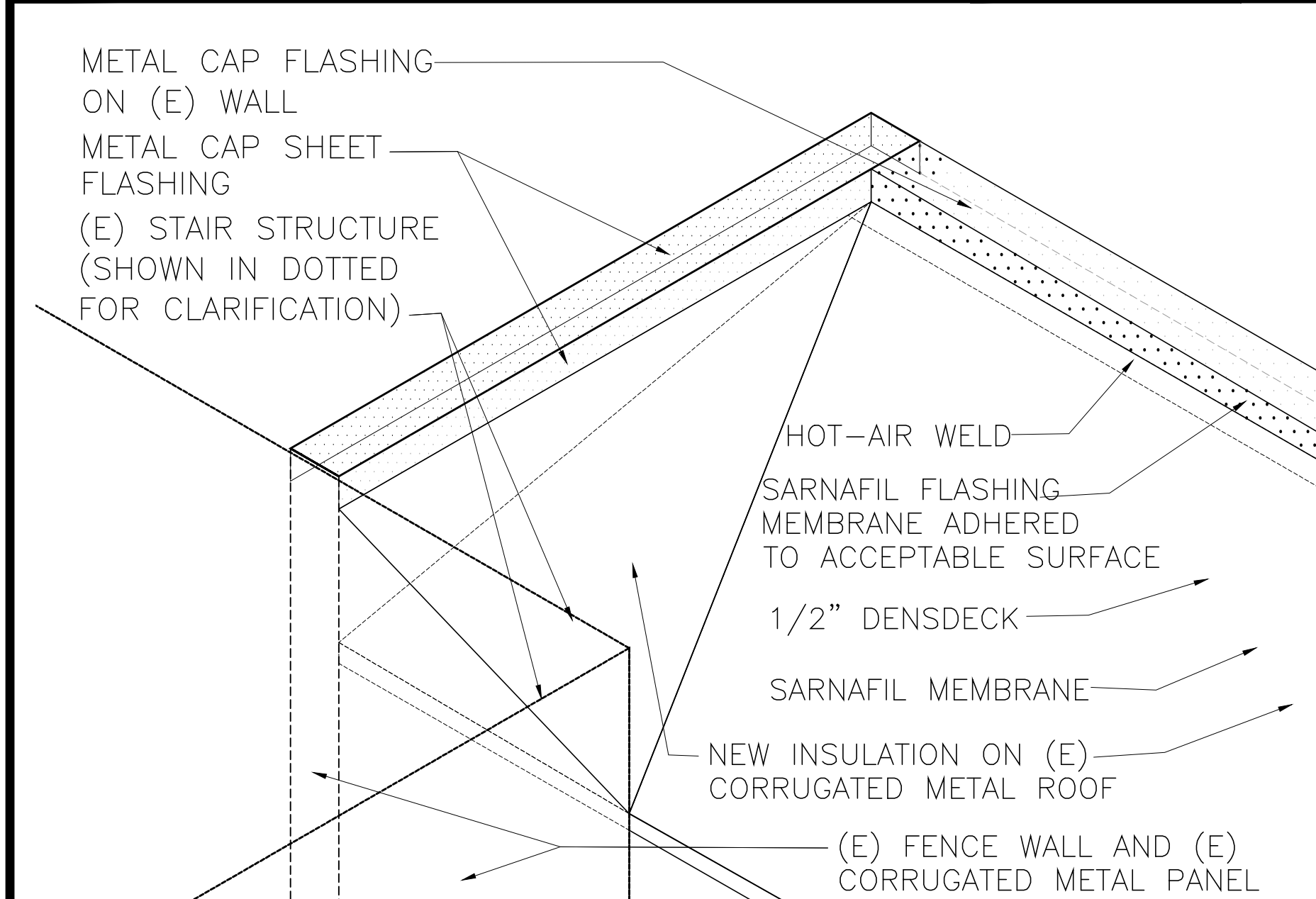
 <p>NO SCALE</p>			 <p>NO SCALE</p>			 <p>NO SCALE</p>			<p>1. DETAILS ON THIS SHEET AND ON A10.2 ARE TO SHOW ATTACHMENT OF ROOFING COMPONENTS, THE (E) SUBSTRATE UNDER (E) ROOF MAY VARY. CONTRACTOR SHALL FIELD VERIFY (E) CONDITION BEFORE INSTALLATION OF NEW ROOFING COMPONENTS. 2. REFER TO ROOFING SPECIFICATIONS FOR ADDITIONAL INFORMATION. 3. ALL ITEMS IN DETAILS ARE NEW UNLESS OTHERWISE NOTED. 4. ALL FASTENERS EXPOSED TO WEATHER SHALL HAVE NEOPRENE WASHERS AND PER ROOFING SPECIFICATIONS. 5. ALL WOOD AND PLYWOOD USED IN THIS PROJECTS SHALL BE FIRE RETARDANT TREATED TYPICAL.</p> <p>GENERAL NOTES FOR ALL DETAILS</p> <p>NOTES: 1) ALUMINUM TAPE IS REQUIRED IF EXISTING PENETRATION IS CONTAMINATED. 2) VAPOR BARRIER SHALL BE SEALED AT EDGES.</p>  <p>NO SCALE</p>			 <p>NO SCALE</p>		
TYP ROOF ADHERED WALL FLASHING (FOR WALL FLASHINGS GREATER THAN 30 INCHES IN HEIGHT)		17	FLASHING DETAIL (TYP.)		13	TYPICAL VENT STACK		9	ROOF/PIPE PENETRATION FLASHING DETAIL		5	ROOF EDGE METAL DETAIL		1
 <p>NO SCALE</p>			 <p>NO SCALE</p>			 <p>NO SCALE</p>			 <p>NO SCALE</p>			 <p>NO SCALE</p>		
PARAPET WALL WITH SARNAFLASH METAL		18	TYP ROOF RIDGE		14	TYPICAL PIPE FLASHING DETAIL		10	ROOF/WALL FLASHING DETAILS		6	PIPE SUPPORT DETAIL		2
 <p>NO SCALE</p>			 <p>NO SCALE</p>			 <p>NO SCALE</p>			 <p>NO SCALE</p>			 <p>NO SCALE</p>		
TYP NON-REMOVABLE CURB FLASHING		19	TYP SLOPE TRANSITION		15	TYPICAL EDGE FLASHING		11	ROOF/SCUPPER DETAILS		7	PARAPET AT PENTHOUSE		3
 <p>NO SCALE</p>			 <p>NO SCALE</p>			 <p>NO SCALE</p>			 <p>NO SCALE</p>			 <p>NO SCALE</p>		
TYP ROOF I-BEAM FLASHING		20	TYP ROOF ANGLE IRON FLASHING		16	TYPICAL THRU-WALL SCUPPER		12	ROOF DRAIN DETAILS		8	EQUIPMENT SUPPORT		4



FLASHING ON (E) CORRUGATED ROOF

SCALE:
NO SCALE

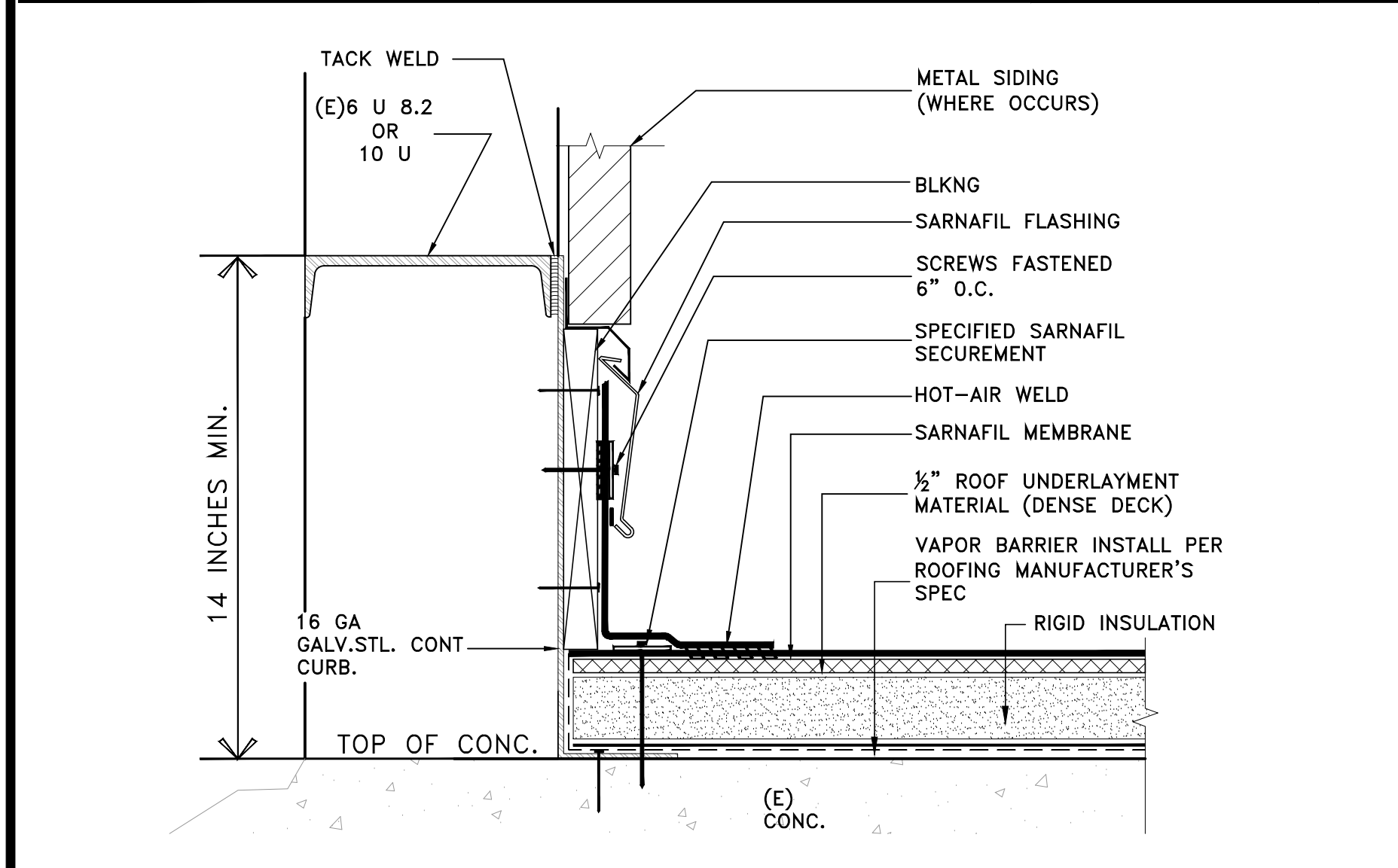
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FLASHING ON (E) ENDS OF CORR. ROOF

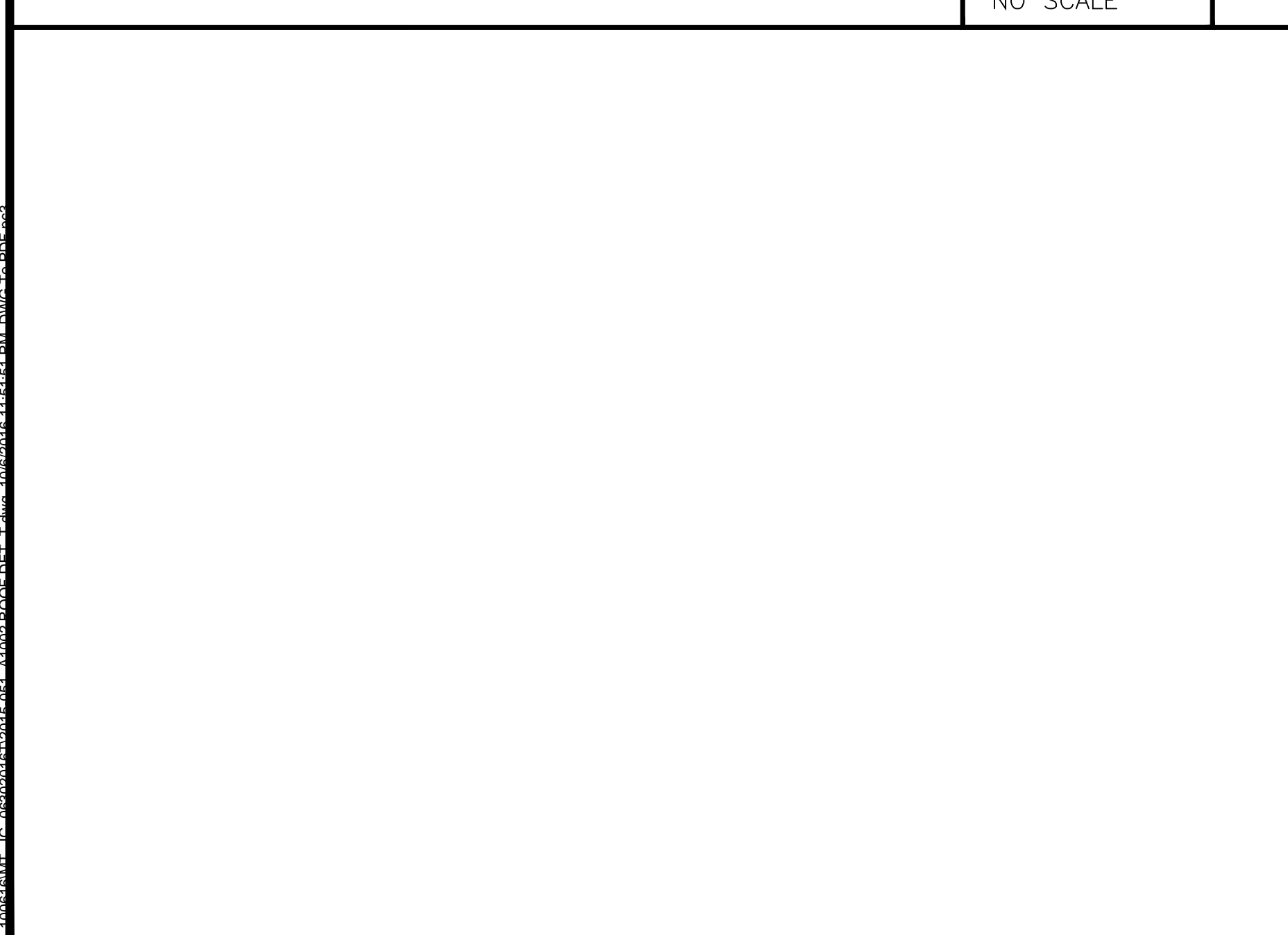
SCALE:
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14



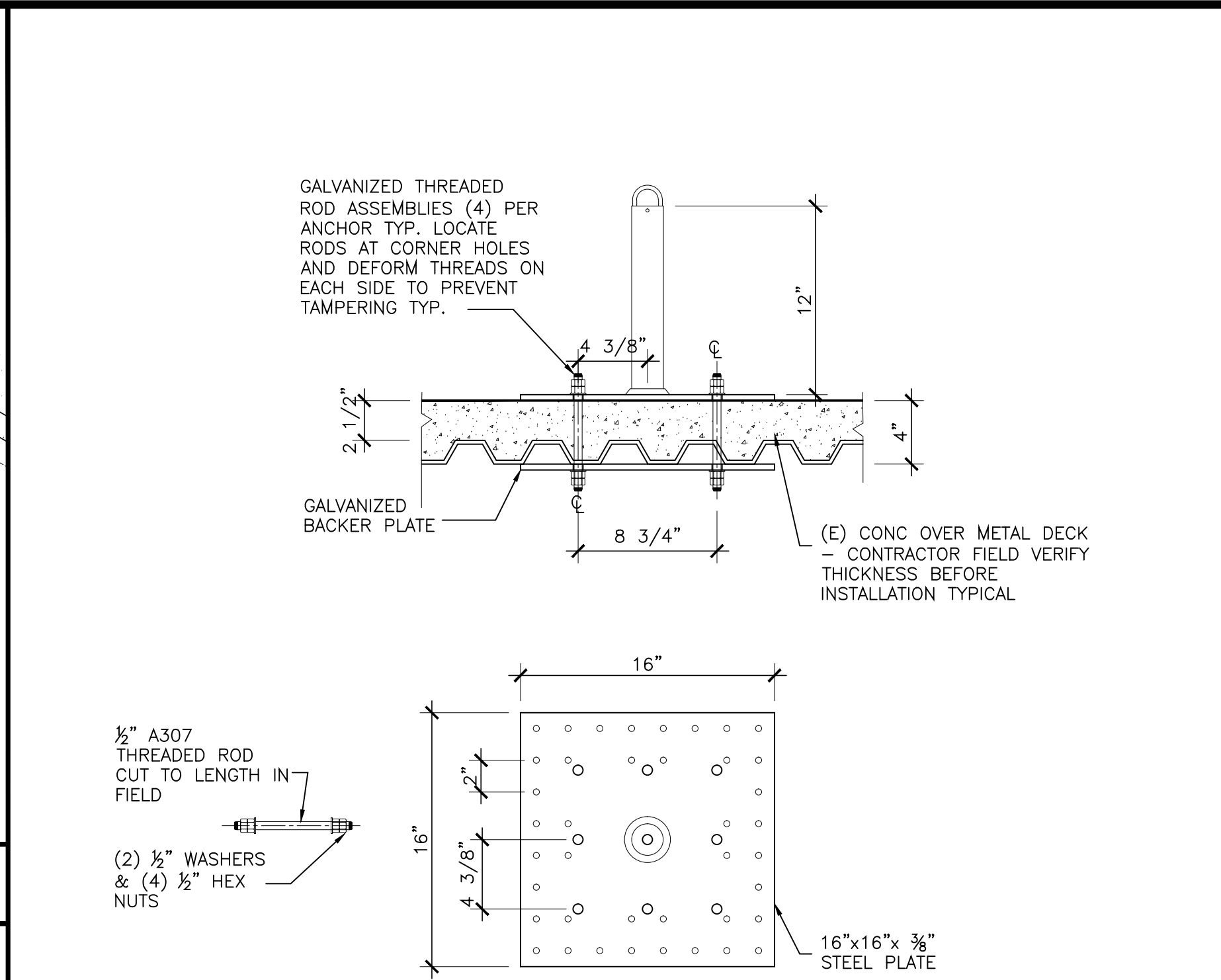
SCALE:
NO SCALE

15



SCALE:
NO SCALE

14



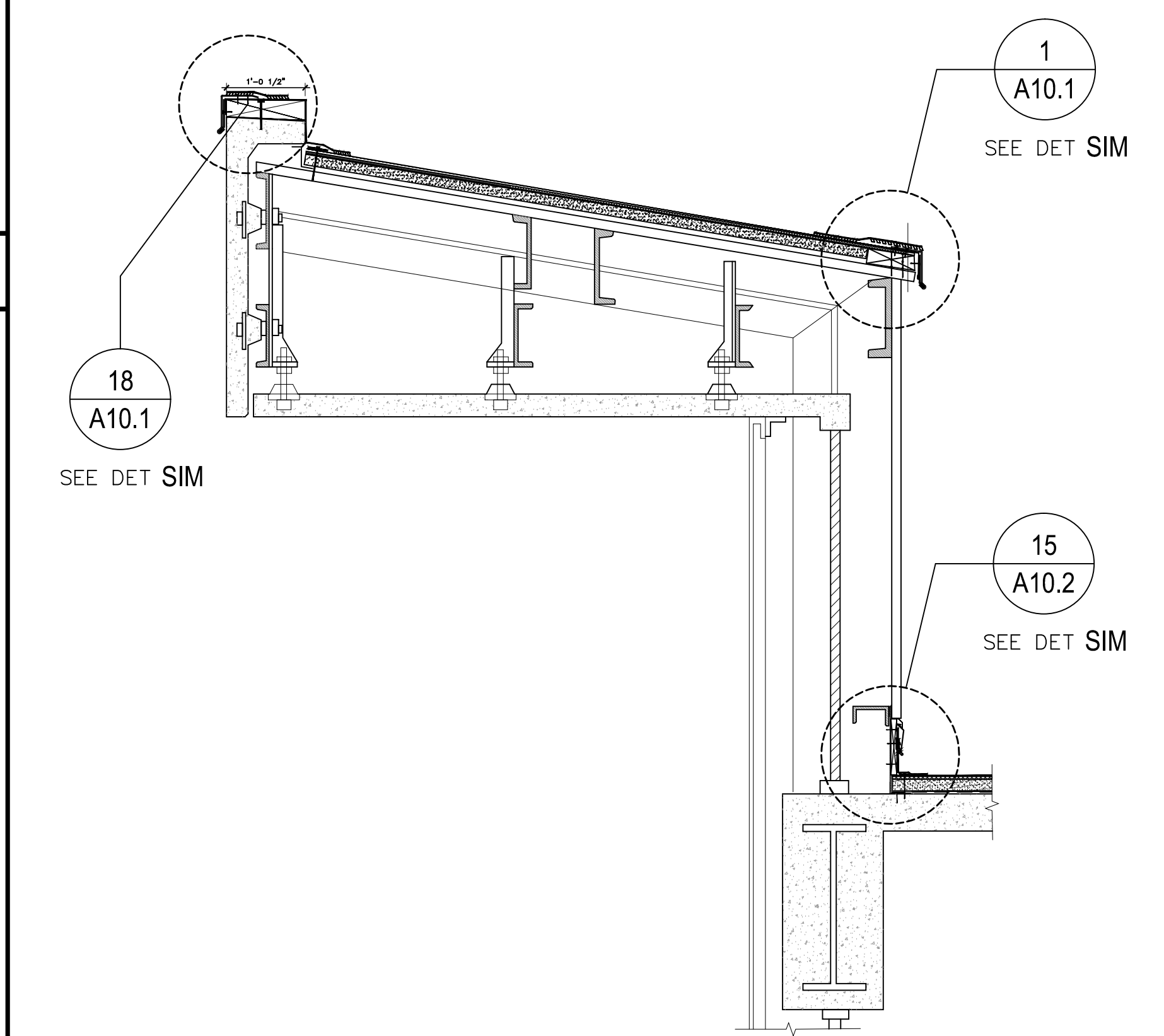
NOTE:
ANCHOR CB12 (12" LONG) IS SHOWN FOR ILLUSTRATION. CONTRACTOR SHALL VERIFY THE SIZE/LENGTH REQUIRED TO ASSURE THE TOP OF ANCHOR IS MIN 6" ABOVE THE ROOF AND CLEAR OF ANY FLASHING, ETC. LONGER ANCHORS MAY HAVE LARGER STEEL ANCHOR PLATES. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

THE STEEL ANCHOR PLATE SHALL BE INSTALLED FROM THE FLOOR BELOW (FOURTEENTH FLOOR SEE 2/A2.2). FOURTEENTH FLOOR FOR THE MOST PART HAS NO DROP CEILING, BUT THERE MAY BE DUCTS AND PIPES AT BOTTOM OF ROOF STRUCTURE HINDERING THE INSTALLATION OF STEEL PLATE. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITION BEFORE LAYING OUT THE ANCHORS ON TH ROOF.

ANCHOR TO ROOF

SCALE:
NO SCALE

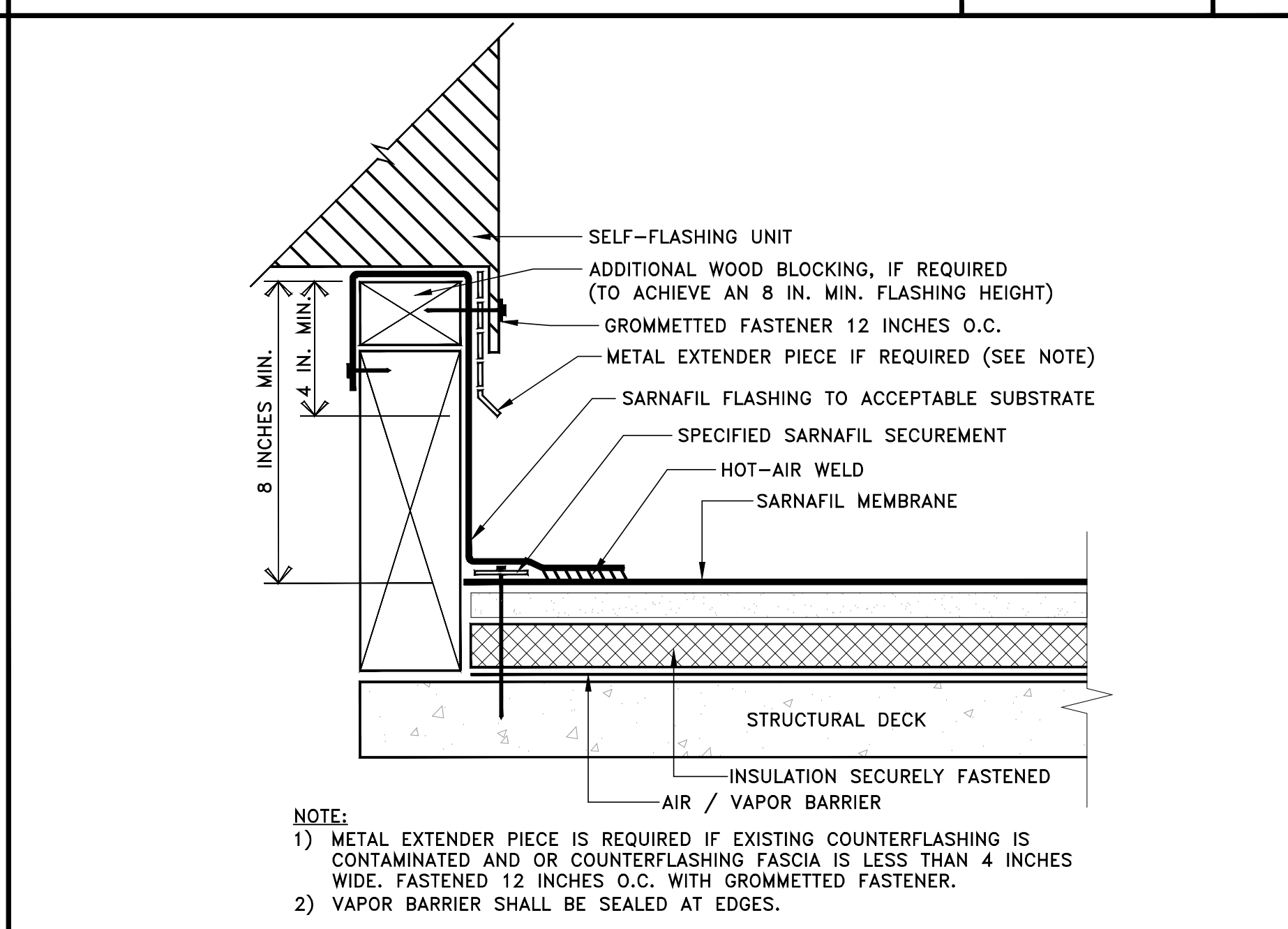
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FLASHING AT (E) WALL PANEL

SCALE:
NO SCALE

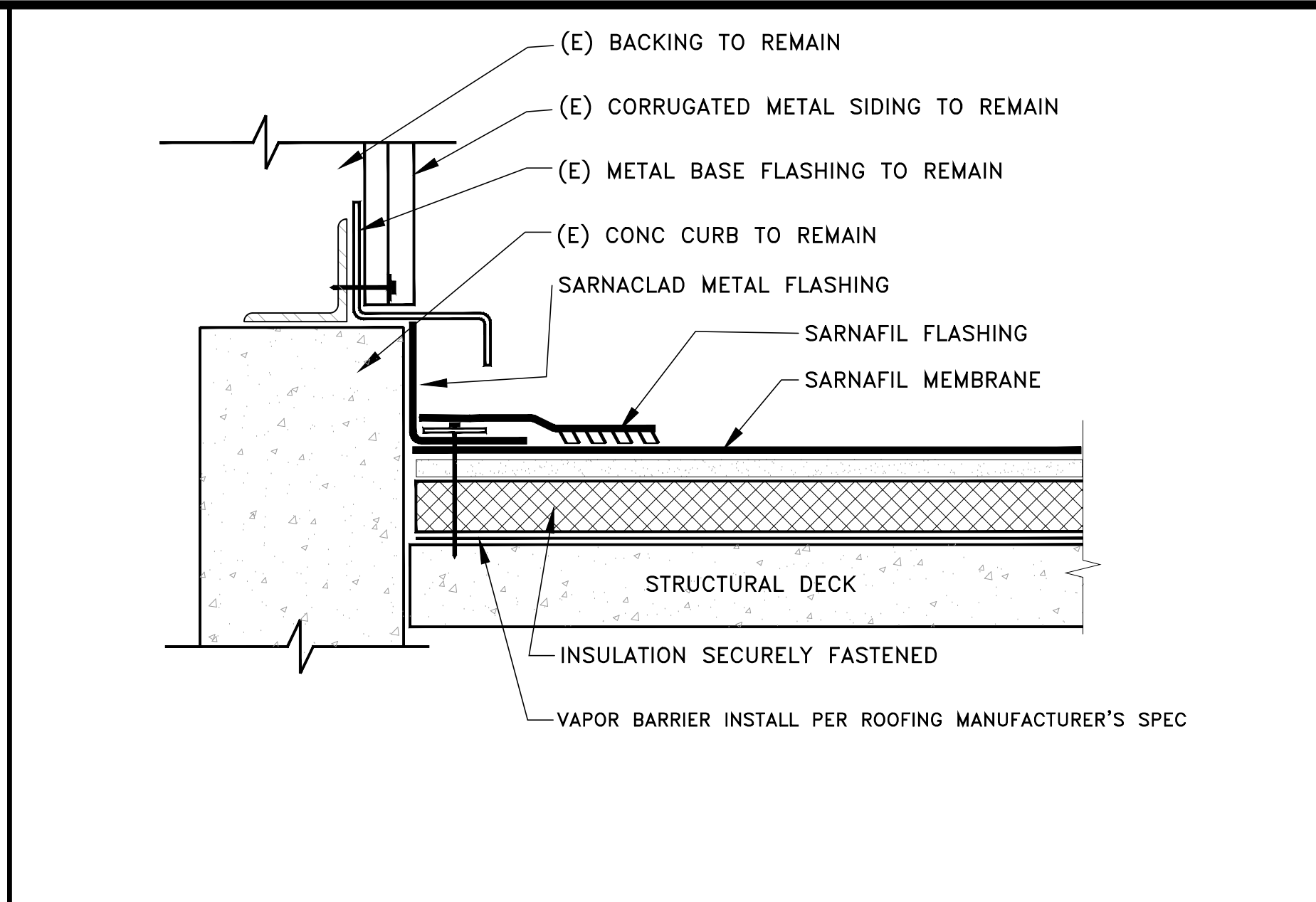
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PARAPET AT PENTHOUSE STAIR

SCALE:
NO SCALE

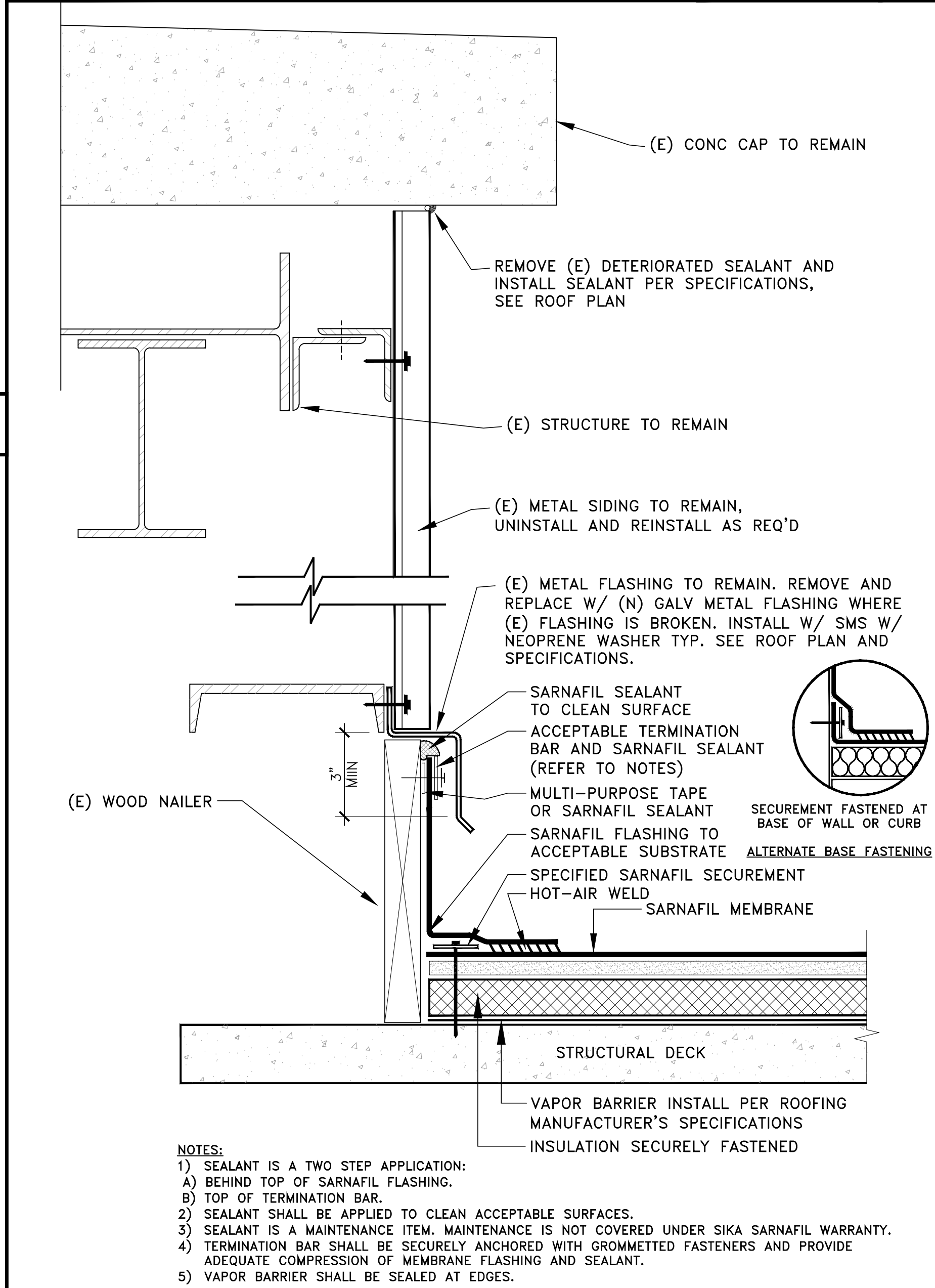
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PENTHOUSE WALL BOTTOM

SCALE:
NO SCALE

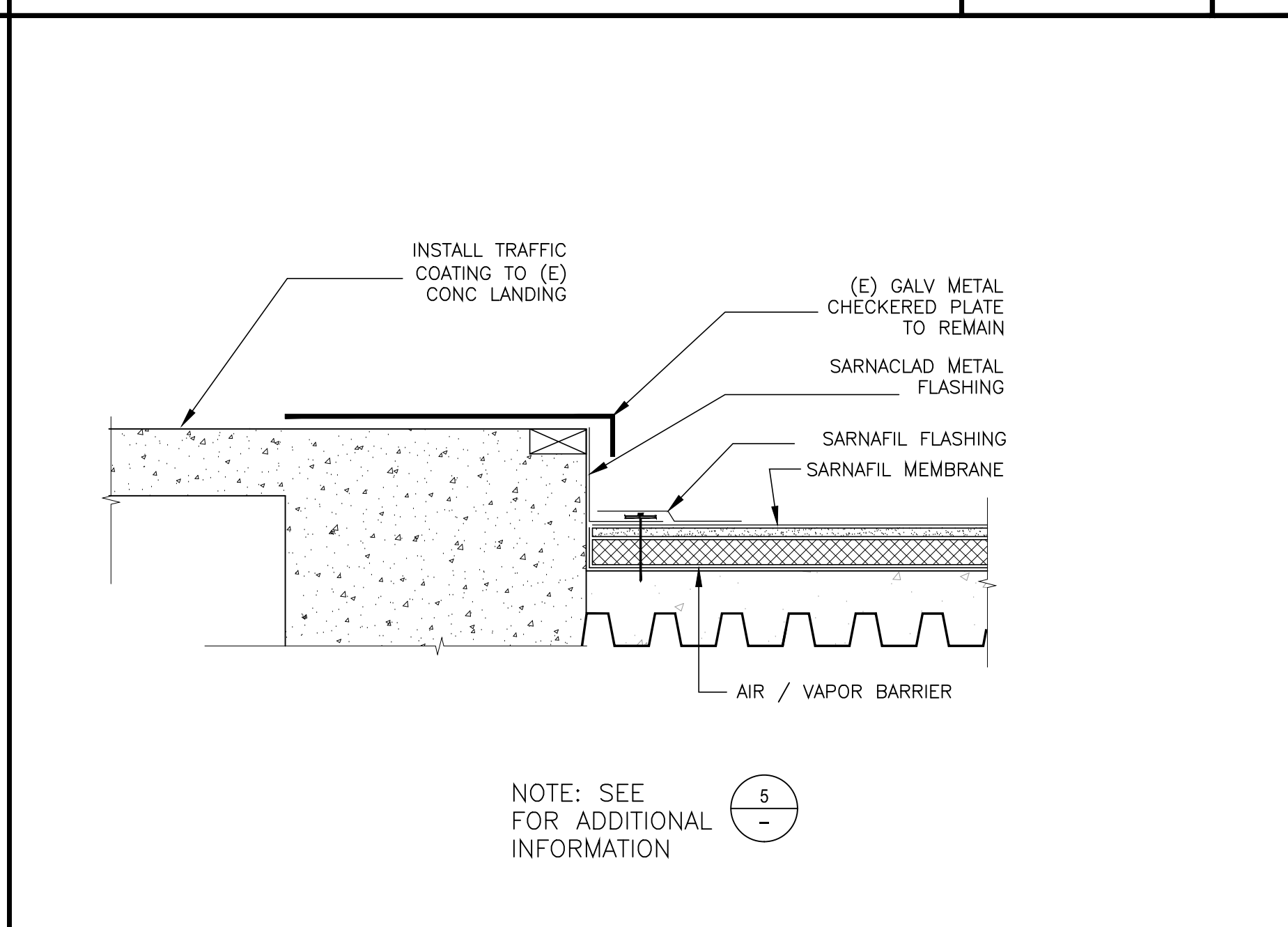
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FLASHING AT SIDING (MAIN ROOF EXT WALL)

SCALE:
NO SCALE

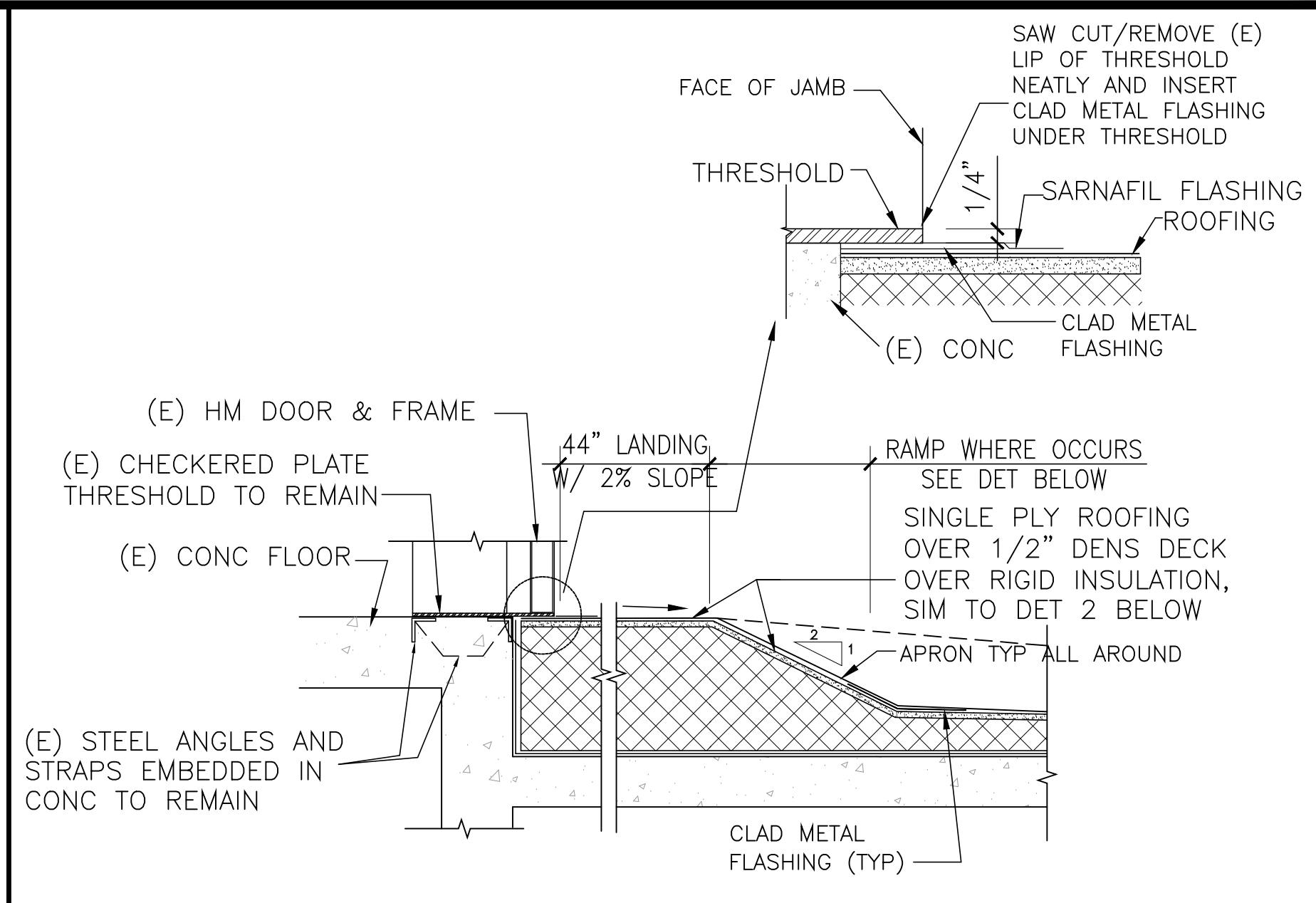
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EQUIPMENT SUPPORT

SCALE:
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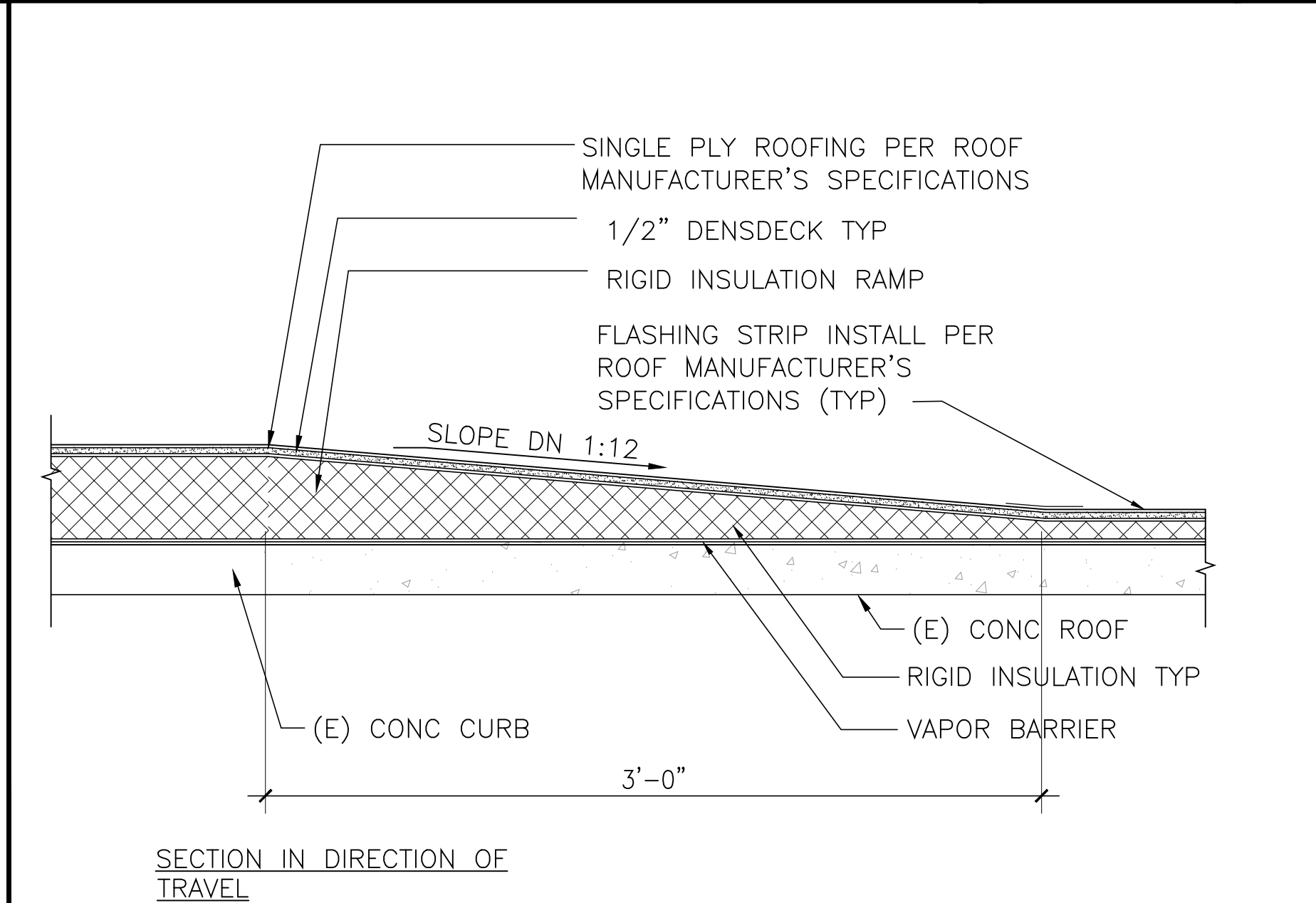
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LANDING AT DOOR

SCALE:
NO SCALE

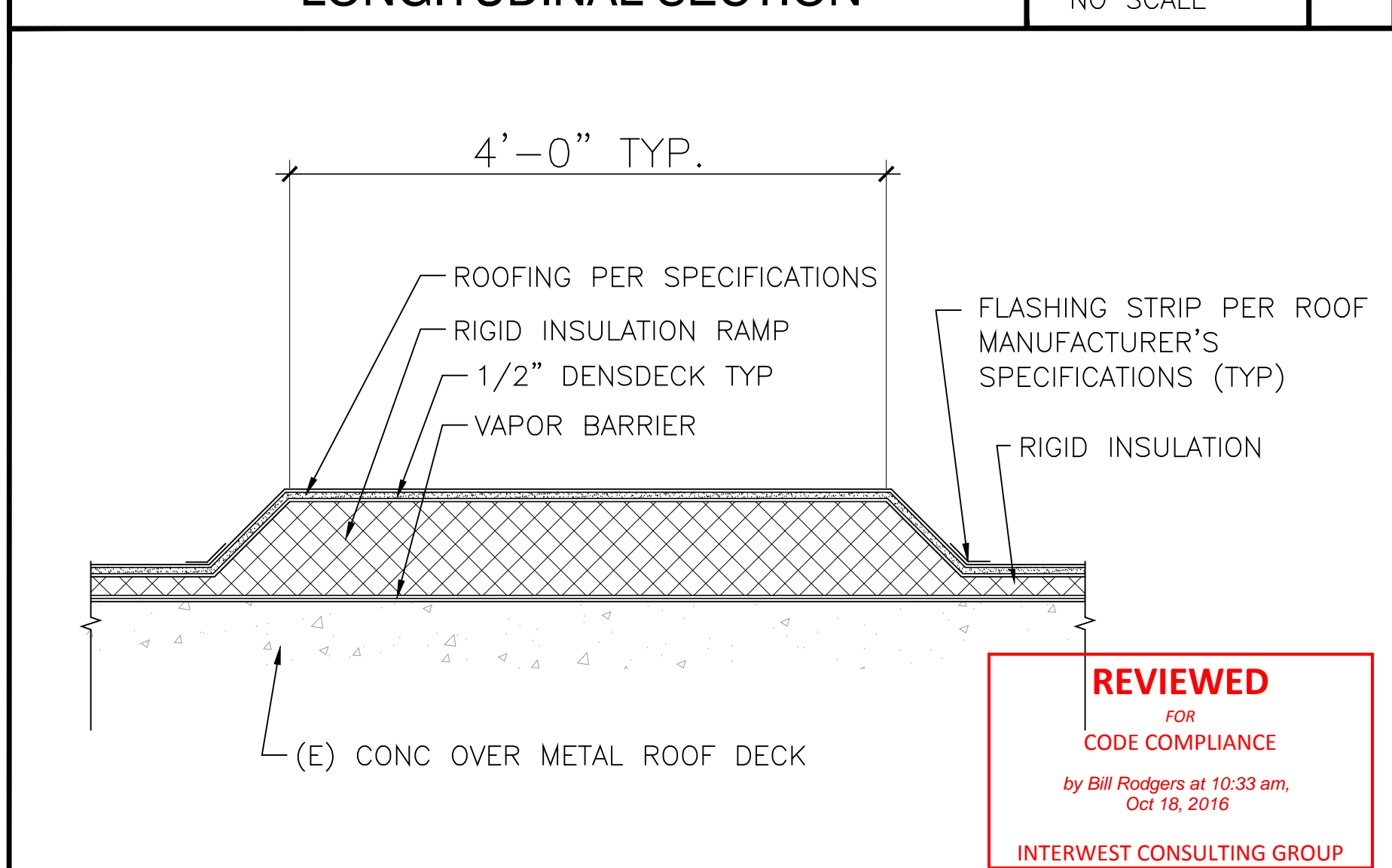
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LONGITUDINAL SECTION

SCALE:
NO SCALE

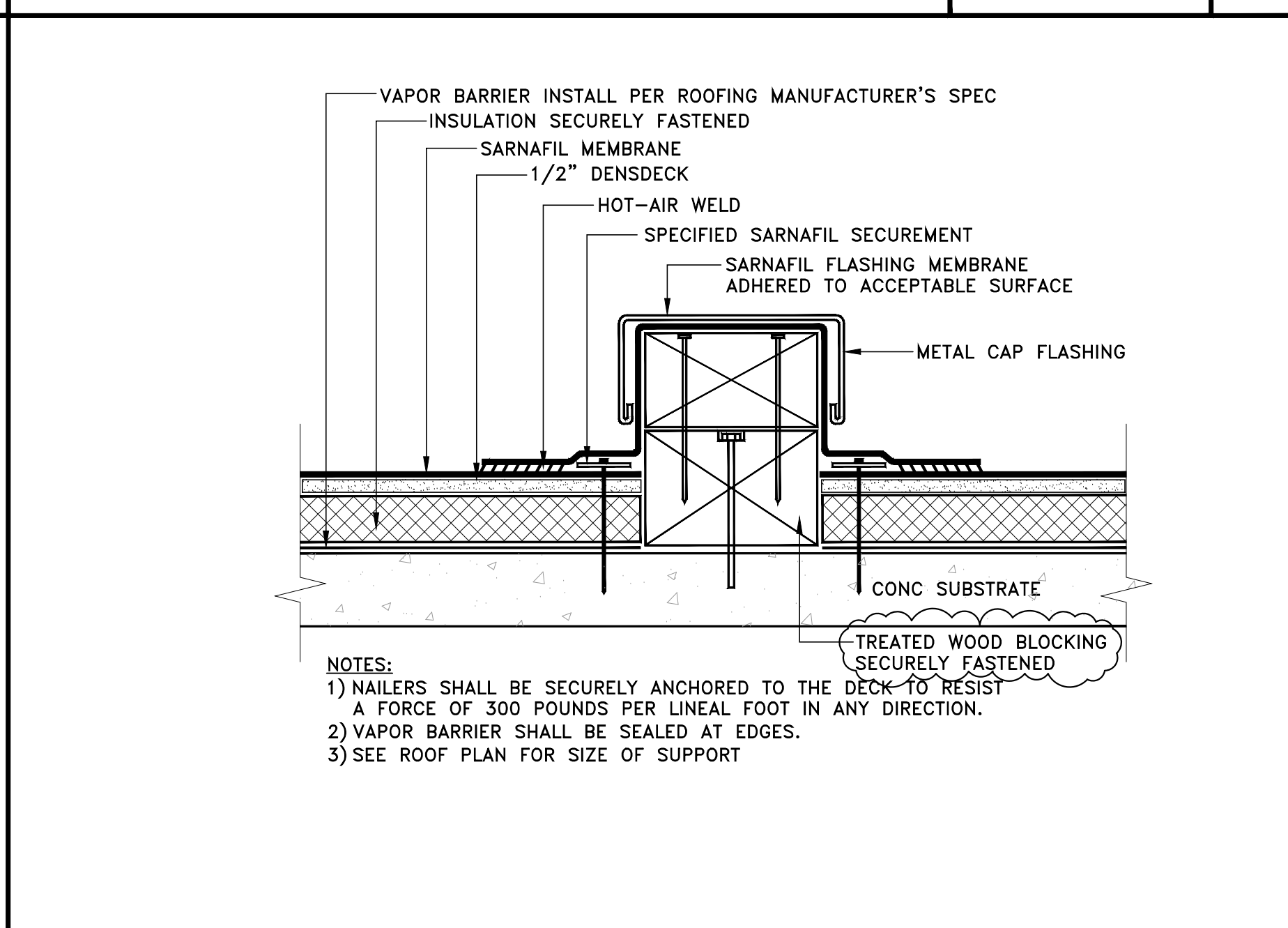
2



TRANSVERSE SECTION

SCALE:
NO SCALE

3



EQUIPMENT SUPPORT

SCALE:
NO SCALE

4

